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The consultant team extends a **SPECIAL THANKS** to **Joan Kindle**, for without her special dedication to Leo Carrillo and his Rancho, her revelations and her untiring efforts and determination, this special place would have disappeared and a unique part of our history would be lost.

This document is the synopsis of the research, analysis and recommendations of the comprehensive master plan program for Leo Carrillo Ranch, and may not be reproduced, photographed, or copied in any form without the expressed written consent of the City of Carlsbad.

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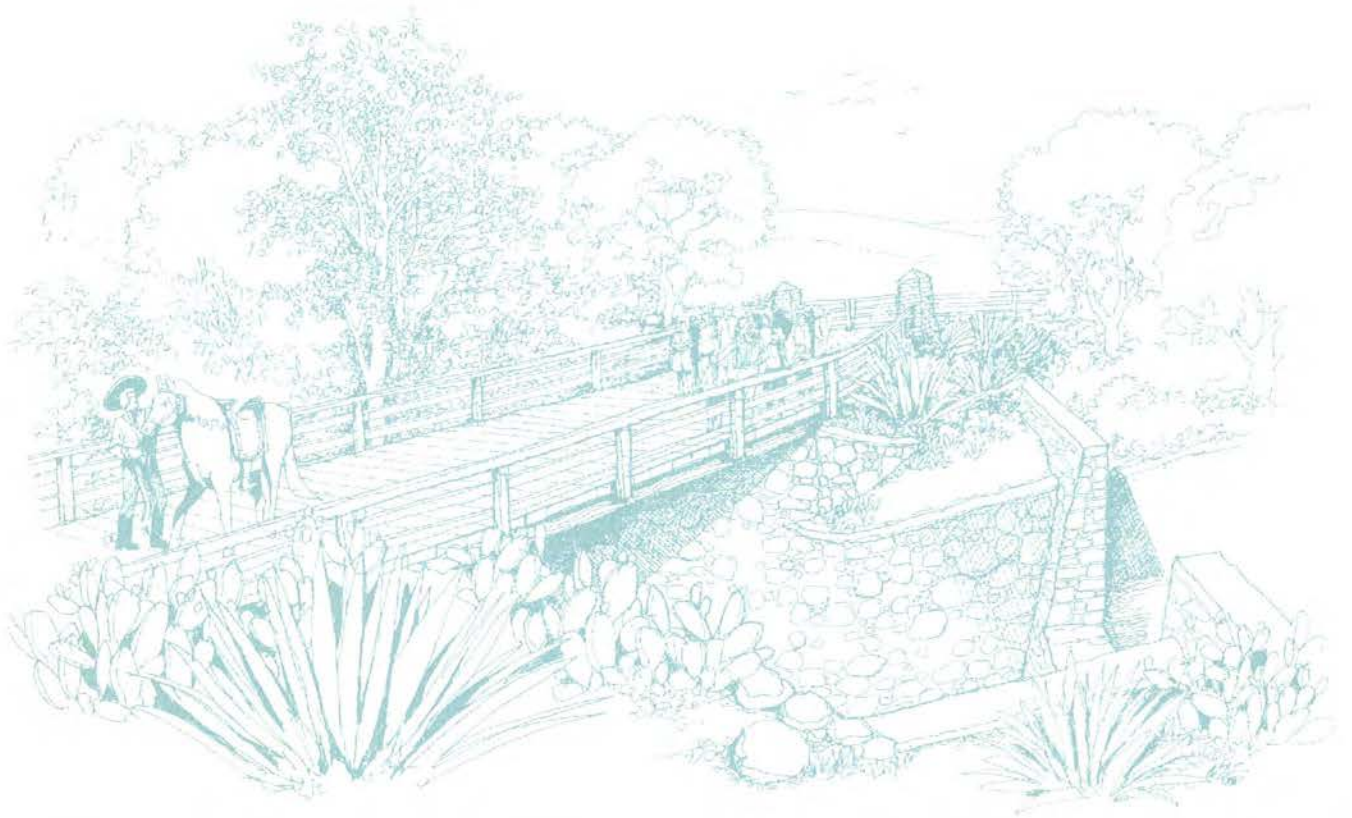
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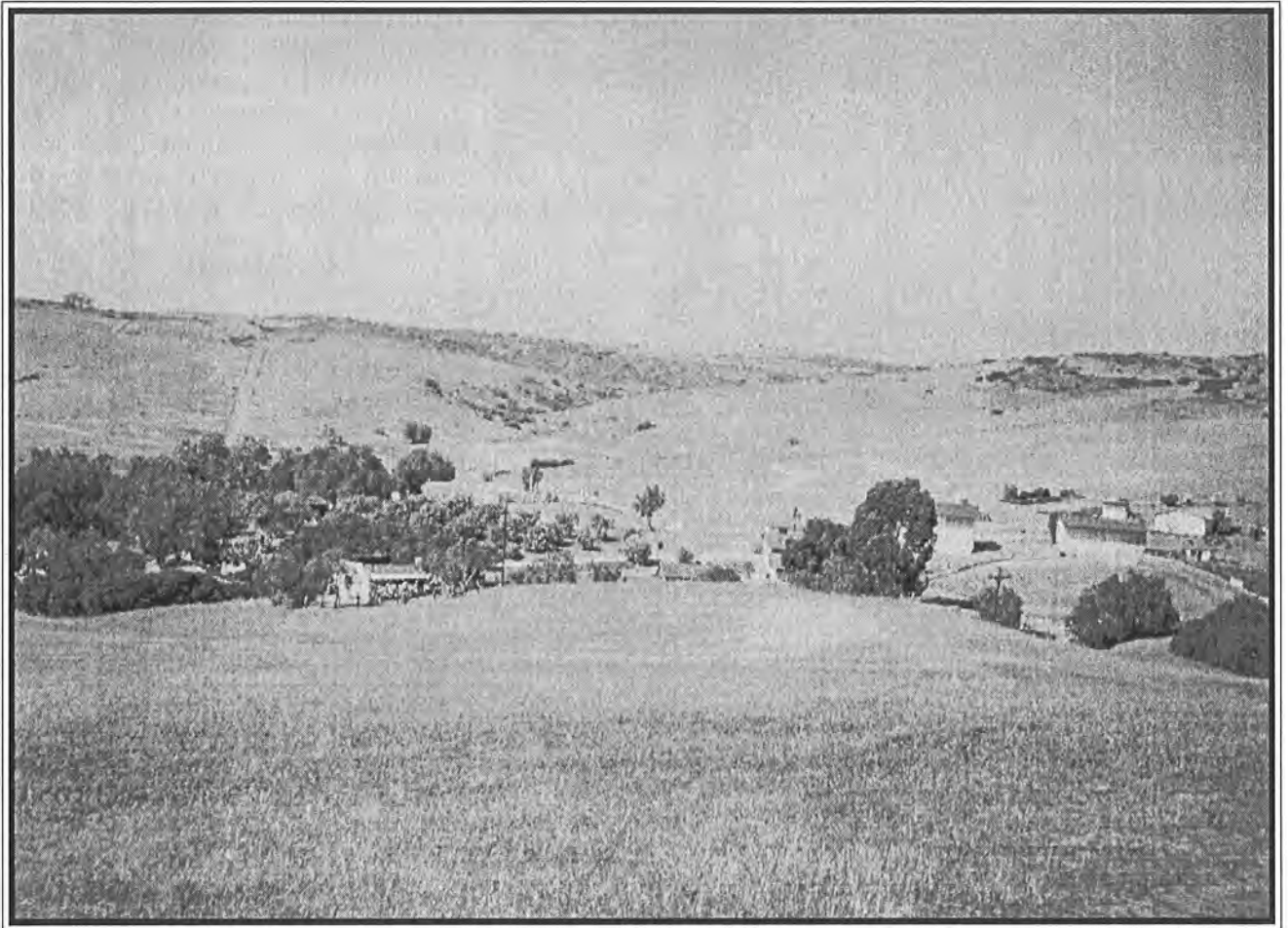
SECTION ONE
INTRODUCTION



SECTION ONE • INTRODUCTION

1.1 Foreword/Executive Summary

Well hidden and nestled in what once was a beautiful and undefiled valley in southeast Carlsbad (Figures 1-1 and 1-2), survives Leo Carrillo Ranch, also known as Rancho de Los Quiotes, awaiting patiently for its discovery as a truly exceptional historic park.



Leo Carrillo Ranch, long distance view, mid to late 1950s. (Photograph courtesy of the Carrillo Ranch Archives)

Originally a Spanish land grant that housed a 19th century adobe, the ranch was purchased and redesigned by Leo Carrillo in 1937 to represent an “old California” working rancho. This ranch represents one man’s dream to live in the past, to replicate a time without crowds, schedules and stress. It was his retreat to “Sharpen the Sword”, hibernate and regain strength. It was paradise, with Leo as the castaway.

The original hacienda still continues to enchant visitors as it did for Leo’s friends and his visiting Hollywood celebrities and political figures of years ago. A portion of the dirt road still leads the visitor over the old entry bridge, through giant pepper trees and large masses of agave and cacti, culminating in the original promenade of stately Queen Palm trees that have always been so delightful and inspiring. The promenade transitions into the heart of the old rancho, with the

romance and attraction of the original hacienda, the stables, cantina and cabana. The hectic pace of outside life melts and fades away, transporting the visitor to a past time when nature, land and serenity were a part of every day. It is a most inspirational setting, where guests cannot wait to share their experience of this unique sanctuary with others.



Figure 1-1 • Regional Map

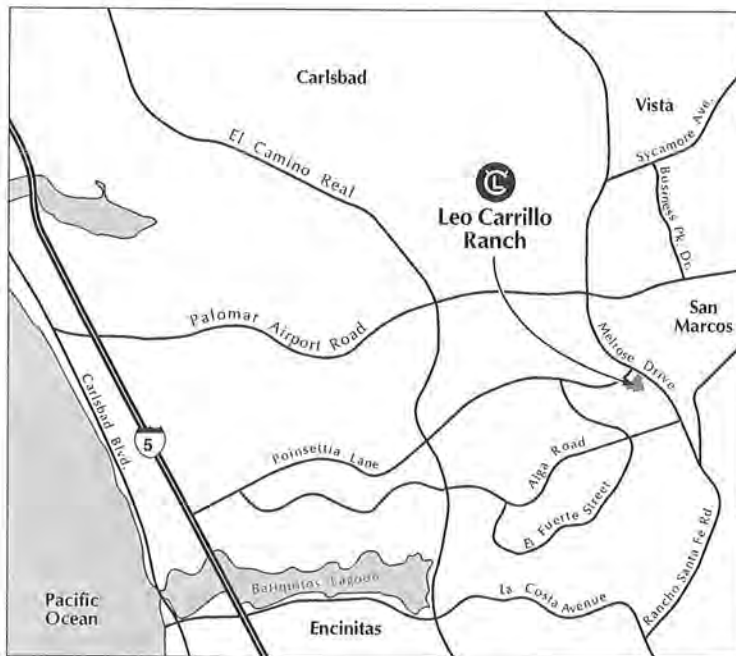


Figure 1-2 • Vicinity Map

Rancho de Los Quiotes has remained silent far too long, and has been Carlsbad's best kept secret for too many years. It is now time to tell the story of how the Ranch has touched many lives, and to bare witness to its proprietor's many talents; cartoonist, comedian, author, yachtsman, deep sea fisherman, actor, entertainer, storyteller, environmentalist, historic preservationist, horseman, and grand marshal for scores of parades, and above all, a poet:

Purple Hills

*"Purple Hills where I was born
I think of you sometimes forlorn-
I long for you my purple hills.
My heart looks back and gently thrills
To your canyons deep that I adore,
Where arroyos creep to the ocean shore.
'Neath spreading oak and sycamore,
Your graceful slopes I used to roam,
Sierras of my boyhood home,
Set against the sunset sky,
Where the blazing rays bid the days goodbye,
And the setting sun of amber hue
Sinks into that ocean blue,
And the ripples of its sun-kissed shore
Sing to me forevermore.
Take me back where I can sleep
In the silent hush of your canyons deep.
Where my fathers roamed in the days gone by,
take me back to live and die".*

This rancho is historically significant because of the man and his life accomplishments.



Leo Carrillo was a sensitive and perceptive human being, immersed in history and culture. He dreamed of peace and goodwill for all mankind. He truly was a 'Renaissance man'.

At the grave of his beloved palomino, Conquistador, he could see in his mind's eye the endless procession of padres and soldiers along El Camino Real. He was proud to be the ancestor of Jose Raimundo Carrillo, who marched with California's first white explorer, Gaspar de Portola. Leo had historic ties to San Diego County, and gloried in his heritage as scion of one of its first families.

The master plan program for Leo Carrillo Ranch represents the first important step in enhancing and contributing to the public's understanding, recognition and enjoyment of Carlsbad's local and regional history. However, a meaningful historic site will only be successful if the "story" is appropriate to the site, the surrounding region, and the contemporary audience. The physical needs for articulating the history and meeting the visitors needs must be sensitively addressed and implemented. The preservation, maintenance and management programs must be appropriate and well organized, and in full and efficient operation.

This master plan document for Leo Carrillo Ranch Park provides a vision, goals, opportunities, and recommendations based upon and determined by a thorough analysis of the site's resources and Leo's contributions to the history of California.

Before any major decisions can be made, schedules implemented or commitments undertaken for Leo Carrillo Ranch, the existing and available resources had to be assessed. It was essential to carefully examine the total project area and to analyze the existing site conditions. These investigations determined the initial concerns and questions for research, which thereby established the historical significance of the site. This information, integrated with the site assessment and planning data, determined the project's definition and its ultimate objectives.

The research revealed the project's opportunities and options, and identified the optimum preferred plan. This preferred plan sets the path for the proposed ultimate design development. All future work or implementation should comply with the preferred plan, whether it be additional planning, maintenance, or the preparation of the interpretive program. It is important to realize that the historic elements must be recognized as the key role in the development of the historic site. The basic task has been to unite all the considerations into the best emerging plan.

An essential part of any preservation project is the creation and implementation of a comprehensive operating and maintenance plan. Of special concern is the many dynamic elements in a historic landscape that are constantly changing, growing and moving. Without an innovative landscape maintenance plan, the distinctive site character, trees, shrubs and transitory features would be lost through the passage of time.

This master plan document has been prepared to address and define the physical design, operational issues, and interpretive opportunities for Leo Carrillo Ranch.

1.2 Purpose of the Master Plan

The master plan is a principal document that brings together the findings of the supporting studies and research that presents an integrated and phased implementation program. It illustrates the cultural and natural resources and a brief overview of its history and operations that best form the basis of the interpretation. The supporting studies involve the interpretive plan, categories and methods; and the design recommendations inclusive of the site, historic structures, programming and implementation concepts. All of the studies are recommendations of policies, and it is further recommended that a more refined design development of these studies take place before the implementation phase.

The goals of this Master Plan are:

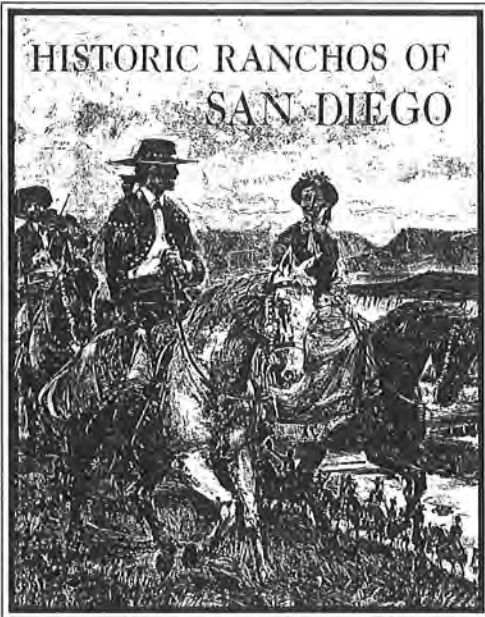
- To identify and collect together in one document all of the natural and cultural resources and other pertinent data of Leo Carrillo Ranch, also known as Rancho de los Kiotes.
- To determine visitor activities, educational programs, and events that are compatible with the central theme of the ranch, and that are appropriate and add to the overall ranch identity and purpose, and complement the interpretive plan.
- To make legitimate and responsible decisions that will interpret, restore, preserve and remain faithful to the spirit and character of Leo Carrillo Ranch.
- To produce a complete and logical Master Plan that establishes a 5-10 year phased and prioritized program for defining Leo Carrillo Ranch as a well known historical site for the enjoyment of the public.

The individual components are all required as supporting members to help guide and justify the direction of the project. The Master Plan document is the recommended program. The level of detail in the Master Plan provides the City of Carlsbad with a clear and complete list of options and priorities for implementation.

1.3 Statement of Site Significance

Southern California has been perhaps the most rapidly changing region in the United States since World War II. The physical evidence of past generations is being taken away forever, and if there is no one alive to tell the story, who will?

Leo Carrillo Ranch represents the last of a great era, a rare historic place that lets us travel back into time and see our link with the past. The reflection of historic places provides a relevant context that helps us understand who we are, and where we came from. This guides us to a deeper appreciation of our own lives in the constant period of change on our planet.



The End Of An Era Of The Great And Romantic Rancho Period Of California

The Rancho period of early California is rich in romanticism. The image of the Dons, proudly riding their noble steeds, has left a lasting impression on the culture of California. This thirty year period is defined as the time between the breakup of the Franciscan mission system and the Americanization of California that came with the end of the United States-Mexican War.

In San Diego, the rancho period began later than in other areas since all of the ranchos were granted during the time when California was a province of Mexico. The rancho period lasted longer in California since change came slower and ranching remained a way of life well into the late 1800s.

In reality, ranch life was harsh and barren, and the heavy migration of land-hungry Americans after the Civil War brought a new era of agriculture and townships, including more than ranching.

However, it was the romantic notion of the Dons and the elaborate haciendas that sparked Leo Carrillo's imagination. It was this romantic atmosphere of old California that Leo wanted to create at his ideal hideaway.

Representative of Southern California's Prehistory and Leo Carrillo's Spanish- Californian History

Leo Carrillo comes from a long succession of Californians. His family was one of the most famous and powerful of the original Spanish landgrant families of California, a family whose origins could be traced back to New Spain.

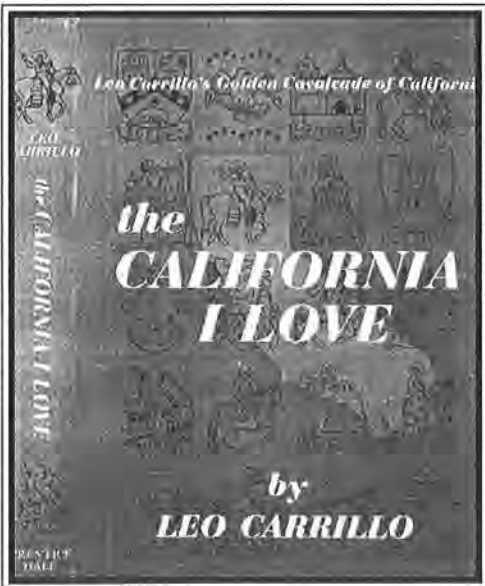
Maintain the tranquil quality of Leo Carrillo Ranch as a valuable asset to enhance the visitor experience as a step back into the past.

Leo Carrillo longed for the days in which his forefathers lived. In his book, *The California I Love*, Leo Carrillo describes a retreat where the Old California rancho could be recreated.

"In every Californian there is a great desire for the wide open spaces if he comes from families who were born in them, as I was."

Leo Carrillo has created this very same experience in the development of his rancho. This Old California rancho experience is to be passed on to its various visitors. As it was in Leo's day, the ranch will provide a retreat from the modern city life and will transform the visitor back in time to the days when California was genteel and pastoral, populated by proud Hispanic families who by day delighted in the excellence of their horsemanship, and by night sang to the gay sound of the castanets. The days where mothers and daughters baked bread and made tortillas, as well as participated in the arts and crafts, while the men remained in the fields tending the animals.

The spirit of Leo Carrillo Ranch will give the feeling and impression of going back in time and visiting the ranch as one of Leo's guests. The presence of historic features, structures, and activities will predominate the scenery. The area will be as free as possible from modern



Book jacket from Leo's book

equipment, modern-day cars, offices, and stored park or maintenance equipment.

The spirit will be of an Old California working cattle ranch; peaceful, and at the same time active, especially around the barn and stable areas. One will almost believe that the Carrillo family is still there, and that Leo Carrillo could arrive at any moment at the Ranch to continue his activities of branding the cattle, or making the adobe bricks, or hosting a fiesta.

Leo Carrillo Ranch Today

Rancho de los Kiotes represents one man's attempt to recapture the romance of the past, and the end of his quest for the pleasant, simpler life-style of his ancestors.

Today, fifty-eight years after its inaugural blessing by Father Boniface from nearby San Luis Mission, the ten and a half acres of the original ranch still remain unique and uncontaminated. Another seventeen acres, dedicated by the adjacent developer, provide a buffer. The hacienda continues to enchant visitors, just as it did to celebrities of Hollywood years ago. Today, the ranch's environment is beset with construction that has been anticipated since Leo's daughter sold off the last parcel of land. Due to new economic conditions and increased urbanization, the ranch is no longer surrounded by rolling hills and cattle, unseen from the nearby roads as before. The views are outward toward the manufactured slopes, residential development and large expressways. Most of the original landscape features and plant materials have died and/or have been removed during a stabilization and seismic retrofit that was completed in 1992.

The City of Carlsbad has maintained the ranch site since 1978, with caretakers keeping the inveterate pea fowl company. Approximately one thousand trees have been planted around the ranch's perimeter to ironically "preserve" the feeling of isolation that once gave the ranch its charm. An adjacent open space corridor remains in most of its natural state, except where impacted by manufactured slopes, site infrastructure, the Citywide trail system, and community trail links.

Readers please note:

From the time of the Kelly family's original homestead in the late 1800s until Leo Carrillo's arrival on the scene in 1937, the site was known as the Rancho de Los Kiotes. Leo, however, changed the spelling to Quiotes. His preferred usage endured until application was made for a coveted listing on the National Register of Historic Places in 1992. The State Office of Historic Preservation and the National Park Service decreed that the official name must revert to Kiotes as a condition of acceptance. In this master plan text, "crossover" references do occur.

SECTION TWO • SUMMARY OF RESOURCES & RESEARCH

2.1 Resource Goals and Objectives

The purpose of recognizing Rancho de Los Quiotes is to commemorate Mr. Leo Carrillo, and to perpetuate the life and values he longed to recreate at his retreat. The ranch is archaeologically significant in the understanding of Southern California’s prehistory; and it is historically significant as an early 1842 land grant with a unique background. The primary goal is to preserve, interpret, restore and maintain the historic features associated with Leo Carrillo, his life, and the Rancho de Los Quiotes, and to endeavor to make these features and areas accessible to the public for its enjoyment and appreciation. A secondary goal is to preserve and maintain the surrounding natural setting within the context of the neighboring suburban community.

2.2 Historic Overlay/Significance

Rancho de Los Quiotes – now commonly referred to as the Leo Carrillo Ranch –is one of four (4) local historic sites recognized by the City of Carlsbad. It is listed on the National Register of Historic Places and is a Registered California Historic Landmark.

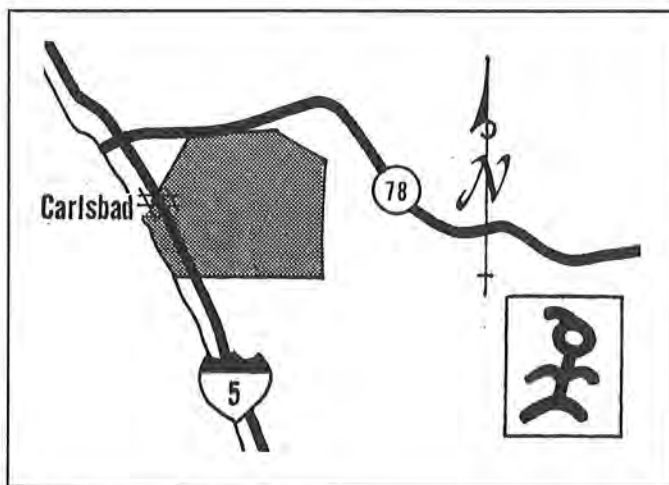
Spanish American Period

The first recorded Anglo activity in the Carlsbad area began in 1769 when Gaspar de Portolá led an expedition of military and clergy north to begin settlement along the California coast. One of the settlement areas was the Agua Hedionda Lagoon. The Agua Hedionda Lagoon, or “stinking waters,” earned its name on that first trek, and has appeared with the appellation in wills and land grants ever since.

After Spain was overthrown in California, the land was divided into large ranchos. One such rancho became the property of Juan Maria Marron, a retired sea captain, who had aided Pio Pico in the 1831 revolt against Governor Manuel Victoria. Captain Marron received the Agua Hedionda land grant in 1842 from Governor Alvarado. Marron’s widow, Felipa Osuna, and children received the land after Juan died in 1853.



Historic Sites Marker



Map of Agua Hedionda Rancho

Francis Hinton purchased most of Rancho Agua Hedionda from Sylvester Marron during the 1860s, after coming to San Diego with the U.S. Army’s Mexican Boundary Survey, led by Lt. Cave Couts, who later owned Ranchos Guajome and Buena Vista. Previously, he had been a storekeeper at Fort Yuma, Arizona, and it was believed that it was in Yuma that he met Robert Kelly, who would become his partner a few years later. Both would try their hand at cattle ranching.

Kelly History

Robert Kelly came to San Diego in 1851. His family had immigrated to the United States from Ireland in the early 1840s, following the great "potato famine", (he was born on the Isle of Man). From New Orleans, Kelly traveled the overland route to Yuma. While at Yuma, he and the military were allegedly the first to arrive on the scene at the Oatman massacre, an ambush by a band of Apache Indians that killed Kelly's friends, and helped bury the dead. After a few months in Yuma, he moved on to San Diego.

In San Diego, Kelly tried his hand as a government mule driver, quickly becoming wagon master. He was a partner in ownership of the Jamacha Rancho for five years, and during this time, raised cattle and farmed. After selling his interest in 1857, he moved to Old Town San Diego and joined Frank Ames in the mercantile business.

In 1860, Kelly joined Francis Hinton in the purchase of the Agua Hedionda Rancho, a 13,311 acre Mexican land grant. He also served as overseer for Hinton's ranch at Jamul. When Hinton died in 1870, Kelly became sole owner of the entire ranch. He lived in an Agua Hedionda adobe, built around 1851 by retired sea captain Juan María Marron. Hinton had modified the adobe by building a perpendicular wing to the main structure. The later added segment of this adobe was not as well built, since, in 1935, the 1851 portion of the house was still standing while the "T" was melting away.

In 1869, Kelly was joined by his brother Matthew and family from northern California. The previous year, Matthew had visited his brother and had developed a fondness for a piece of property in Bear Valley. Upon returning to San Diego, Matthew discovered that the property was already settled, so he took up residency on the property next to his brother, Robert.



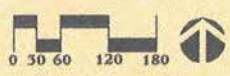
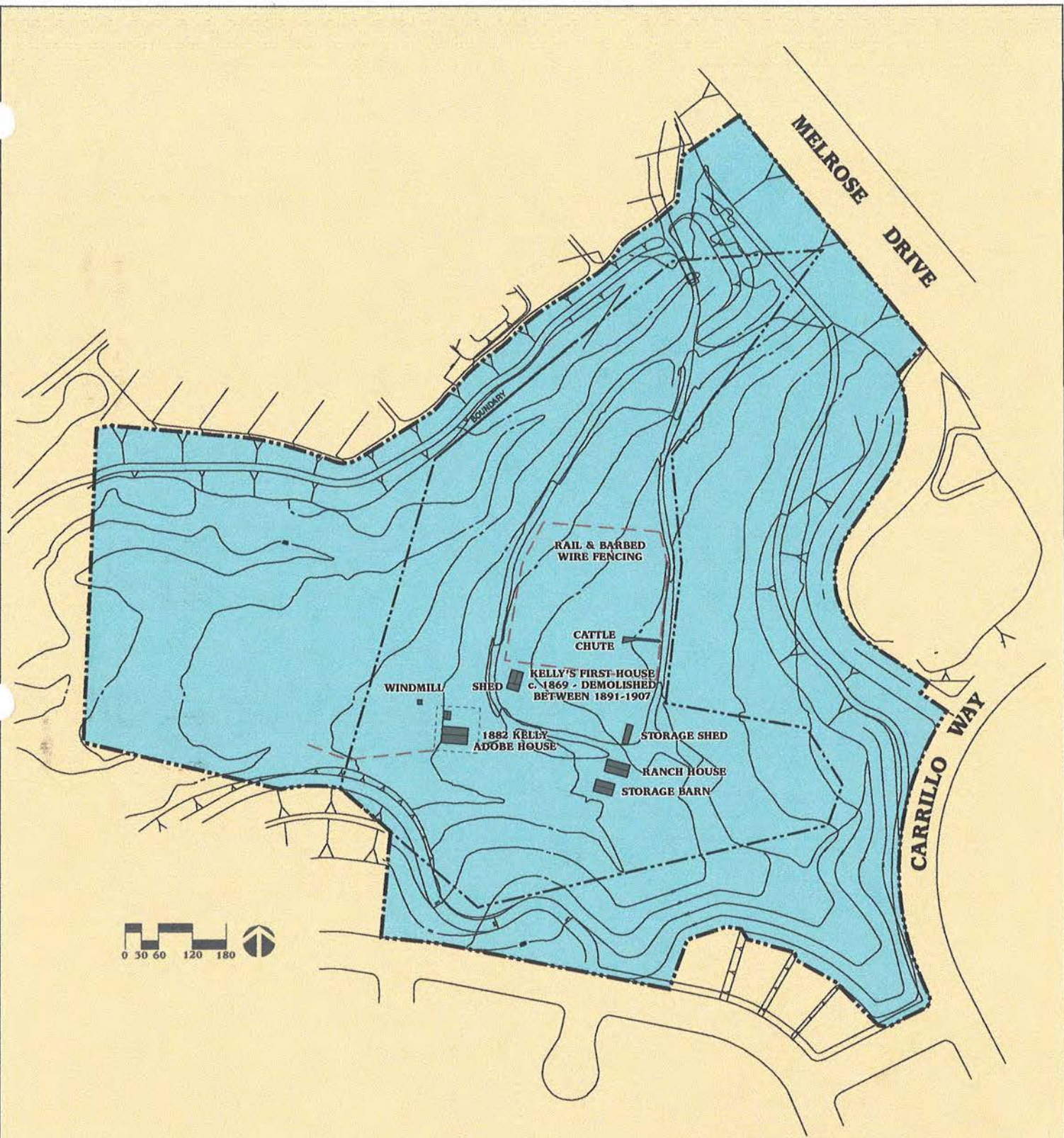
Watercolor of Rancho de los Kiotes by William Webster Borden for William Sherman Kelly, 1981. (Photograph courtesy of the San Diego Historical Society, Ticor Collection)

"Los Kiotes" Rancho

Matthew Kelly, his wife Emily and their six children arrived in San Diego aboard the steamship *Orizaba* on November 3, 1868. After a month's stay at Old Town in rooms provided by Friar Ubach, the family tracked out to the property at Agua Hedionda. Ubach was a familiar figure in San Diego, helping to build the Roman Catholic church, bringing the railroad to San Diego, and assisting the Indians of San Diego. In that month, Matthew and Robert built a small board house on-site that would serve as home until a new larger one could be constructed. The early house, as described by Matthew's son, John Lincoln Kelly, "was a very crude affair. It was sixteen by twenty feet and a story and a half in height, made

of rough redwood lumber with battens over the cracks." The layout of the Kelly buildings is shown on Figure 2-1, 1869-1937 Kelly Family Period Map.

During the 1870s, four years of drought devastated the crops and animals, and discouraged the ranchers. Elizabeth Gunn recalls that an earthquake at this time shifted the ground enough to activate a spring on the property.



1869-1937 KELLY FAMILY PERIOD MAP

LEO CARRILLO RANCH

City of Carlsbad

Figure 2-1



Rancho de los Kiotes: Homestead of the Kelly family, 1907. (Photograph courtesy of the San Diego Historical Society, Ticor Collection)

Barbed wire was not invented until 1879. So until that time, all cattle had to be branded so they could be easily identified. Any cattle found unbranded as adults were fair game to the ranchers. In the spring of 1883, barbed wire was ordered from Chicago, and about 15 to 16 miles of fencing was laid to enclose the ranch. The Kellys were now in the cattle business. Within a few years, their stock had risen to about 1,000 head of cattle.

In 1882, the two-story adobe was built. "The house was thirty feet wide and forty feet long." John Lincoln Kelly reported that there was a carpenter to do the wood work, and a mason to lay stone and adobe, but "all the other work, such as digging and

mixing the mortar for laying same, was done by my brothers, Charles and Will, and myself... The building of this house was hard summer's work, but after it was built we had a very comfortable home."

Matthew Sr. died in 1885. His eldest son, Matthew Edward, resided at the old house at least until 1928. Robert Kelly died in 1890, leaving all but about 400 acres of the original estate to his nine nieces and nephews. Forty of those acres had been given to the Southern California Transcontinental Railroad to encourage the connection to San Diego.



Emily (Porter) Kelly with her nine children, circa 1900s. (Photograph courtesy of the San Diego Historical Society, Ticor Collection)

Several of the children, including Charles and John Lincoln, have written their memoirs of life at "Los Kiotes." The children of Matthew and Emily were:

- Elizabeth Anne married Chester Gunn
- Matthew Edward married Luisa Ortega
- Mary Emma married William Webster Borden
- Charles married Lavinia Irwin
- William Sherman married Ethel Bailey
- John Lincoln married Ethel Bailey; Stella Porter
- Frances Jane married Sydney Pritchard
- Robert J. married Elizabeth Rose Whitty

As the children grew up and married, there was a need to divide the property. The equitable solution was a drawing with all the parcels "pulled from a hat." By using logical dividing lines, such as Camino Real and other old stage roads, the parcels were identified. The survey was completed in 1895. Two parcels were held commonly. Matthew Edward and his family drew the parcel containing the family home. After he died, the property went to his six children.



Kelly Ranch, 1906



Kelly homestead, 1935 (Photograph courtesy of the San Diego Historical Society)

In 1934, the San Diego *Union* reported that the two story adobe which “stands at Los Quiotes now” had “four rooms and a dining room (that) furnished the only heat.”

An excellent history, covering the Kelly family prior to their arrival in San Diego on through their acquisition of the Agua Hedionda Ranch and subsequent impact on the whole north county area, is contained in Marge Howard-Jones’ publication, *Seekers of the Spring*.

Leo Carrillo History

The Rancho de los Quiotes (Leo Carrillo Ranch) is significant because it was designed and built by owner Leo Carrillo. Leo was the great grandson of Carlos Antonio Carrillo, the Governor of California in 1837. He was also the son of the first Mayor of Santa Monica, a 17 year member of the State Parks Commission, an accomplished actor, Honorary Mayor of Vista and Borrego Springs and Grand Marshal in numerous parades ranging from small local parades to the Rose Bowl Parade. The Ranch stands as a monument to the pride Carrillo felt in his Spanish California heritage, an effort to recapture the romance of the past in his quest for the simpler life style of his ancestors.

Leo Carrillo Ranch (Rancho de los Quiotes) represents Leo Carrillo’s interpretation of his proud Hispanic heritage and serves as his legacy for all future generations that they might share in his love of California and its gracious Spanish past. Leo Carrillo was significant not only to California’s past but his contributions live on as a reminder of a man who was proud of his yet displayed a love for all mankind. A staunch family man, Leo brought dignity and the pursuit of high ideals to the Latin image.

Born on August 6, 1880 in an area of Los Angeles know as the Bell Block, Leo Carrillo was a descendant of one of the original twelve families of San Diego. The first known Carrillo settler was Hilario Carrillo, who lived at Loreto, Baja California, 200 years ago (*The Southern California Rancher: 1945,12*). In 1749, José Raimundo Carrillo was born to Hilario. José Raimundo was among the volunteers who accompanied the intrepid and visionary Don Gaspar de Portolá, Governor of Baja California sur, on his northward overland journey of discovery. In the search to relocate the lost Peninsula and Bay of Monterey, they became disoriented and traveled further north to discover the large San Francisco Bay.

José Raimundo also suffered alongside the determined young Franciscan priest, Junipero Serra, on his historic forced march from Baja California to San Diego in 1769. It was Father Serra who established the first mission and presidio in San Diego, as well as the most northern mission in San Francisco. And it was Father Serra who officiated at the wedding of José Raimundo Carrillo to Igancio Lugo at Mission San Carlos in Monterey.

Leo Carrillo’s great-grandfather, Carlos Antonio Carrillo, became the first provisional Governor of California in 1837. Governor Carrillo redistributed and secularized the vast Mission lands which amounted to hundreds of acres. He disbursed the lands for the public good, the so-called “peons fund”, gathered over many years through the tithes and special levies. This set in motion the forces that ended the pas-



Carlos Antonio de Jesus Carrillo (Photograph courtesy of the Santa Barbara Historical Society)



SECTION TWO

SUMMARY OF RESOURCES & RESEARCH



toral era and laid the foundation for the modern history of California. The Governor seemed to have been the turning point in the Carrillo family fortunes from the Spanish to the American occupation of Alta California.

Sometime before 1900, Carrillo's parents relocated the family to a home in Santa Monica, eighteen miles from the Bell Block adobe house where he was born. As a child, Leo would hear the saga of his great California family. Leo Carrillo's father was also well known in his own right as the first Mayor of Santa Monica.

As a young man trying to finance his studies at St. Vincent's College (forerunner of Loyola Marymount University), he worked on a railroad construction gang between Santa Barbara and San Luis Obispo. Because of the ethnic diversity of the crew, he became fluent in seven languages, which allowed him to become a gifted dialectician totally free of racial bias. After graduation, he worked as a cartoonist and journalist for the San Francisco Examiner where he became acquainted with William Randolph Hearst. During this period, a talent scout recognized Leo Carrillo's ability to entertain and his acting career began. Between 1913 and 1950, he appeared in fifteen plays (many of them on Broadway) and ninety-eight movies as well as hundreds of vaudeville shows.

At the robust age of seventy, Leo Carrillo co-starred as "Pancho" with Duncan Renaldo as the "Cisco Kid". Together they filmed one hundred and fifty six episodes in color of this highly successful television series. Leo Carrillo had entertained millions of adults in the movies and now his newest role brought great joy to hordes of children. His love for them was sincere, being a staunch family man in private life. His advice to all children was "go to church and be good Americans". The Cisco Kid episodes represented the first non-violent western series - the targets were never other human beings but the shortcomings of mankind. Through comedy, Leo Carrillo and Duncan Renaldo brought dignity and the pursuit of high ideals to the Latin image.

Leo's financial success as an actor provided him with the means to realize his life-long dream to build a home for himself in the tradition of his California ancestors. To Carrillo, Rancho de los Quiotes was the product of a lifetime of personal memories he had of similar dwellings. The warm feeling of the adobe blocks, the low rambling design of the buildings he personally paced off in the mud, the brick fireplaces, old pepper trees, coyotes and proud peafowls running about the buildings, were all part of his memories.

During the early 1930s, Leo and his family lived at 639 East Channel Road in Santa Monica. Even after he built this home, with all the fun involved in getting the right materials and creating a romantic California atmosphere, Leo had a yearning that was not satisfied. He felt cramped. Too many people were crowded too close together.

Leo called his Santa Monica home "Los Alisos", the Sycamores. It was his "Ranchito". But Leo felt the world was closing in on him. He longed for the wide open spaces where he could recreate the old Spanish Rancho for future generations. In 1937, Leo found the perfect place to build his dream ranch, the former Kelly Ranch in Carls-



Leo on Conquistador at the Ranch, 1950s. (Photo courtesy of the MWD Archives). This was one of Leo's favorite photographs. He gave out many autographed copies to friends.

bad. This legacy he left in his Carlsbad Ranch, Rancho de los Quoties. The Ranch was his retreat, a full working ranch reminiscent of his heritage.

Between 1937 and 1950, Carrillo starred in 60 films. Rancho de los Quoties was at this time a working ranch as well as a weekend retreat for Leo and his family. Leo became famous for his grand hospitality and lavish barbecues where Mariachi bands entertained guests from Hollywood and friends and neighbors from Carlsbad and its surrounding communities. Rodeos, roundups and barbecues attracted many, and the responsibilities of the working ranch kept numerous hired hands actively employed. It is not surprising that the well-liked actor took such great enjoyment in the entertainment of Hollywood's elite at the Rancho de los Quoties, just as Carrillo's ancestors had delighted in hosting their own 'gente de razon' of Spanish California. Carrillo's image as California's grand host would become so successful that he would earn the title "Mr. California" in an identity he would himself term the "reincarnation of the caballero."

Carrillo provided lively and gracious entertainment for his guests at the Ranch during the late thirties and early forties. His hospitality, as well as his horsemanship were well known. A rodeo and bull pen complete with announcer's stage set to the side of his adobe barn were often the site of demonstrations in horsemanship. Leo was very happy when there was this kind of activity going on at his ranch



Leo branding a cow

In 1942, Leo was working on a film with a strong political moral. An imaginative publicity man saw an opportunity to gather some headlines and suggested to Leo that he run for Governor. As a gag, Leo agreed. After all, his famous ancestor, Carlos Antonio, had been Governor of California. Though not up to date on the condition of the State's budget, Leo switched to proclaiming "balancing the human budget". The boom was launched and Leo was in demand for speeches every where. What started as a gag suddenly became a real possibility - both the studio and Leo realized they had a problem; how to keep Leo from being nominated.

Leo thought of his good friend Earl Warren whom he had met during the first World War. Warren had been impressive as Attorney General of California. When Mr. Warren expressed himself to be an unknown, Leo convinced him of the advantage in running on both tickets. Leo and Warren stumped the State from one end to the other.

Much to Leo's credit, Warren swept both tickets with over a million votes to become Governor of California. In 1943, Governor Warren appointed Leo to the California Beaches and Parks Commission; a position he held for seventeen years. During his time on the Commission he helped the State acquire the Olvera Street adobe and establish the Anza-Borrego Desert State Park. It was through his personal effort that Hearst Castle at San Simeon was brought into the State Park Inventory. He was a founding member of the Los Angeles Arboretum as well as the Rancheros Visitadores, an elite Santa Barbara riding club. In March 1959, a stretch of beach near Malibu was named in his honor.

Launched by World War II and the decline of Hollywood's golden days in the 40s and 50s, Carrillo became a defender of freedom and foe of communism. He received invitations to speak at numerous galas, parties and meetings where he continued to boost California and his family heritage. These years earned him the title "Mr. California" and at least one promotional pamphlet lauding his career made ample use of the nom de plume.



Cisco and Pancho giving a teeth brushing lesson, 1950-1956. (Photo courtesy of the Carrillo Ranch Archives)

Though other Hispanics of the 30s - 40s were popular performers, none were so involved in making the world a better place than Leo. Charitable causes always drew his support - Little League baseball, crippled children's organizations and the restoration of the California Missions in 1941. From 1942-1945, Leo and his wife and daughter were actively involved in the Red Cross. Leo's love for children was expressed in his biography, "My greatest thrill is to be recognized by children as 'the fellow who makes them happy.'" "Children are real, gloriously sincere. Even in Toledo, Spain, as I walked down the street, little children gathered around me, happily chanting my name. A man can ask no greater reward than to be loved by children."

The Carrillo Ranch stands as a tribute to California's rich Hispanic heritage. The Ranch is a product of the so called golden Era in Hollywood, a period of glitz and glamour when prosperous movie and stage stars built homes as personal retreats and entertainment show-cases. Leo Carrillo's Rancho de los Quiotes represents the continuation of an established building tradition of Southwestern adobe architectural craftsmanship that has been passed on from generation to generation.

Leo states in his book, "I have ridden in many parades. I have trod many a stage. Applause has been mine. I have seen the far places of the earth. Many dreams have come true. Now, here on the Rancho of the Spanish Daggers, the past, the present and the future flash their many-prismed mirrors before my eyes. The everlasting hills are my proscenium. The vaulted sky is my roof. The stars lean down to pronounce their benediction..... Now, amigos, perhaps you understand why the adobe is my birthstone..."

Today, the buildings of Rancho de los Quiotes speak for themselves. The whitewashed adobe walls mirror the years as a working ranch and retreat for the Carrillo family. Leo Carrillo's self-termed reincarnation as a Spanish caballero demonstrates the effectiveness of the California myth that made popular the romantic image of California's haciendas and the festive life of days gone by.

Rancho de los Quiotes represents a blend of California myth, Hollywood showmanship and stage setting, and the use of authentic architectural building traditions to create a representation or interpretation of the past. Rancho de los Quiotes, its builders, residents, employees and guests share in the California myth and Carrillo's dream, taking their place in the local history of Carlsbad and the broad history of California.

In 1934, the San Diego *Union* reported that the two story adobe which “stands at Los Quiotes now” had “four room and dining room (that) furnished the only heat.”

An excellent history, covering the Kelly family prior to their arrival in San Diego on through their acquisition of the Agua Hedionda Ranch and subsequent impact on the whole north county area, is contained in Marge Howard Jones’ publication, *Seekers of the Spring*.

Rancho de Los Quiotes, “Ranch of the Spanish Daggers,” - 1937

During the 1920s and 1930s, adobe was a popular medium for house construction. The late architect Lilian Rice was constructing the nearby community of Rancho Santa Fe, emphasizing the style and technique of early southwestern homes, built from adobe bricks.

But the native Californian, Leo Carrillo, was not satisfied with copied living. He wanted to relive his early Spanish heritage, and longed for the romantic days of the Dons. Living and working out of the Los Angeles and Hollywood area, he described to friends the rolling hill setting of his dream homestead with coyotes, doves, quail, deer, sycamores, and his beloved horses. He had already settled at the family’s adobe ranch at Santa Monica, but it was just the precursor to the big dream that would manifest at Los Quiotes.

In March 1937, Leo Carrillo purchased 1700 acres from Charles and Lavinia Kelly (San Diego County Recorder Official Book #635, page 333). Later, in 1939, Carrillo purchased an additional 837.99 acres from Edward and Nettie Kelly (San Diego County Recorder Official Book #868, page 44).

Carrillo’s foreman for the construction of the buildings on the property was Cruz Mendoza of Vista, California. Apparently, no real plans were followed, but rather Carrillo designed floor plans directly into the ground where the structures would stand. He left Mendoza, a skilled and knowledgeable carpenter, in charge of the job for often weeks at a time, while off starring in movies. For the next three years, Cruz and his three sons, Lawrence, Richard and Cruz, Jr., rebuilt the modified old Kelly place and added structures as Leo would outline them in the dirt. These structures are shown on Figure 2-2, 1940-1950 Historical Interpretive Period.



The hacienda under construction. Dismantling of the Kelly home, c. 1937-1938. (Photograph courtesy of the Carrillo Ranch Archives)

The first building constructed was the main house. The northern wing of the main Carrillo house is the lower level of the 1882 Kelly adobe.

Leo describes the transformation in his biography:

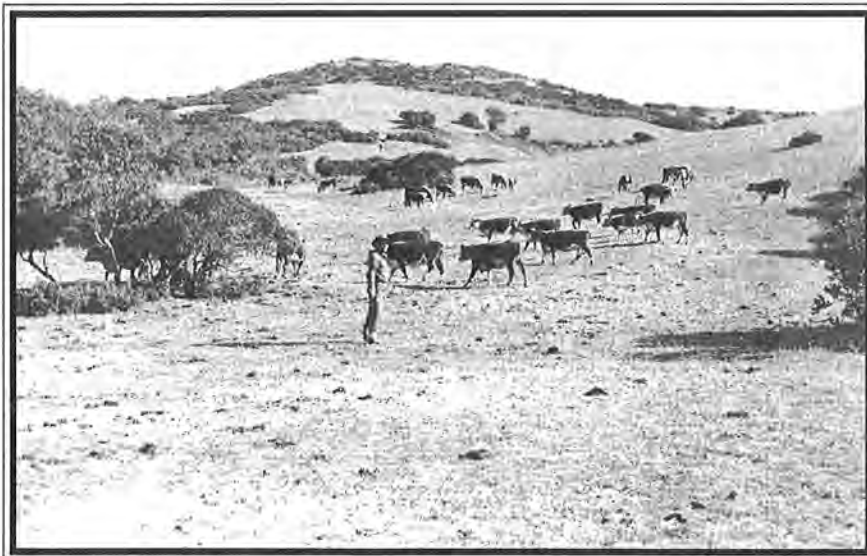
All of the materials for the repairs we ripped off the old house. It was two-story adobe. We took off the top and made it a one-story rambling adobe and added on L-shaped wing.

I don't know the size of the rooms because I stepped off and put a stake at the corner and squared it off and said, "Put a room here, put a room there, put an arch over here, and we'll take these old bedrooms that are still standing and clean 'em up and make a living room out of the two front bedrooms. Then the old dining room we'll turn into a kitchen.

The order of buildings constructed on the property, according to Mendoza's son was: after the main house, a cantina, barn, the foreman's house, and finally Deedie's house. Roof tiles for the main house were obtained from Zasu Pitts, who had a new home under construction and did not intend to reuse the old ones. The house was completed and dedicated.

Apparently, Carrillo did not consider himself simply a gentleman rancher with a superficial interest in cattle and horses. His ranch was a working ranch with an estimated 600 head of cattle. In addition, he appreciated the peace that the ranch afforded and never installed a telephone.

After his death in 1961 at the age of 81, his adopted daughter, Antoinette Delpy, inherited the ranch. The acreage had been slowly sold off until 1976, when the balance of the property was purchased by a group called Carrillo Rancho Partnership, with the stipulation that Antoinette could live at the ranch the rest of her life. She died in 1978 at the age of 60. In 1977, the historic ranch, then comprising about 10.5 acres, was deeded to the City of Carlsbad, who employed caretakers to watch over the property.



Leo Carrillo and his cattle, 1950s. (Photo courtesy of the Carrillo Ranch Archives)

A very thorough history of the Carrillo era at Rancho de Los Quiotes has been written by Dale Ballou May for the City of Carlsbad. It contains correspondence with Cruz Mendoza Jr., as well as an inventory of artifacts and memorabilia belonging to Leo Carrillo and donated by Antoinette to the Old Town State Historic Park in San Diego. These items should be returned to the City of Carlsbad for future use at the Ranch.

2.3 Natural Resources

The following is a brief description of the natural resources that are currently present around the ranch. This information will serve as additional background for the policies and recommendations shown in this report. This information was obtained from data on file at the City of Carlsbad, and past reports and site surveys by the consultant team and staff. In addition, the team analyzed the existing setting for both natural and man-made resources. These existing conditions are shown on Figure 2-3, Site Analysis.

Climate:

The temperatures in Carlsbad are customarily mild, averaging between 60 and 75 degrees Fahrenheit year round. However, occasional severe weather patterns have come down on this area, resulting in an unexpected spread of minimum temperatures. During a 20 year period, lows have ranged from 38 to 23 degrees Fahrenheit. In recorded history, the lowest has been 23 degrees Fahrenheit.

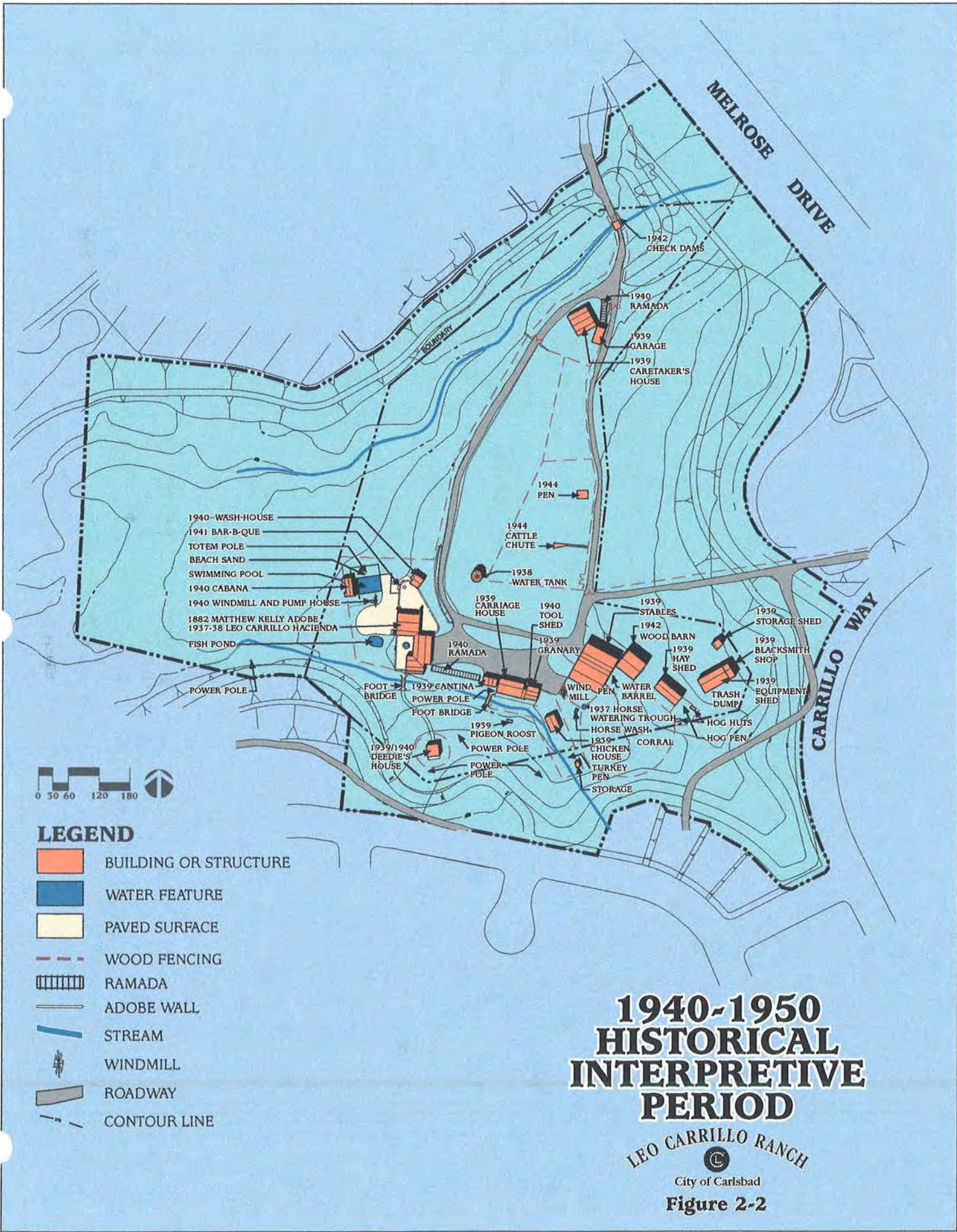
This area of Carlsbad is considered to be the thermal belt of southern California's coastal climate (Sunset Zone 23). It is the most favored for growing subtropical plants, especially avocados. Frosts are mild, since the Pacific Ocean weather dominates over the interior air approximately 85 percent of the time. The remaining 15 percent of the time usually consists of hot, dry Santa Ana winds.

Geology/Soil Types:

The hacienda and nearby structures are all constructed on 12 to 15 feet of alluvium, underlain by the Del Mar Formation. The alluvial soils are generated by the Del Mar Formation, which is quite clayey and expansive. The clay content of the Del Mar Formation creates a perched water condition which surfaces as a spring between the hacienda and the swimming pool. The expansive soils and poor drainage have contributed to the deterioration of the adobe and wood structures. The Lusardi Formation is a conglomerate of red sandstone and cobbles, which will provide a good base, where it is located, for the parking lot. There are very minor areas of man-made fill that are on the north and west corners of the site, and a small landslide area on the west corner of the property. These areas are all far from the buildings, and will not affect the plan. Another small landslide area identified at the easterly entrance to the site should be corrected by the grading being done by the adjacent developer. There is very shallow fill underlying portions of the hacienda and the cantina, which were probably deposited to level the site for construction of the buildings. A summary of the soils found on Carrillo Ranch is shown on Figure 2-4, Soil Types

Topography:

The site is located on the westerly facing slope of a small valley surrounded by moderately to gently sloping foothills on the south, east and north sides, as shown on Figure 2-5, Slope Analysis. The valley and a seasonal stream slope gently to the west, offering a vista from the site. The main portion of the site lies on a slight ridge between that stream and a stream on the southerly boundary of the property. Elevations on the site range from 220 to 300 feet above sea level, with the low point in the large drainage area on the northern portion of the site, and the high pint to the far east side.



- LEGEND**
- BUILDING OR STRUCTURE
 - WATER FEATURE
 - PAVED SURFACE
 - WOOD FENCING
 - RAMADA
 - ADOBE WALL
 - STREAM
 - WINDMILL
 - ROADWAY
 - CONTOUR LINE

1940-1950 HISTORICAL INTERPRETIVE PERIOD

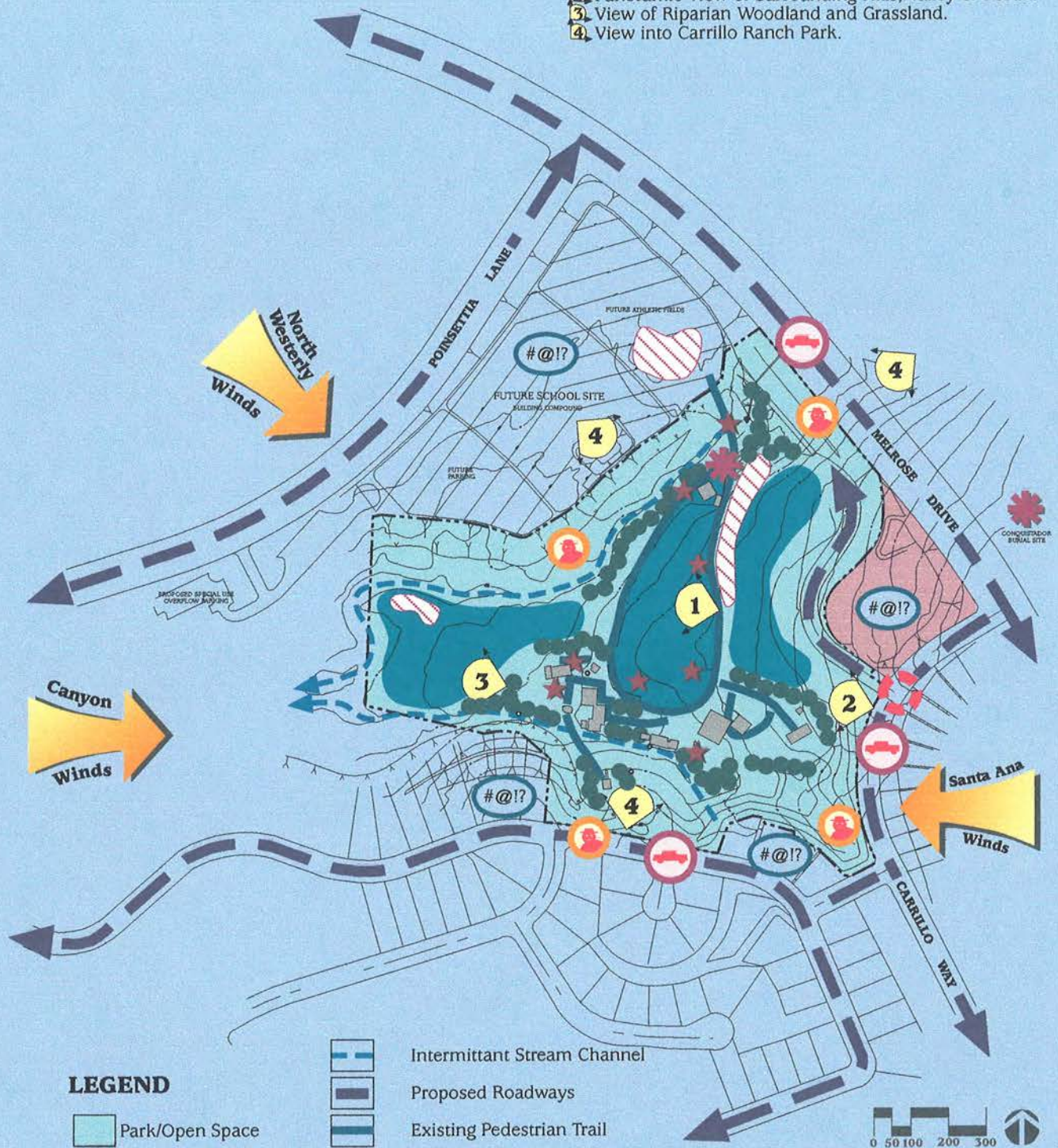
LEO CARRILLO RANCH
©

City of Carlsbad

Figure 2-2

VIEW DESCRIPTIONS

- 1 Distant Views of Surrounding Hills and Valley.
- 2 Panoramic View of Surrounding Hills, Valley & Ocean.
- 3 View of Riparian Woodland and Grassland.
- 4 View into Carrillo Ranch Park.



LEGEND

- Park/Open Space
- Non-Native Grassland
- Proposed Day Care
- Cultural Resource Site
- Tree Massings
- Proposed Park/Day Care Entrance
- Power Poles

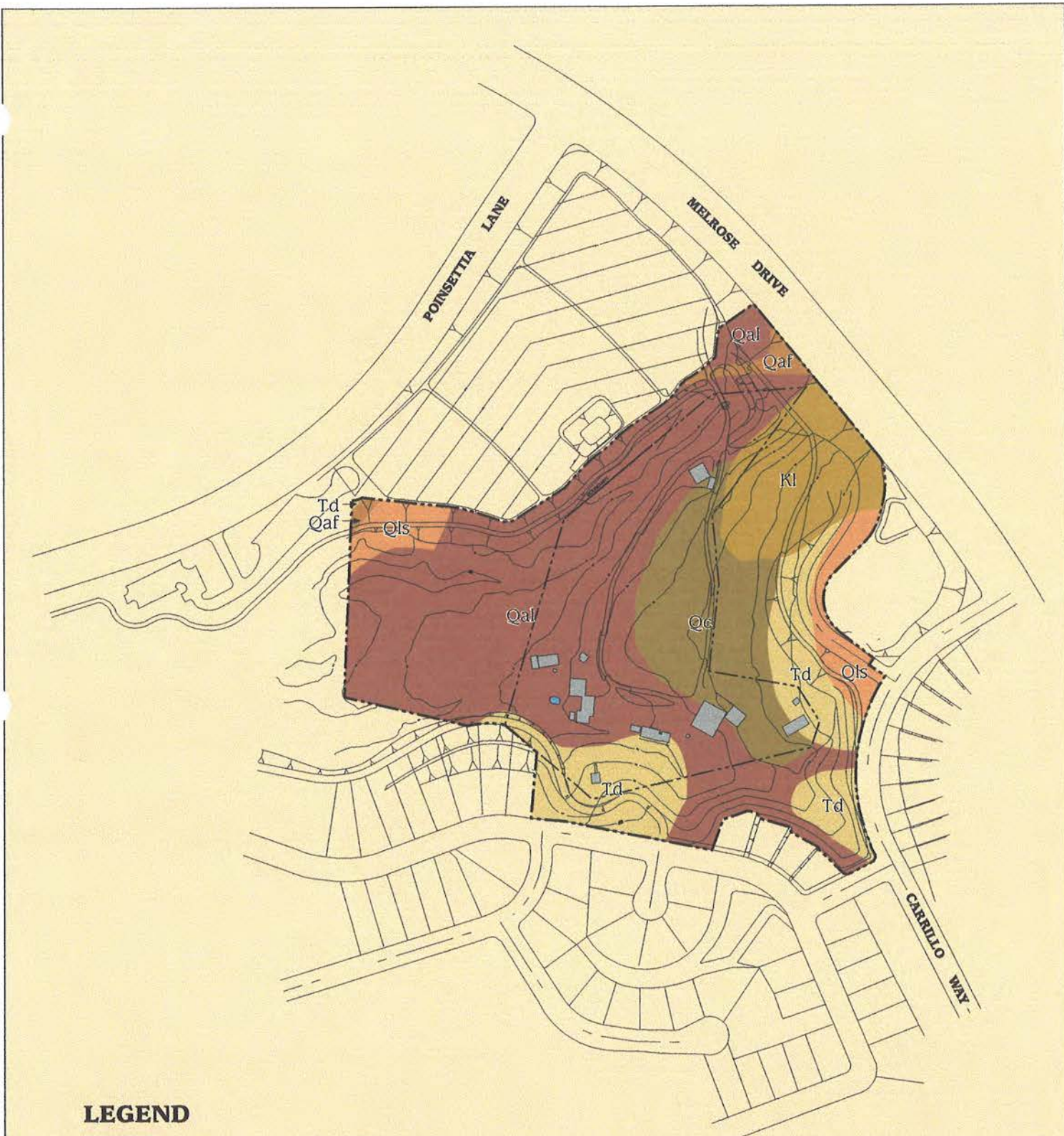
- Intermittant Stream Channel
- Proposed Roadways
- Existing Pedestrian Trail
- Traffic Noise
- Ambient Noise
- Vandal Access
- Historical Markers
- Historical Buildings
- Significant Structures
- Significant Views

SITE ANALYSIS

LEO CARRILLO RANCH

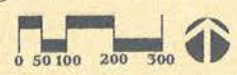
City of Carlsbad

Figure 2-3



LEGEND

Qal	ALLUVIUM
Qc	COLLUVIUM
Kl	LUSARDI FORMATION
Td	DEL MAR FORMATION
Qls	LANDSLIDE
Qaf	FILL

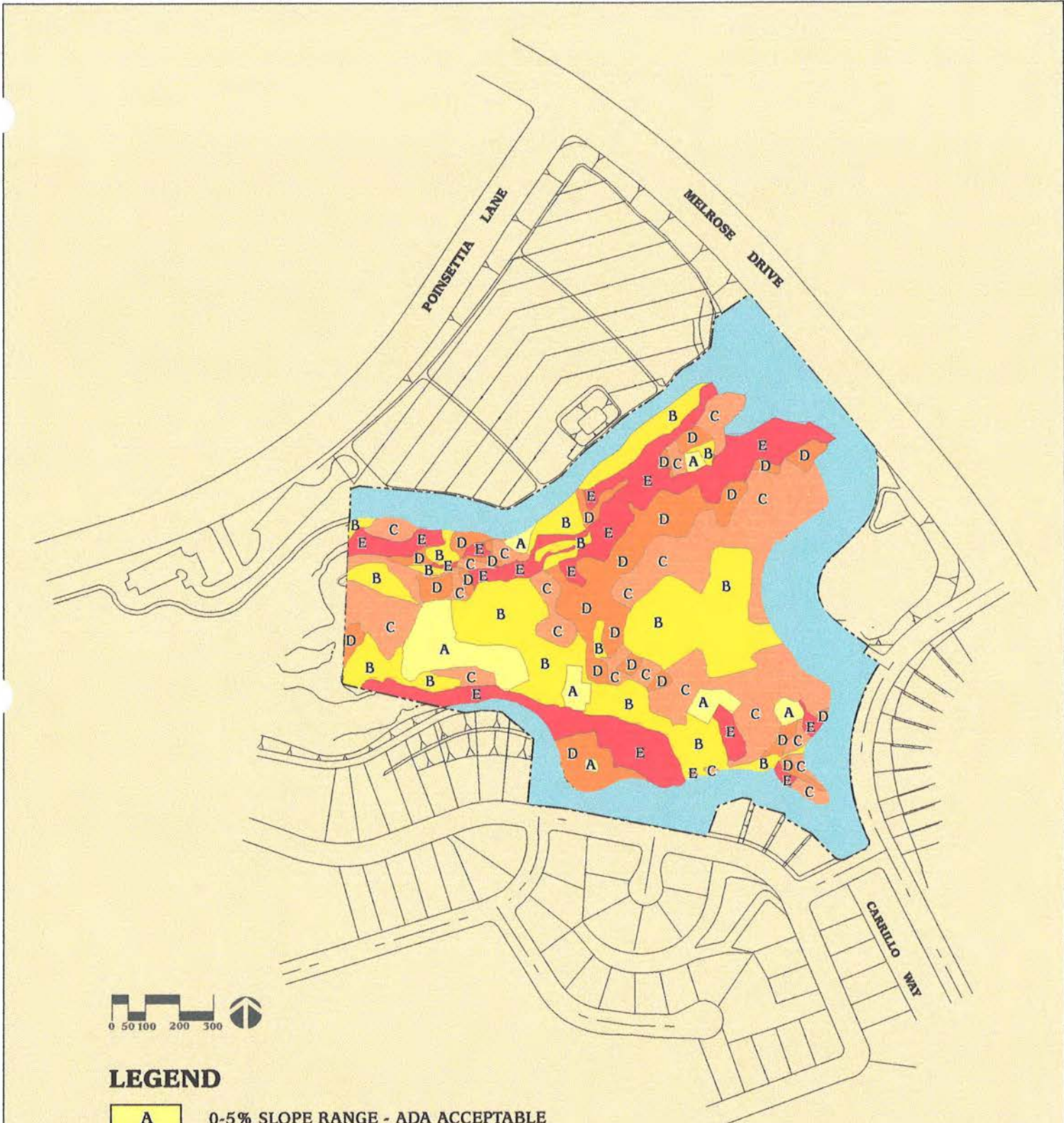


SOIL TYPES

LEO CARRILLO RANCH

City of Carlsbad

Figure 2-4



LEGEND

- A 0-5% SLOPE RANGE - ADA ACCEPTABLE
- B 5-10% SLOPE RANGE - ADA ACCEPTABLE
- C 10-15% SLOPE RANGE
- D 15-20% SLOPE RANGE
- E 20% & ABOVE SLOPE RANGE
- MANUFACTURED SLOPE

SLOPE ANALYSIS
 LEO CARRILLO RANCH
 City of Carlsbad
Figure 2-5

The hacienda, the main operations courtyard, and the living history area have a 5 to 10% slope. The slope areas above the caretaker's cottage and hacienda, and along portions of the stream exceed 20%. The remaining on-site slopes range between 0% and 20%. Slope gradients are shown on Figure 2-4, Slope Analysis.

Hydrology:

There were two natural, seasonal stream courses that drained the site prior to adjacent development. The first, which paralleled the north-west boundary, flowed year-round. Major flows on this stream will be dammed by the construction of the new Melrose Drive to reduce and control peak flows to about 700 cubic feet per second (CFS). Storm drains will be constructed by the adjacent developer and they will conduct and control flows of 120 cubic feet per second from Melrose Drive into this northerly stream. The second stream, which parallels the south boundary of the site, will accept peak flows of 19 cubic feet per second from the new Carrillo Way. Flows from the south will be diverted by the adjacent developer to enter the southerly stream downstream of the hacienda. These levels of flow (CFS) are considered to be safe and acceptable levels (see Figure 4-22 and page 4-35).

Biology:

A *Biological Constraints Report for Carrillo Ranch Park* (REC, October 1996) was prepared for this project. The primary focus of the survey was to document and map the size, location and general quality of all habitat types and the presence or potential presence of any sensitive resources (plant or wildlife) on-site that may impose constraints on the future development of Carrillo Ranch. Figure 2-6, Biological Constraints, summarizes the habitat types, sensitive species and resource constraints.

The project site currently supports six different habitat types: riparian woodland, freshwater marsh, baccharis scrub, non-native grassland, eucalyptus woodland, and disturbed.

The majority of wildlife on the site is contained within the riparian woodland habitat due to the undisturbed nature of this habitat and the diversity of plant species contained therein.

The non-native grassland on-site does not support a wide diversity of wildlife due to its disturbed nature. The majority of wildlife in this habitat are small, commonly occurring mammals, snakes and bird species. While non-native grasslands do not support a great diversity of wildlife, it can be an important foraging habitat for several raptor species.

The seasonal creek, which is the main drainage area on-site, may be an important wildlife corridor to mammals, birds and amphibians. Wildlife from inland habitats, particularly riparian species, utilize this and other drainage corridors for access to foraging areas, nesting territories and as protective cover from predators. The construction of Melrose Avenue (a prime arterial, four lane road) by the adjacent developer may significantly limit the viability of this corridor to the east of the Ranch.

Sensitive Biological Resources

Sensitive or special interest plant and wildlife species and habitats are those which are considered rare, threatened or endangered within the state or region by local, state or federal resource conservation agencies.

Sensitive habitats observed on-site include riparian woodland and freshwater marsh. Wetland habitats are considered sensitive biological resources because they have been dramatically reduced in San Diego County. These habitats provide high levels of food and nutrients, high wildlife diversity, and a valuable water source in the arid climate of southern California.

Baccharis scrub is the other native habitat on-site. Although not considered a sensitive species, baccharis scrub acts as a buffer to the sensitive riparian habitat. It protects the adjacent sensitive habitat from further degradation, and it is often used by species.

The non-native grassland and disturbed habitats are not considered sensitive habitats. The eucalyptus woodland is considered sensitive when raptors are actively nesting in them. If the eucalyptus trees are to be removed, it will be allowable to do so only after the raptors are finished nesting and no longer using the trees.

A number of sensitive plant species have the potential to occur in the vicinity of Carrillo Ranch. However, the only sensitive species observed on-site was *Juncus acutus* var. *sphaerocarpus* (spiny rush), located in the meadow area.

No rare, threatened or endangered wildlife species were observed on the project site.

No sensitive mammals were observed during the field visits conducted by REC.

2.4 Cultural Resources

Existing Conditions

In 1992, Carrillo Ranch was surveyed to identify cultural resources as part of the Carrillo Ranch EIR (Wade 1992). In all, nine prehistoric sites were reported within the approximately 2,000 acre Carrillo Ranch project area. These sites were tested to determine site significance and only three sites (CA-SDI-4691B, SDI-12740B and SDI-4687) were identified as significant.

For the Carrillo Ranch Master Plan area (approximately 18 acres), only one prehistoric site with two loci (CA-SDI-12740 A and B) was identified by Wade (1992). In addition to this site, a second site tentatively identified as SU-1, was reported by Susan (Carrico) Bugbee. Prehistoric site SU-1 is situated on the knoll, near the center of the property and contains, milling tools, debitage from tool making, shell, and may contain a subsurface deposit. Susan (Carrico) Bugbee recommended:

The prehistoric archaeological site located on the knoll at the center of the property should be tested for site extent and depth in accordance with CEQA and City of Carlsbad guidelines. The testing pro-



LEGEND

- RW RIPARIAN WOODLAND
- FWM FRESHWATER MARSH
- BS BACCHARIS SCRUB
- NNG NON-NATIVE GRASSLAND
- E EUCALYPTUS TREES
- EP EUCALYPTUS / PEPPER GROVE
- P PEPPER TREES
- OAK OAK TREES
- DIST DISTURBED

- RED TAILED HAWK NEST (REC 1996)
- FEROCACTUS VIRIDESCENS
- HIGHLY CONSTRAINED SIGNIFICANT RESOURCE
- MODERATELY CONSTRAINED RESOURCE
- LOW CONSTRAINT



BIOLOGICAL CONSTRAINTS

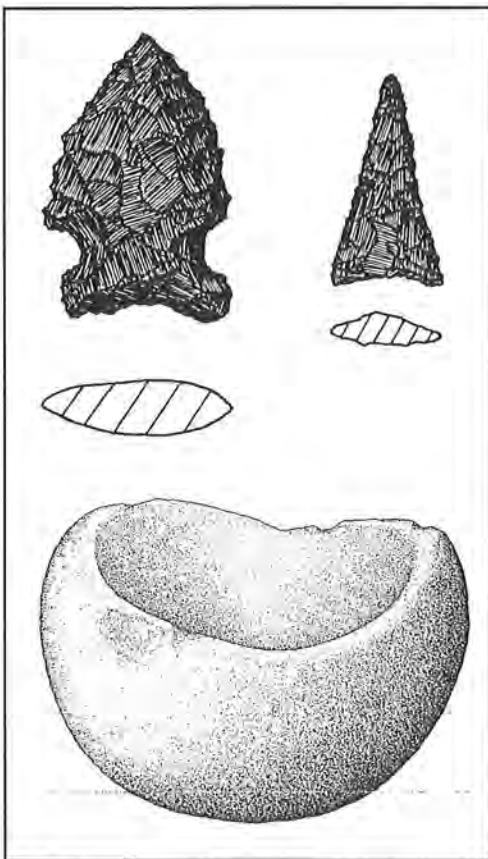
LEO CARRILLO RANCH

City of Carlsbad

Figure 2-6



Native American



Sketches of artifacts found on site

gram should be scheduled early in the planning stage to avoid any delays later in the process. The test should be comprised of two 1 x 1 meter excavation units and 20 shovel test pits (STPs). The scope of services should include cataloguing and evaluation of artifacts recovered followed by a report of findings.

CA-SDI-12740 Locus A (W-148A), is a lithic scatter site where five surface artifacts were recovered. Subsurface testing was negative producing no subsurface artifacts (Wade 1992). Given the few surface artifacts and lack of a subsurface deposit, this locus was identified as not significant and no further work was recommended or required (Wade 1992). As mentioned previously, CA-SDI-12740 Locus B was identified as a significant cultural resource. This site is a Late Period habitation camp occupied circa 680 years ago (Wade 1992).

Pre-Historic /Native American /Archaeology Period

The body of current research regarding prehistoric occupation in San Diego County recognizes the existence of at least two major cultural traditions, discussed here as the Early Period (Archaic) and the Late Period, as based upon general economic trends and material culture. Within San Diego County, the Early Period generally includes the period from 9,000 to 1,300 years ago, while the Late Period includes from 1,300 years ago to the time of historic contact.

Early Period

The Early Period, for this discussion, includes the San Dieguito and La Jolla complexes. Initially believed to represent big game hunters, the San Dieguito are better typified as a hunting and gathering society. These people had a relatively diverse and non-specialized economy in which relatively mobile bands accessed and used a wide range of plant, animal, and lithic resources. The movement of early groups into San Diego County may have been spurred by the gradual drying out of the vast pluvial lake system that dominated inland basins and valleys during the last altithermal period.

The first occupants exploited the coastal and inland resources of plants, animals, shellfish, and fish (Moriarty 1967; Gallegos and Carrico 1984).

The earliest sites are found in the northern portion of San Diego County. These sites are the Harris Site CA-SDI-149, Agua Hedionda Sites (CA-SDI-210/UCLJ-M-15 and CA-SDI-10695) and Rancho Park North (CA-SDI-4392/SDM-W-49), dating 8,000 to 9,000 years ago. The northern San Diego County coastal lagoons supported large populations, circa 6,000 years ago, as shown by the numerous radiocarbon dated sites adjacent to these lagoons. After 3,500 years ago, there is a general absence of archaeological sites in north San Diego County to circa 1,500 years ago. This reduction in the number of archaeological sites can be attributed to the siltation of coastal lagoons and depletion of shellfish and other lagoon resources (Warren and Pavesic 1963; Miller 1966; Gallegos 1985). Archaeological sites dating to approximately 2,000 years ago are found closer to San Diego Bay, where shellfish were still abundant.

Early period, sites 9,000 to 1,300 years ago within San Diego County, include coastal habitation sites, inland hunting and milling camps, and lithic quarry sites. Material cultural assemblages during this long period are remarkably similar in many respects. Although various culture traits developed or disappeared during the long span of 9,000 to 1,300 years ago, there is a clear pattern of cultural continuity during this period.

Late Period

During the Late Period (1,300 years ago to historic contact), a material culture pattern suggests a more intensive and efficient exploitation of local resources. The prosperity of these highly refined economic patterns are well evidenced by the numerous Kumeyaay/Diegueno and Luiseno habitation sites scattered over San Diego County. Artifacts and cultural patterns reflecting this Late Period pattern include small projectile points, pottery, the establishment of permanent or semi-permanent (seasonal) village sites, a proliferation of milling sites in the uplands, the appearance of obsidian from Obsidian Butte, and interment by cremation.

2.5 Introduction: Structures on the Ranch

First Kelly House - 1869

Description:

"The house was crude. It was sixteen by twenty feet and a story and a half in height, made of rough redwood lumber with battens over the cracks; and, as shingles could not be gotten at that time in San Diego with which to roof it, they made a roof by nailing rough redwood boards up and down over the sheeting. These boards had first had a channel about one-half inch deep and one-half inch wide cut along both edges with a tool that carpenters call a "plow." Then after they had been securely nailed up and down over the sheeting, and as closely joined as possible, one-half by three inch battens were nailed over the cracks, and these grooves, or plowed channels were suppose to carry off the rain water instead of allowing it to leak through into the house...it proved an utter failure and had to be covered over with split redwood shakes, as it leaked like a basket."

The house was divided upstairs into two rooms, but downstairs it was one room, except for a sort of pantry that was built under the stairs. There was a door at the northeast corner, a window in both the east and west sides downstairs and a half window in each of the east and west sides upstairs. (John Lincoln Kelly, *Life on a San Diego County Ranch*, p. 2,3). See Figure 2-1 for the location of the house.

Approximately 80 feet from the house was the chicken house. (Kelly, *Life*, p. 23)

"Father had built on a shed kitchen on the south side of the house...and a few years later had built on a sort of two story addition on the north end...the sort of two story shed at the north end had no windows in either the north or east sides, but it did have a small half-window in the west side of the lower room." (Kelly, *Life*, p. 48)

"The boards on the kitchen were put on horizontally... and the lumber of which it was made was of the roughest pine and not lapped like siding but merely nailed around on upright posts. There was some attempt to nail battens over some of the cracks, but as the reader probably knows, battens nailed over horizontal cracks do very little good, as far as keeping out the rain is concerned. The rooms at the north end were made of one-by-six inch boards nailed on up and down, and never had any battens over the cracks at all... An open stairway led from the open entry or porch to the upper room of this addition, and the winter wind could howl up this stairway with no hindrance whatever. This part of the house had a good shingle roof." (Kelly, Life, p. 49)

Location:

"It was built upon a bench of high ground between two arms of the valley, and there was a spring just at the foot of the hill and a little west of the house where we got our drinking water." (Kelly, Life, p. 3) The watercolor done in 1891 shows both houses, and it appears that the older house was located on the knoll to the east of the 1882 adobe.

Second Kelly House - 1882 - adobe

Description:

"It was built of "adobe," or sun-dried bricks." The house was thirty feet wide and forty feet long, and two stories high. The foundation was of stone, three feet thick. The walls of the lower story were twenty inches thick, and those of the second story were eighteen inches thick. There were eight rooms, besides halls, pantry, etc. The partition walls were ten inches thick for the lower story, and nine for the second. (Kelly, Life, p. 51)

"The "adobes" were made by contract at the rate of twelve dollars per thousand." (Kelly, Life, p. 51) by McKellar of Cocktail Springs Stage Station. See Figure 2-1 for the location of the house.

"We had a carpenter to do the wood work, and a mason to lay the stone and the adobes. All the other work, such as digging the trenches for the foundation, hauling the stone and adobes, and mixing the mortar for laying same, was done by my brothers, Charles and Will, and myself. The adobes for the lower story were twenty inches long, ten inches wide, and four inches thick. For the second story they were eighteen inches long, nine inches wide, and four inches thick."

The above description was made by John Lincoln Kelly; the following is from Charles:

"The house, a two-story adobe, was built in 1882; of nine rooms, and two halls, eight of them 12 by 14 ft., and with an unfinished attic, and a shingle roof. The foundation undressed field stone is six feet high at the west end, and three feet thick. It was my job to haul the stone for this foundation."

"Here is my first mistake – there is a foot difference in the width of the foundation along the north side. My brother John's invention of rings bolted into the cornice of the house, through which ropes and pulleys could be worked when painting, etc., are still there."

"There is a basement, with stairs leading up into the kitchen. In the hall there is a hat-rack, home made with wooden pegs in it. The parlor and dining room have corner fire-places. The stairway leading to the second floor has lost rails and bannisters, but is still solid" (The stairway would later be removed by Carrillo).

"The door of the spare bedroom downstairs has a hole through its upper lefthand corner, put there by a shotgun which went off in my hands when I was a boy, hurrying to get a weapon with which to shoot some quail."

"The adobes are 4 x 10 x 20 inches. To build the Kiotes house we hired a carpenter and a mason. My brothers, Will S., John L. and I did all the heavy work...." (p. 42)

The 1882 Kelly adobe house became part of Carrillo's hacienda in 1939.

Corral

A mile and a half of rail fencing was erected by Matthew and son Charles in 1870 to enclose a vegetable garden and house. (Howard Jones, p. 31)

"Later on (when Charley was about twelve?) Father built a large corral, and the band of cattle was brought over to our place and herded about the hills during the day and put in this new corral at night...I am not sure whether it was in the year 1875 or 1876 that the last of the herd of cattle were sold, and Uncle was out of the cattle business."

"From that time on for a number of years, he rented the ranch out to sheep men... From about the year 1874 up to probably about 1882 sheep were about the only kind of stock that were raised to any extent in Southern California." (Kelly, Life, p. 55)

Barbed Wire Fencing

"In the very early eighties, barbed wire began to be used in this part of the world for fencing. It was pretty expensive at first, costing about fifteen cents per pound. But even then it was much cheaper than lumber." (Kelly, Life, p. 55)

Windmill and Pump House

There is a windmill that is to the west of the 1882 house. It is in approximately the same place as the current windmill, which is a metal structure, as opposed to the original wooden one.

Out-Buildings

There appear to be three out-buildings associated with the Kelly era that can be seen in old photos, drawings and on maps. Two of them may have been incorporated into the construction plan designed by Carrillo. One is the single story adobe "cantina" with a wagon wheel in front. It, or a similar looking building, can be seen in the 1891 watercolor by William Webster Borden.

In the same watercolor picture is a wooden structure with a covered porch. A later photograph shows a similar building, but on the opposite side of the adobe building. It may be the case that the perspective in the watercolor is misleading, or, more likely, it was not uncommon and less expensive to move wooden structures and out-buildings rather than rebuild them. Also, the front porch and overhang may have been a later addition. The foundation for the structure is probably not as old as the building.

Privies and Trash Pits

Privies and trash pits were usually located to the rear of a house at varying distances. Both of the ranch's 19th century homes would have had these features. Although the specific locations of these features have not been identified, they are probably within the project boundaries, and care should be taken not to overlook or destroy these potential resources.

Cemetery

There is the potential for an existing cemetery on the ranch property. Charles Kelly, in his memoirs "The Kelly's, 1810-1944," reports that "Robert Kelly died November 29, 1890, in front of his old adobe ranch house about 8:00 p.m., and was buried alongside by father at Los Kiotes (sic)." (P.45C)

Landscape

"The cottonwood trees were brought up from the Cottonwood Canyon, as cuttings. Cottonwood Canyon was an earlier name for Encinitas." (P.42)

"The palm tree's history: I (Charles) was about thirteen or fourteen when a peddler came along and I bought ten cents' worth of dates. I thought they were the best fruit I had ever tasted. I saved the seeds and planted and raised three trees. I took more interest in these trees than in any other I ever had." In 1934, the San Diego Union reported that "Like the house, the orchard is falling into decay. The last of the three date palms fell a few years ago." (11-4-1934, p.8).

"The Indians used to gather on the hill opposite the house and roast the yucca stalks." (P. 42)

A peach tree was planted in the summer of 1875.

"The house was surrounded on three sides by a row of orange trees, enclosed by a lath fence; with an adjoining orchard of apples, pears, peaches, figs, apricots, quinces, plums, pomegranate, oranges, etc."

Leo claims that the weeping pepper tree, called "Los Perus" in Peru from where they originate, was first given to the Mission San Luis Rey by his great-great grandfather. The trees that are in the foreground of the 1891 water color may be the very old pepper trees located near the bridge which crosses to Deedie's house.

Carrillo Adobe 1939

Location: The main house of the second Kelly house became the basis for Leo Carrillo's "U" shaped one story adobe hacienda.

"All of the materials for the repairs we ripped off the old house. It was a two-story adobe. We took off the top and made it a one-story rambling adobe and added an L-shaped wing.

"I don't know the size of the rooms because I stepped them off and put a stake at the corner and squared it off and said, "Put a room there, put an arch over here, and we'll take these old bedrooms that are still standing and clean 'em up and make a living room out of the two front bedrooms. Then the old dining room we'll turn into a kitchen."

In the correspondence between historian Dale May and Cruz Mendoza, son of Leo's foreman, Cruz claims that "All the buildings on the Ranch were constructed by us." The Mendoza's were probably involved in modifying those buildings still standing on the property, and constructing all of the rest. There are two out-buildings that may be part of the Kelly era, the cantina and the feed storage or granary.

Historic Structures and Architecture

Inventory and Previous Restoration Activities

Though in varying degrees of deterioration, the adobe and wood structures of the Leo Carrillo Ranch have retained their simple and romantic Californio hacienda image, much the same as Leo Carrillo originally conceived and constructed them in 1937. Nature, neglect, and the passage of time have taken their toll on each of the buildings, though most remain in stable condition. The effects of drainage, erosion, earthquakes, insects, and rodents have also had their consequences, but Carrillo's dream images of the Californio lifestyle have remained intact.

Of the fourteen structures on the Leo Carrillo Ranch, seven are adobe, five are wood frame, one is both adobe and wood frame, and one is galvanized metal. The adobe walls have been whitewashed and replastered often. Many of the plaster patches have been simply scored with a finger to imitate the adobe bricks. All of the walls are still standing, though some exhibit major structural cracking. The wood frame construction is both stud wall and post and beam, and also in varying degrees of structural stability.

Each of the Leo Carrillo Ranch structures have been examined in order to understand their evolution as structures, to document their existing conditions and level of historic fabric, and to analyze their level of stabilization and restoration needs.

The construction period of significance for the Leo Carrillo Ranch is 1937, when Leo Carrillo first began to construct his dream ranch.



View of the hacienda, driveway and historic ramada, mid to late 1950s. (Photo courtesy of the Carrillo Ranch Archives)

Hacienda

In general, both the interior and exterior of the hacienda are in good condition. The house has been continuously occupied since its construction. Though a continuous program has not always been in effect, the main house has been well maintained. The adobe walls, ranging from 9 inches to 20 inches thick, are sound, though many walls have extensive patches and require minor repair. In 1992, the house was seismically strengthened. The roofing, wood windows, and doors are all in good condition. Extensive repair work and additions to the electrical and plumbing systems have also been made to the main house.

Figure 2-7 shows elevations of the hacienda, and Figure 2-8 indicates the existing floor plan.

Foundations:

The foundations of the hacienda are typical to the Ranch, consisting of mortared cobble stone topped with concrete. The height of the foundation above grade varies from 6 inches to 6 feet, depending on the slope of the hillside. Two cellars have been constructed in the foundation under the kitchen and living room, and are accessed through separate doors in the west wall. The exposed foundations have been covered with concrete in many places, including the main elevation and the veranda walls, both as a barrier to moisture intrusion and for aesthetic purposes. The foundation along the barbecue patio was constructed to form a 9 inch ledge with a drain for patio runoff water.

Adobe Walls:

The hacienda has fourteen exterior walls. Six of these are entirely "clad" in continuous chicken wire reinforced concrete portland type stucco "patches" from the roof line to the foundation. These include two walls on the northeast courtyard; the west wall of the northern wing, which extends three feet around the south wall of the living room; the west wall of the southern wing; and the two walls on the southeast corner of the southern wing. Partial patches occur on the lower four feet of the main facade to the east, the walls of the walkway vestibule, and along the south wall of the southern wing. The patches are all scored with a finger to mimic the adobe brickwork. The date of the patches is unknown, though they may have been completed in the years following Carrillo's death. The "patches" exhibit no major cracking and seem to maintain the wall. However, extensive removal would be necessary to thoroughly assess each wall. The patches have pulled away from the bottom edge of the wall in places.

The exposed adobe walls have been well maintained. No separation or crumbling is evident around the windows or doors, though minor cracking is present along the tops of the walls.

Roof:

The roof is in fair to good condition overall. The interior shows no major signs of deterioration, though signs of dry rot and termite damage can be seen on the exterior. Most of the 1 x 6 straight board sheathing and the rafters are sound, though they both have deteriorated at the eaves, where vegetation has grown too close to the building. This occurs mainly in the northeast courtyard, in the courtyard patio, and at the southeast corner of the main house. The flashing

Figure 2-7 Hacienda Elevations

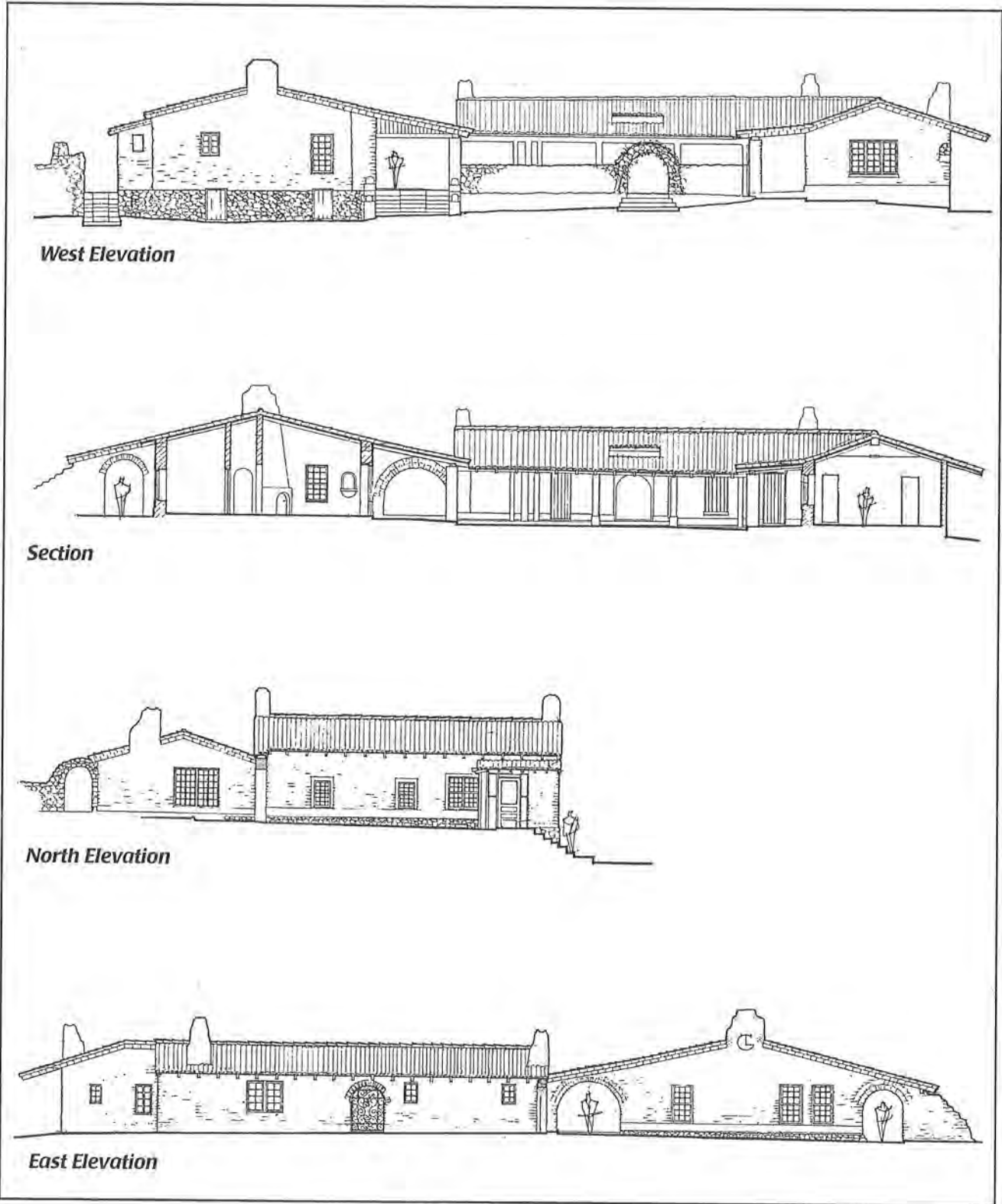
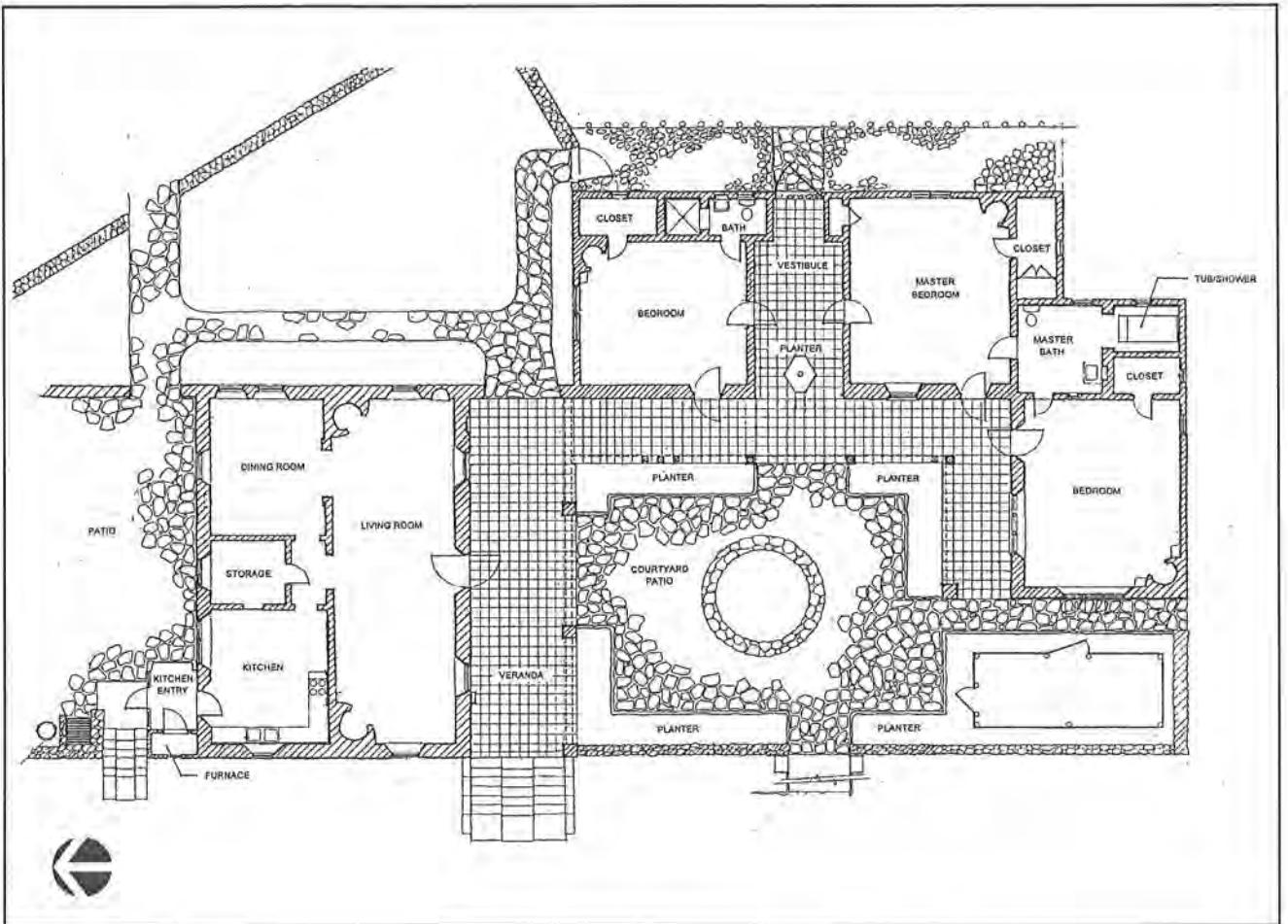


Figure 2-8 Hacienda Floor Plan



around the chimneys is a combination of galvanized metal and concrete. There is a roofing membrane under the Mission tiles. This roof is reported to have been installed within the last 13 years.

Seismic Strengthening:

The exterior adobe walls are within the allowable h/t ratio, as per the State Historical Building Code. A bond beam exists along the walls. A seismic strengthening upgrade was completed in 1992.

Doors and Windows:

The wood doors and windows in the main house are in good condition due to constant paint maintenance. The windows, screens, and screen doors are all currently a Mediterranean blue, though the interiors have only been sealed with varnish. The wood plank doors have had no interior or exterior finishes and exhibit only normal wear.

Stone Walls:

The low connecting stone walls that enclose the two courtyards and the patio are also in good condition. The original whitewash coat has long since worn off, though patches remain. The stone arch beside the east facade is sound, as is most of the wall that encloses the northeast courtyard.

The stone wall and arch to the west of the courtyard patio is almost completely covered with overgrown vines and shrubs growing from both sides of the wall. Wrought iron mountings exist within the arch, where a gate was once located.

Electrical and Plumbing Systems:

The electrical and plumbing systems have been continuously "upgraded" and repaired during the 60 years of constant occupancy. The entire electrical service is provided through conduit lines and junction boxes located on the exterior. The main electrical service panel for the main house and the wash house is located on the north wall of the master bedroom, beside the entrance gate in the walkway vestibule.

Exterior lighting fixtures have been periodically added for floodlighting. The new conduit lines have been located randomly along the face of the building and below the rafters. The original electrical conduit lines were run along the upper walls, discreetly nestled and attached to the walls and tucking through to the interior. The newer lines are loosely looped beneath the rafters, as seen on the east facade, in the northeast courtyard, and the barbecue patio.

A television antenna is located along the exterior of the east wall of the chimney and rises above the chimney. Power lines are loosely draped and hung along the top and base of the antenna.

The plumbing system has also been constantly repaired and added to since its original installation. The original system is supplied from the main City lines along Palomar Airport Road.

Recent additions to the plumbing system have also been randomly located on the exterior along the west wall of the northern wing. Access lines project from the hot water heater, supplying the kitchen and running beneath the house. Metal supply piping has also been added from the water heater across the stone patio steps, along the stone patio wall, and connected with the faucet located with the barbecue ovens before leading into the wash house. The faucet is also connected to two hoses which lead to water sprinklers.



Wash House, 1988

Wash House

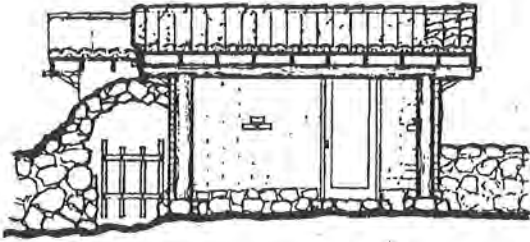
Foundation:

The stone and concrete foundation of the wash house is in good condition, though erosion and improper drainage from the washing machine inside has dropped the ground level along the east wall. Overgrown vegetation along the north and west walls is deteriorating the foundation through the spreading of roots and water retention. Figure 2-9 shows the wash house floor plan and elevations.

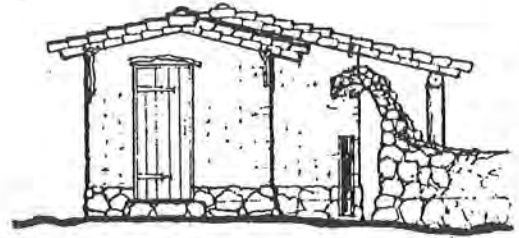
Interior:

Uneven settlement, poor roof drainage, and a lack of ventilation for the washing machine have caused cracks and staining of the walls. The base of the walls also exhibit signs of dampness from the improper drainage of the washing machine. Boxes are stored along the walls, thereby decreasing the ventilation of the adobe.

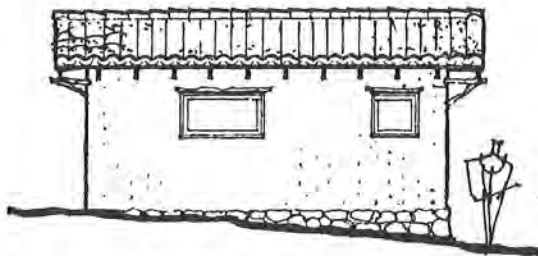
Figure 2-9 • Wash House Floor Plan/Elevations



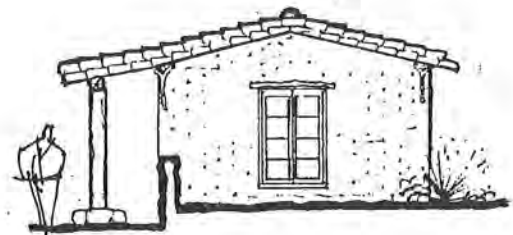
South Elevation



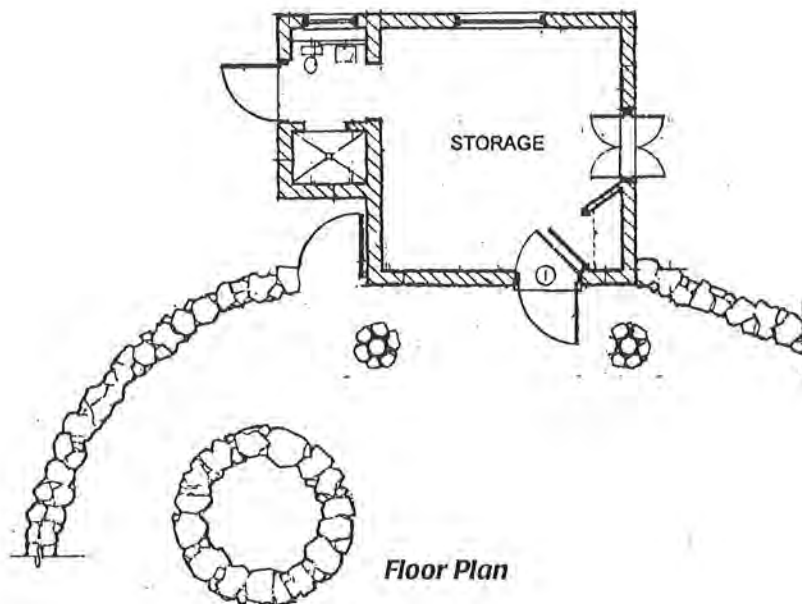
West Elevation



North Elevation



East Elevation



Floor Plan

Stone Arch:

The stone arch attached to the southwest corner was repaired in 1992. One large stone was loosened from its mortar bed and had fallen from the bottom of the arch, but has since been replaced. The hinge mountings for the picket gate are loose.

Plumbing and Electricity:

The water for the washing machine and bathroom is currently supplied from the main house and through the supply lines run along the exterior of the stone patio walls by the barbecue patio. The waste water from the washing machine is currently released out a hose hung on the back door handle and onto the grass. The bathroom plumbing and fixtures are currently in fair condition.



Deedies house, 1988

Deedie's House

Foundation and Flooring:

The slab foundation of Deedie's house is in good condition, though expansive soil conditions have caused cracking throughout the flagstone flooring. The wood weakened-plane joints are still sound. Figure 2-10 shows the floor plan, sections and elevations for Deedie's house.

Adobe Walls:

The adobe walls of Deedie's house are continuously in a state of deterioration, though no portions have currently collapsed. All of the major cracks due to the settlement of expansive soils and the entombment of the adobe walls with cement plaster and chicken wire have been repaired. During the 1992 seismic retrofit, a new roof and drainage system was installed.

The adobe has been repaired at all adjacent materials on the exterior, including the peeled log and branch framing used on the doors and windows, the projecting wood roof scuppers and roof beams, and the small adobe oven. A cow skull is located above the entrance door with two light bulbs in the eye sockets as an exterior light.

Roof:

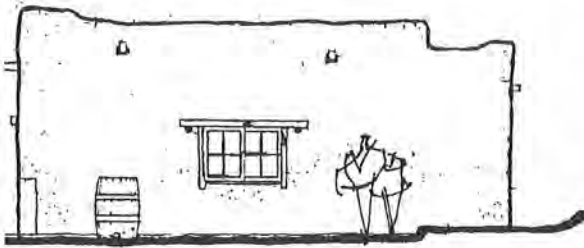
The single-slope roof, installed in 1992, is in good condition. The drainage flow currently is through the roof scuppers and into a collector barrel. The entire roof structure, including the peeled log vegas, the 1 x 6 board sheathing, and the branch supports, has been repaired. New rawhide straps were installed.

The porch roof is in stable condition and covered with new rolled asphalt roofing.

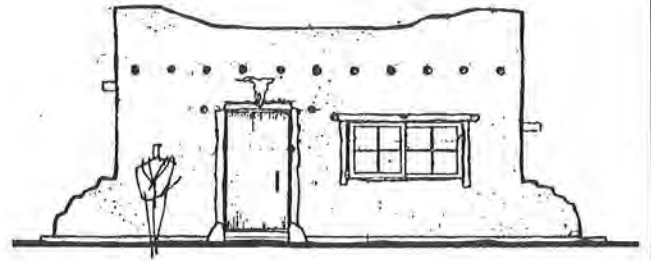
Windows and Doors:

The wood logs and branches used as framing and lintels and the wood frames and sashes show varying degrees of termite damage, dryrot, and water damage. Many items have been stabilized, but constant maintenance is required.

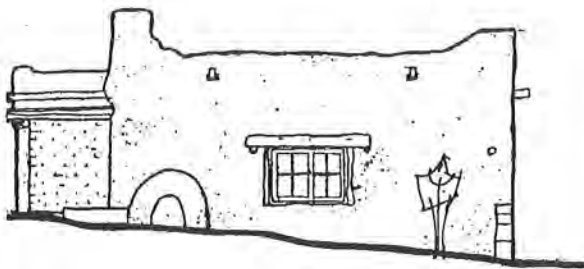
Figure 2-10 Deedie's House Floor Plan/Section/Elevations



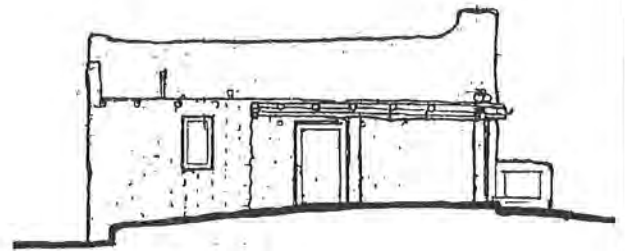
West Elevation



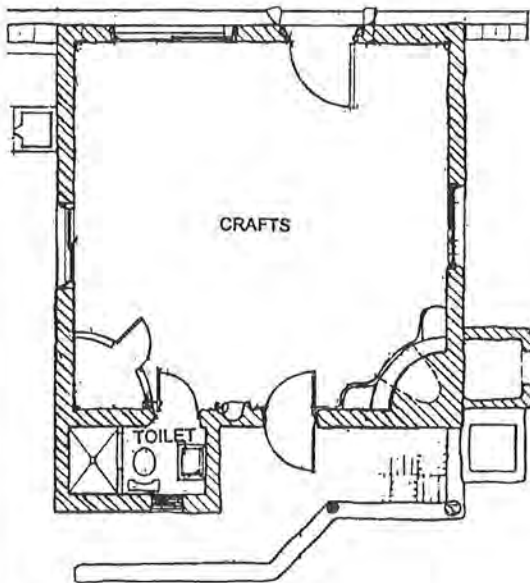
North Elevation



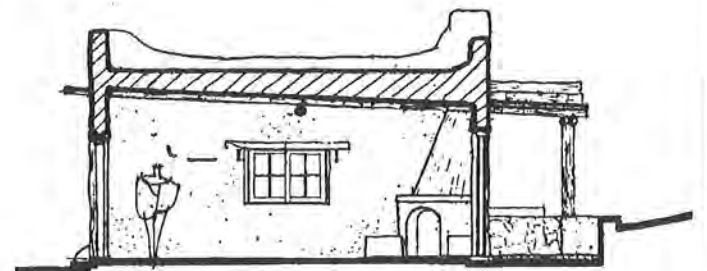
East Elevation



South Elevation



Floor Plan



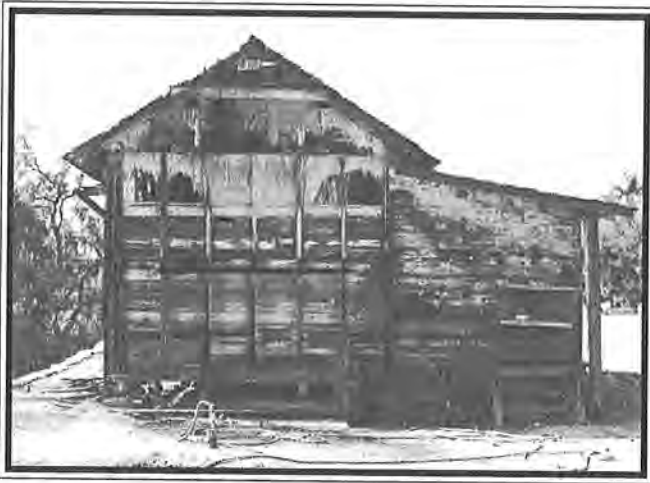
Section

Miscellaneous:

The wood and stone fireplace has been stabilized. The front of the stone mantle shows smoke stains.

Bathroom:

The plumbing in the bathroom addition is inoperable. The scored concrete floor is in good condition. A tile wainscot covers the lower portion of the wall and may be deteriorating the adobe behind the tile. Various piping and wiring is exposed and some is unused.



Feed storage and tack shed

Feed Storage Building and Tack Shed

Foundation and Floors:

The "new" foundation on the feed storage building and storage shed is stable, and the original foundation stones have been reset. The beams are doubled and are separated by short, wood piers in graduated lengths. Portions of the framing are currently anchored to the stones. Many wood members had been haphazardly added to level out the foundation. The wood foundation has been stabilized and is in good condition. Figure 2-11 shows the floor plans and elevations for the feed storage, tack shed, and carriage house.

The top level of the plank flooring is in fair condition, though the lack of roof drainage has caused minor warping and cupping. The lower level has been damaged by termites and dryrot.

Wood Frame Walls:

The wood frame walls of the feed storage building are sound, though evidence of damage from inadequate roof drainage, termites, and dry rot can be seen. Termite damage is extensive at the base of the walls, including most of the sill plates, the studs and bottom sheathing. The siding is badly stained, and previous coats of both white-wash and paint are wearing at different rates. The wood is extremely dry and weathered.

Old cement patches exist in each adobe pier on the north facade behind the concrete corner guards. A thick cement wainscot rises 2 feet 6 inches along the interior of the south wall and bulges out approximately 6 inches at the bottom. The wainscot is pulling away from the wall in one piece in places. All of the walls have been repaired and seismically reinforced.

Roof:

A new wood roof was installed in 1992. Portions of the skip sheathing have been replaced. A few ridge boards are missing. The peeled log columns and branch roof supports are in good condition.



Carriage house, tack shed & feed storage, c. 1978

Carriage House

Foundation:

The foundation of the carriage house is stable, and no major settlement damage is evident. The tile floor is also in good condition, with only minor cracking of the mortar. The flagstone and concrete apron is also cracked along the mortar, but has been stabilized.

Adobe Walls:

The adobe walls of the carriage house are in good condition. Minor spalling exists at the base of the walls where the ground level has risen over the stone and concrete foundation. The adobe bricks were not laid flush during the original construction, and approximately every other brick projects beyond the wall plane. The mortar is also recessed. The composition

of the adobe used on the carriage house is markedly different from that of the other adobe structures. The north wall has been painted and whitewashed, but much has peeled away.

Old cement patches exist in each adobe pier on the north facade behind the concrete corner guards. A thick cement wainscot rises 2 feet 6 inches along the interior of the south wall and bulges out approximately 6 inches at the bottom. The wainscot is pulling away from the wall in one piece in places. All of the walls have been repaired and seismically reinforced.

Roof:

The roof beams have sagged approximately 3 inches on each side of the central pier, possibly due to the heavy loading of the roofing tiles. The beam has been braced with a metal post at the east end of the north facade. The beam has also been strengthened with a short strut over the central pier. The sagging central rafters have been shored with another post and short bottom chord. A new ledger was added to prevent further sagging of the wood beams over the openings.

Most of the Mission tiles are unbroken, though the tiles may not be original. The straight board sheathing and rafters show signs of previous termite damage and general dry rot. The rawhide strap connections for the truss have been repaired or replaced.

Door and Windows:

The wood door and window sashes are in good condition, though the branch headers show termite damage. The door and windows are all operable, though the hardware is rusty.

Cantina

Foundation:

The stone and concrete foundation of room 1 of the cantina seems to be in good condition. The adobe bricks, though generally eroding, are in fair condition, and the concrete slab flooring shows little settlement damage. Both foundations are settling downward towards a water channel to the southwest.



Cantina, c. 1978

Adobe Walls:

The adobe walls of the cantina were seismically stabilized in 1992.

Roof:

The entire roof structure has been replaced and is in good condition. The roof over the concrete addition is in a similar condition.

Doors and Windows:

The original entry door and wood screen door have remained in good condition, though the wrought iron hardware is rusty and the mountings are loose. Cement patches have been made around the mountings. The wood header and branch frame show previous termite and dry rot damage, as does the branch framing and wrought iron bars over the windows. Most of the bark has fallen off the branches.

Interior:

The interior roof structure has been seismically strengthened. The main gable is in sound condition, and the rafters of the shed roof have been repaired.

The cantina is currently used as storage for heavy and miscellaneous items.

Exterior Furniture:

The branch and plank bench are now missing, as is the branch hitching post seen in historical photos. Some of the skulls, antlers, horse-shoes and other items remain hanging on the north wall.

Electricity and Plumbing:

The main electrical service panel for the Ranch is located under a wood post and corrugated tin roof lean-to attached to the south wall. Power is provided through the junction box on a telephone pole located nearby. Four panels are mounted on a wood wall and provide electricity to a single service pole, from which the lines run to each building of the Ranch.

Stable

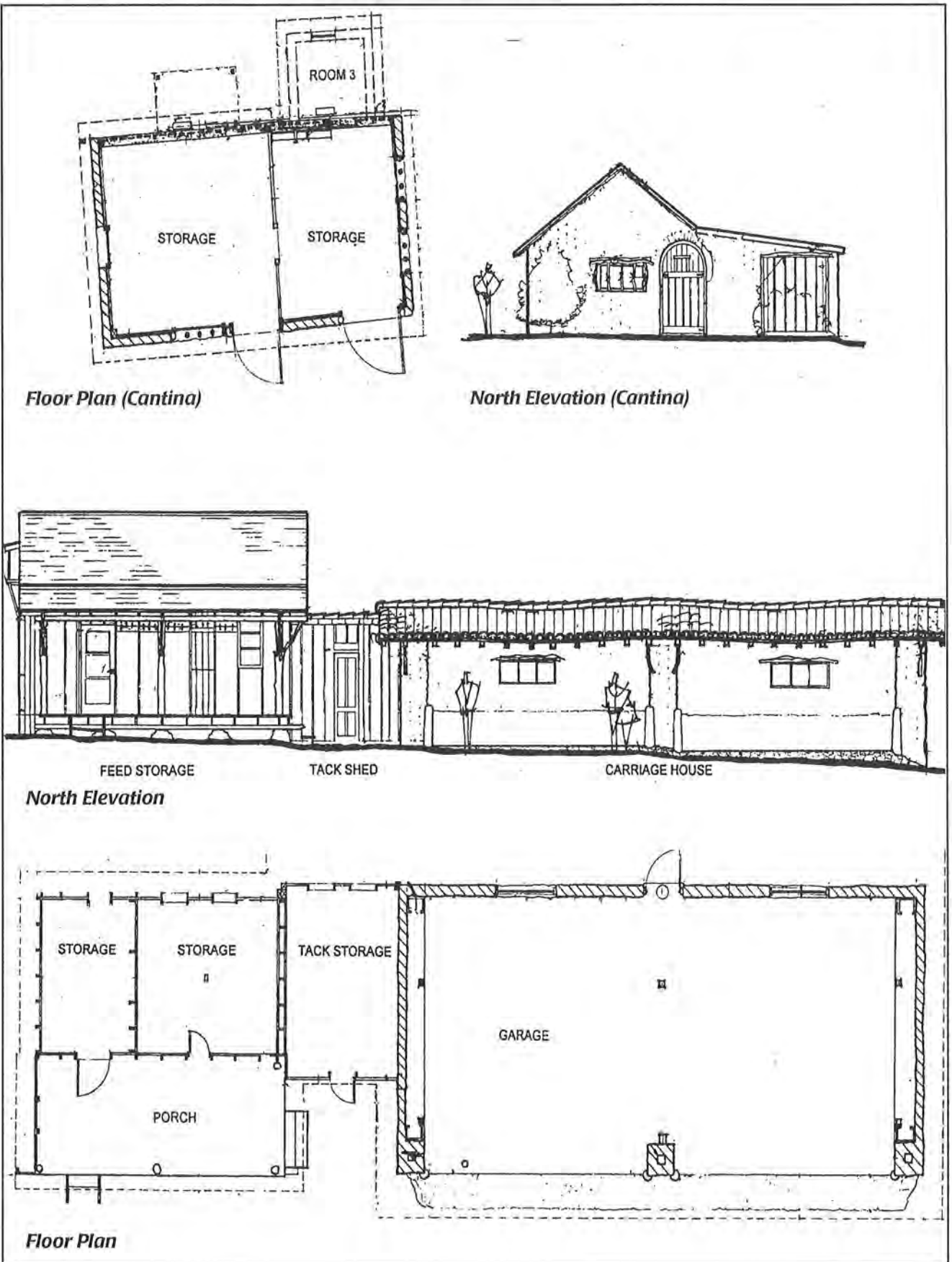
Foundation and Floors:

The stable's foundations are of a typical stone and concrete construction, though they irregularly step up the slope at an average height of one foot above the ground. The interior surface is very broken and uneven, as though the concrete had not been allowed to cure properly. Though generally in good condition, the exterior surfaces have deteriorated slightly on the lower slopes of the east wall due to the moist conditions. Elevations and sections for the stable are shown on Figure 2-12. Figure 2-13 shows the stable floor plan.

The stone steps along the east and west walls were extremely uneven and cracked, but have been repaired.

The concrete on the south porch floor is badly deteriorated. The concrete slab floors of the lower level, including the walkway between the stalls and the edges of the slab, are also heavily cracked and spalled. The stall floors are covered with various storage items and debris. The middle level floor is of hard packed dirt and is fairly level. The upper level floor is also dirt and has eroded into ruts at the west end. The red

Figure 2-11 • Feed Storage, Tack Shed, Carriage House and Cantina Floor Plans/Elevations





Stables showing original wood fence and wood barn beyond, c. 1949 (Photograph courtesy of the Carrillo Ranch Archives)

concrete floor of the north porch is stained, and various repairs made to the floor in 1992 helped stabilize the north retaining wall.

Walls:

The adobe, stone, and wood frame walls of the stable are in sound condition as a result of the 1992 seismic upgrade. The south facade, entirely constructed of wood, has been worn and weathered, but no structural decay is evident. General damage due to termites and dry rot exists, and the layers of paint and whitewash have faded and chipped. The posts are scarred from repeated knocks and bumps.

The stone wall portion of the east and west facades are also sound, though the southeast corner has been patched with cement. The adobe bricks on the east wall have been repaired. The surface of the bricks has been whitewashed. The adobe walls have high stone and concrete foundations, keeping the adobe out of contact with the soil in most places. The wood frame wall above the big barn doors is clad in a thick layer of cement plaster on chicken wire. The plaster is mounted independently of the adobe walls and is in good condition.

Roof:

New Class B, fire retardant wood shingles were added in 1992. The size of the rafters vary, and all are water stained. The concrete cement flashing around the chimney was repaired. A new wood box gutter with a sheet metal insert was added in 1992.

Door and Windows:

The doors and windows are in good condition, though the hardware is consistently rusty and most is in need of repair. The wood framing is extremely dry and the grain has become exposed in many places. The branch lintel, frame, and bars of the windows are damaged from termites and dry rot.

One wood gate is all that remains of the wood corrals. The top rails are worn by the chewing of the horses in the stalls. The hinges are very rusty. This wood gate can serve as a model for future reconstruction work.

Miscellaneous:

Of the original signs located on and around the stables, only a few remain. Two are located above the stall doors and one on the southwestern post of the south porch.

Two stone and concrete pads are located at each end of the west wall. Each supports a red iron barrel, presumably used for waste. The pads have separated from the walls and the iron barrels are full of sludge water and have become rusty.

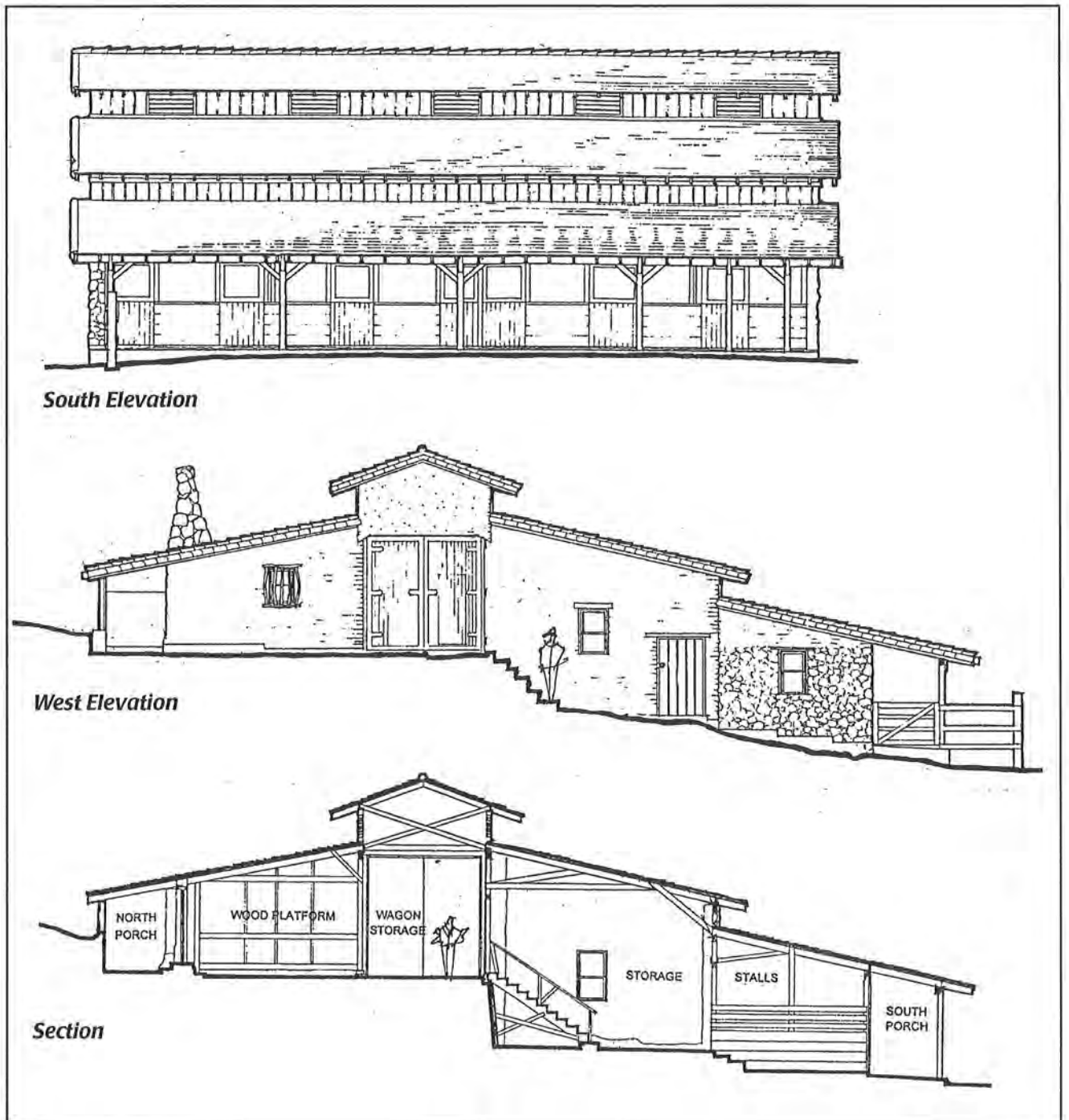
Interior:

The wood walls of the interior are in good condition, though some termite and dry rot damage is present. The stalls are worn and splintered from both the storage of firewood and the ranch animals once

housed in the stalls. Interior windows are in fair working condition. The wood stair is stable, though the railings are wobbly.

The bunkroom shows signs of damage from the lack of roof drainage. The hexagonal and square clay tile floor is stained from flooding, though the grouting is secure. The wood branches used as decorative trim for the plank bunks, wall shelves, and hooks are damaged from excessive moisture and termites. The saddle racks are similarly damaged. The stone and concrete corner fireplace has deteriorated around the roof from the lack of drainage.

Figure 2-12 • Stable Elevations/Section



The interior plaster finish is in good condition throughout the stable. The plaster has blistered and chipped in the bunkroom where rain has run down the walls. Cement plaster has been used in the northeast corner of the upper level where Carrillo's and his foreman's hand prints still remain. The adobe walls appear in good condition behind the plaster.

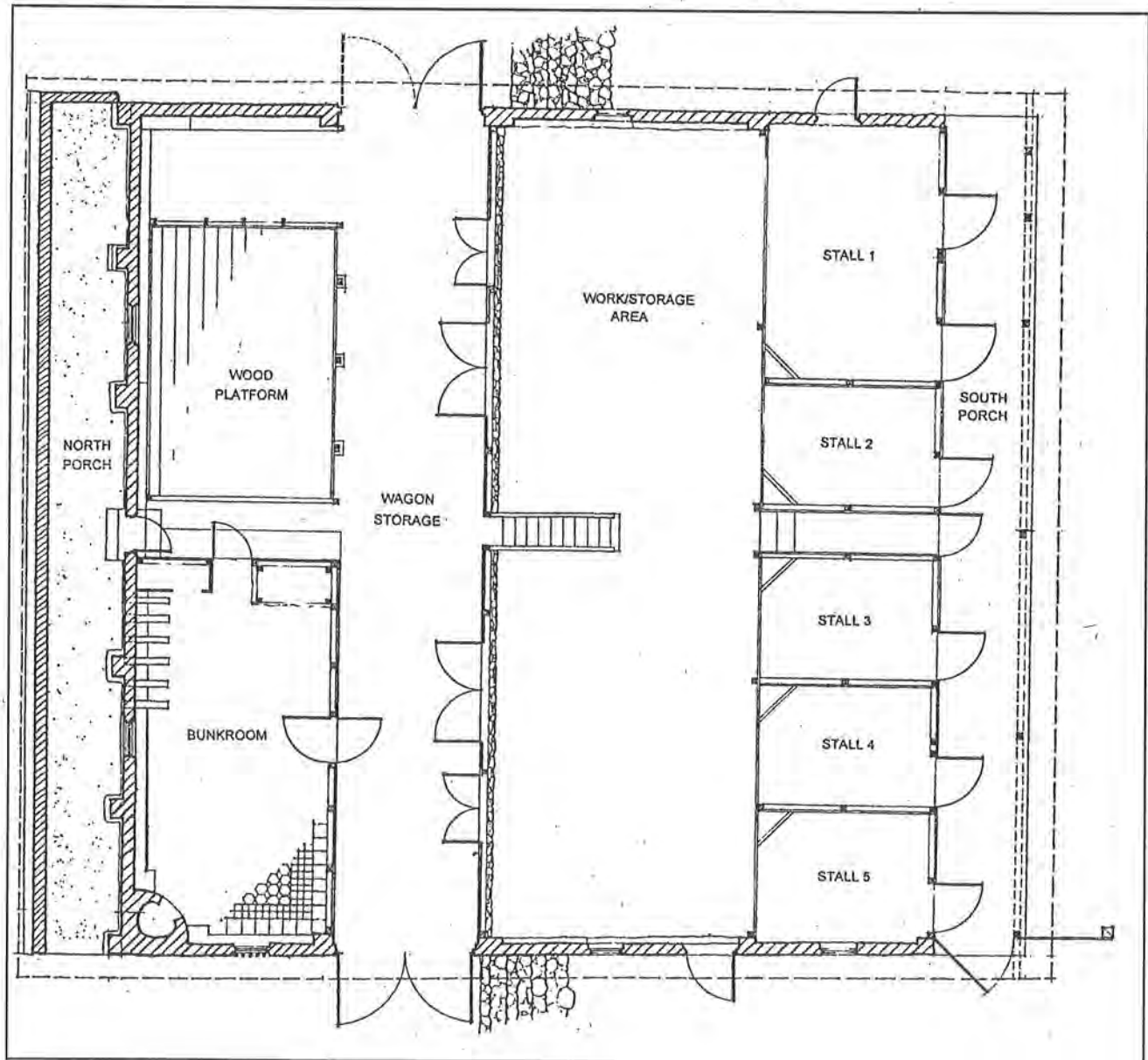
Corrals and Bull Pen:

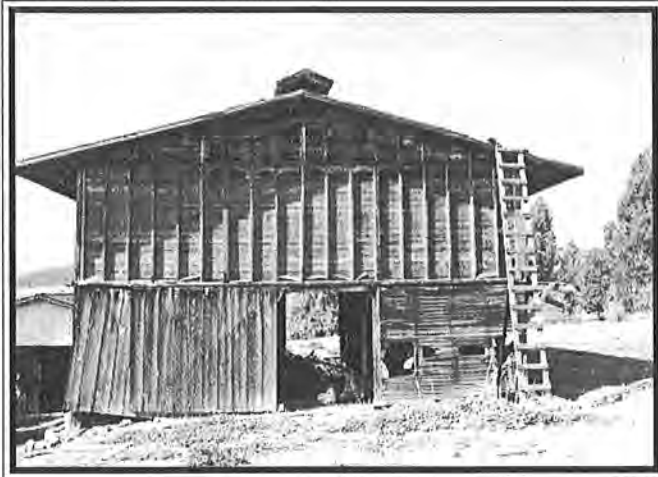
By 1976, the wood corral fences were taken down. Only one portion of the fence remains, next to an original gate on the south porch. The low wood bull pen was also in disrepair and demolished.

Electricity:

Electrical service for the stable is run from the service panels on the rear Cantina wall. The four exterior lights are currently in operating condition.

Figure 2-13 • Stable Floor Plan





Wooden barn

Wood Barn

Foundation:

The stone and cement foundation of the wood barn is in good condition, following the repair in 1992. Elevations of the wood barn are shown on Figure 2-14.

Roof:

The roof has been replaced with a red rolled asphalt, though the application has not been finished. The straight board sheathing is spaced approximately 1 inch apart on the upper 2 feet of either side of the ridge - possibly an original condition. A tin soffit is located along the eaves, though sections have fallen off. The gable ends of the roof are exposed and have no soffit. The structure of the re-attached cupola is rickety and the wood is extremely dry.

Interior:

The interior of the barn is stained with leached rain deposits and bird droppings. A white owl currently resides on the rafter supports. The floor is of loose dirt and it is scattered with various debris. The farm machinery in the northeast corner is broken and rusted, and it is surrounded by scattered pieces of equipment. Portions of the interior walls have been stabilized. New interior support posts and foundation blocks were installed in 1992.



Caretaker's house

Caretaker's House

Foundation and Floors:

The raised stone and concrete foundation of the caretaker's house is in good condition, though minor cracks can be seen in the mortar. The vegetation has generally been kept away from the structure. The scored porch floor is in good condition. Elevations of the caretaker's house are shown on Figure 2-15.

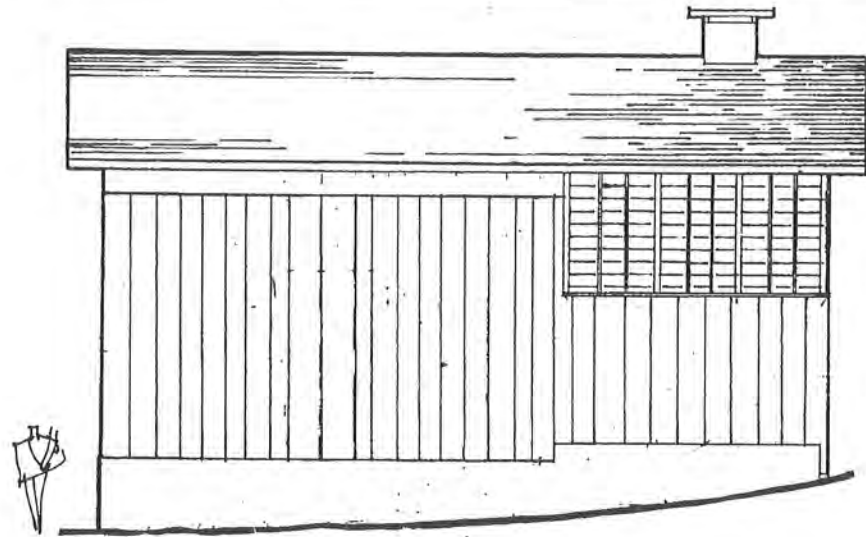
Adobe Walls

The walls of the caretaker's house are in good condition, with only minor eroding of the exposed adobe bricks above the foundation. The stronger mortar has not eroded. Slight cracking can be seen below a few windows, often continuing into the foundation. The adobe bricks are also raised 12 inches to 24 inches above the ground by the foundation.

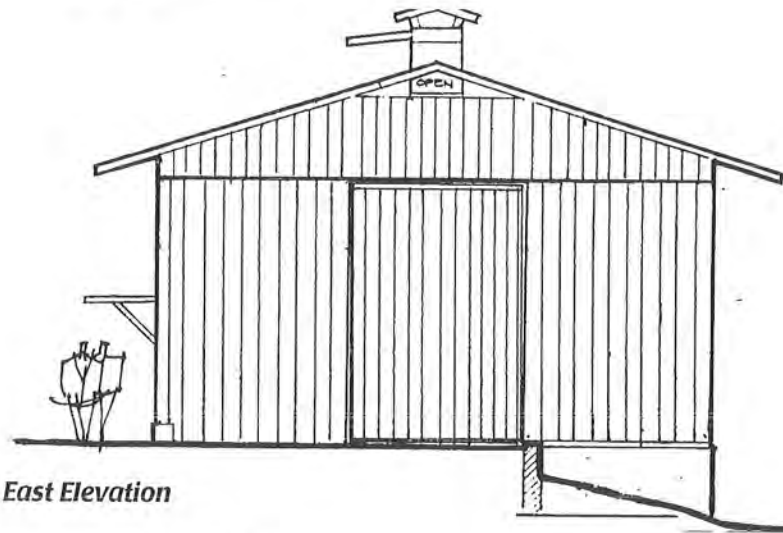
The adobe had been laid very irregularly, but has caused no structural defects. A 4 inch concrete bond beam can be seen on the three exposed walls. It was also poured very irregularly and may not be sufficient for use in seismic stabilization.

The south porch wall is not of adobe; it is wood frame with a thick layer of plaster scored to appear as adobe. The plaster has been painted brown, though this may not be the original color. The plaster is crumbling at the base where it touches the ground level. No seismic work was done on this structure.

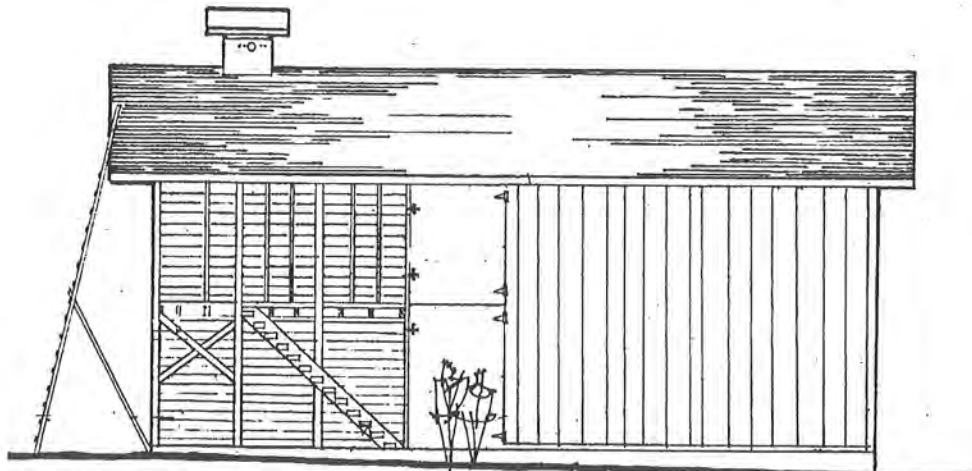
Figure 2-14 • Wood Barn Elevations



South Elevation

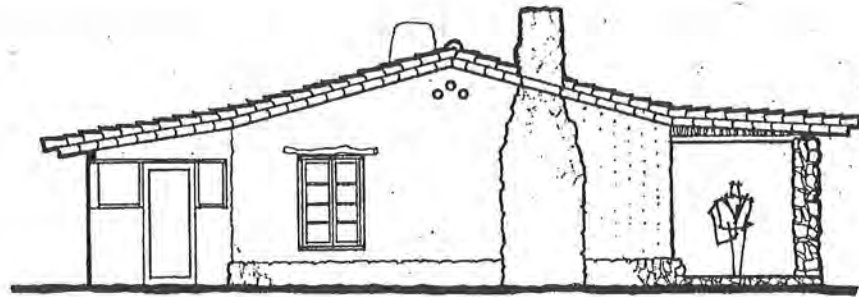


East Elevation

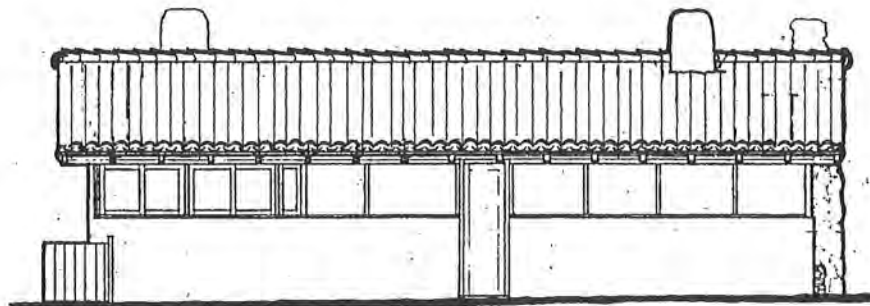


North Elevation

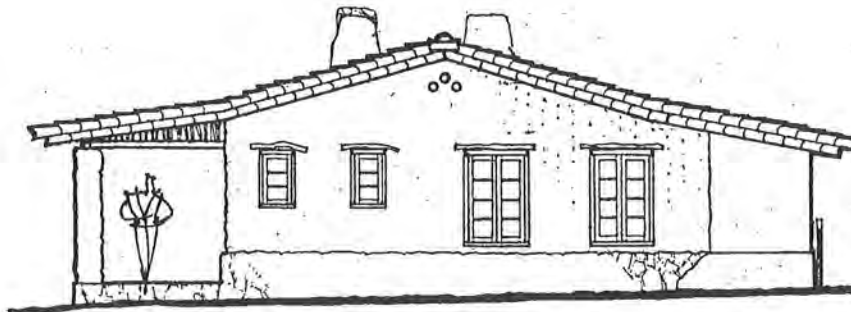
Figure 2-15 • Caretaker's House Elevations



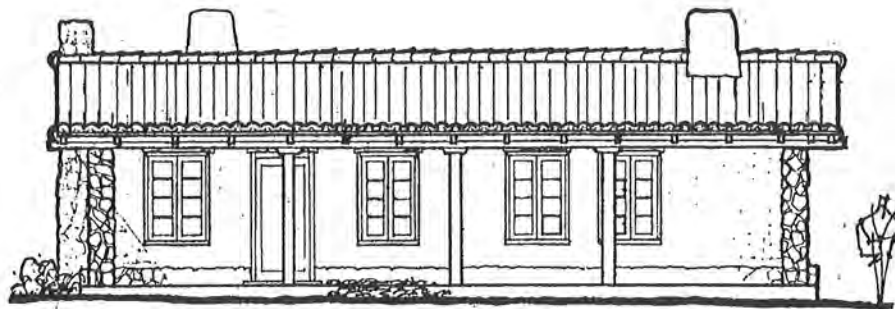
East Elevation



South Elevation



West Elevation



North Elevation

Roof:

The roof is also in good condition, though the exposed exterior rafters and sheathing exhibit termite and dry rot damage. The Mission tiles have been installed, though many remain to be installed. A layer of rolled asphalt roofing had been laid over the straight board sheathing and both appear in good condition. The three chimneys are in good condition, though the flashing is weak.

Doors and Windows:

The doors are generally in good condition, although the paint on all of the doors is peeling, and the hardware for each has rusted. The screening has completely rotted and torn from most of the doors.

Varying degrees of termite damage can be seen in the doors, window frames, and lintels. The windows are inoperable. The hardware is rusted where unpainted and the paint is blistering and peeling.

Interior:

The interior is damp and musty, probably due to the constant closure and lack of use. Though dirty, the interior walls are sound and only require minor patching. The floors are carpeted, and though the carpet is deteriorated, the floors appear sound. The stone fireplace in the living room has smoke stains and is currently unused. A gas heater has been installed next to the fireplace. Gas is supplied from a line that runs through the wall from the exterior.

Stone Retaining Wall:

The stone retaining wall in the back yard and next to the garage is upright and in good condition, although it has been overgrown by vegetation and climbing ivy. The stone steps have become slightly cracked and lifted, and one side wall is leaning inwards. Grass is growing on the steps.



Garage at caretakers house

Garage at Caretaker's House

Foundation and Floors:

The foundation of the caretaker's garage is in good condition, except for deterioration at the northwest corner due to the lack of proper drainage from roof runoff.

The concrete slab is also in good condition, though it has become covered with encroaching ivy. The floor is stained from improper roof drainage.

Adobe and Stone Walls:

The adobe walls of the caretaker's garage are in fair condition. Some eroding has occurred where a previous roof leaked and at the northwest corner due to a lack of proper drainage. The roof eave does not fully overhang the branch support, allowing water to run

down the branch and into the wall at the corner. Puddling of water at the base is also allowing water to wick up into the foundation and adobe, causing further deterioration. Eroding is occurring at the base of the wall, leaving the stronger mortar intact.

The side stone retaining wall and the stone back wall are in good condition, though minor deterioration can be seen at the roof lines.

Roof:

The roof was partially repaired in 1992. A layer of rolled asphalt roofing was laid over the original rafters and sheathing, and the new tiles were reinstalled. The rafters and sheathing are deteriorated from lack of proper roof drainage, termites, and dry rot. The branch roof support at the northwest corner is deteriorated from the poor drainage and termites. The branch support at the southwest end was stabilized and a wood post was inserted to help support the eave.

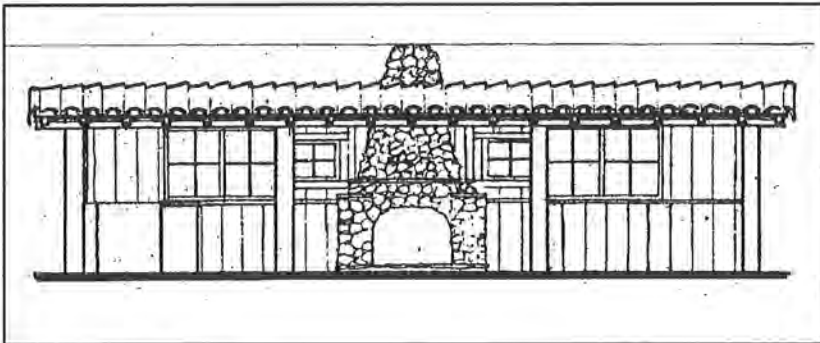
Doors and Windows:

The frames of the doors and windows have the typical amount of termite and dry rot damage. The branch lintel of the windows has also been damaged by a roof leak. No doors were ever present within the frames of the doors. One window is operable, and the paint is peeling from it.

Interior:

The interior of the garage and the storage room are in good condition. The whitewashed walls show evidence of previous roof leaks. The wood shelving and closet are stained from water damage.

The closet in the garage is a relatively recent addition. It was loosely framed and clad in drywall, which has deteriorated from excess moisture. The hollow-core door is also delaminating. The wood shelving along the back adobe wall is original and in good condition.



Cabaña East Elevation

Swimming Pool and Cabaña

Both the swimming pool and the cabaña are deteriorated, due mainly to the erosion of the hillside around the cabaña and the movement of the earth around the pool. The pool has been empty of water for many years, and large structural cracks have formed where the pressure of the earth is pushing the walls inward. The pool has approximately 18 inches of standing water at the deep end from site drainage

through the cracked walls. The concrete sidewalks surrounding the pool are tilting upward. Ice plant was planted to slow the erosion process and is now growing over the west sidewalk and into the pool. A sand "beach" was originally located along the west side of the pool, but has eroded away. The diving board supports still remain, but the board is missing.

Erosion on the hillside to the south and west of the cabaña has undermined the foundations of the south and west walls, the stone fireplace, and both dressing rooms.

The mortar of the stone fireplace is cracked and decomposing at the roof line and throughout the fireplace and mantels. The stone mantle shelf is loose, and rusted wire mesh is projecting underneath. The level of the dirt floor has dropped, exposing the stone and concrete foundations along the west wall.

Termite damage and dry rot are present throughout the entire structure. Concentrated damage is located in the roofing members near the south wall, the south and dressing room walls, the window frames, and the bar. The bar is missing many components and has pulled away from the walls.



Equipment shed and blacksmith's shop

Foundry and Equipment Shed

Foundation:

The stone and concrete foundations of the foundry and equipment shed are in good condition.

Walls:

The one exposed adobe brick wall of the foundry is in fair condition. Minor erosion is evident at the base, possibly due to surface drainage from the small hill to the east. The lower adobe bricks are eroding, though the stronger mortar remains. The adobe brick above the shaped log wall beam is of a different composition than the rest of the wall. The shaped log wall framing is badly damaged by termites.

Roof:

The standing seam metal roof is in fair condition, though it has rusted heavily. Little water damage can be seen on the interior. The wood rafters are sound, as are the wood soffits, but both are extremely dried and weathered. The simple roof brackets at the ridge and corners are also dried out and damaged by termites. The main roof beam across the north facade is sagging, but is in good condition.

Doors and Windows:

The one wood door is in fair condition. The hardware is heavily rusted, but is still operable. The wood planks are detaching from the framework and are stained on the bottom from contact with the ground. The frame and branch lintel have also been damaged by termites. The door had once been whitewashed, which has now been worn away. The rear door is missing, though the rusty hinges remain.

The windows are awning windows clad in standing seam metal. The hinges are rusted and inoperable.



Storage shed

Storage Shed

Foundation and Floor:

The cement pier foundation is in good condition. The interior is also used as storage space.

The stone and concrete of the loading dock is in good condition. The wood bumper trim is extremely dry and splitting along the grain. One trim piece has fallen down.

Wood Frame Walls:

The wood walls of the storage shed are in good condition, though the horizontal wood siding is extremely dry. The grain of the wood has become pronounced due to the lack of moisture, and the boards have split. Minimal termite damage is present, and most of the

wood members are intact. Some separation of the horizontal wood siding from the frame has occurred.

Roof:

A few framing members have deteriorated and split, though most are sound.

Miscellaneous:

The doors are in fair condition. The hinges and hardware are rusty.

The shed is surrounded by debris, including various tools, pieces of equipment, and a few large rusty metal drums.



Water tank

Water Tank

The concrete walls and buttresses of the water tank are cracked and tilting uphill. The conical wood roof is completely deteriorated and has collapsed into the water tank. The access ladder is extremely rusted, and the mountings are loose. Overgrown vegetation is encroaching at the base, and ivy is partially covering the walls.

Site Features

Adobe Gateposts at Caretaker's House:

The two adobe gateposts have been stabilized and are in good condition for reuse on the ranch.



Stone retaining walls

Stone Retaining Walls:

The low stone walls along the entrance road are generally in good condition. The walls have deteriorated from site erosion over the years, and a few stones are loose or missing.

Windmills:

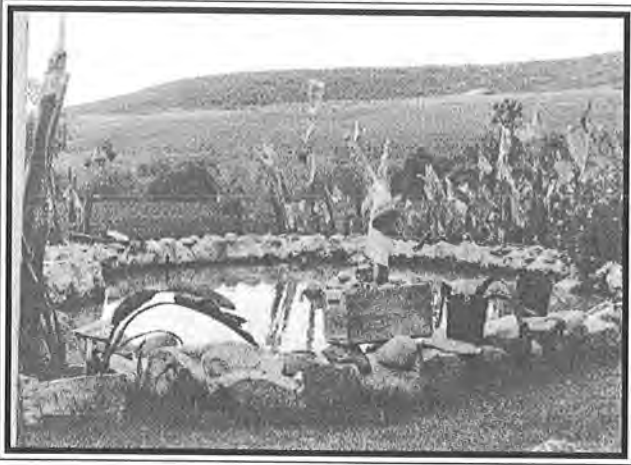
The windmill beside the Stable once provided power to draw the well water used for the Ranch. The north-west leg of the frame has been removed by large rocks that were piled along the west side, and the main

shaft is broken and disconnected from the pump. The blade equipment is rusted, but still swings. The pump is extremely rusted and inoperable, and pieces of piping are scattered about. Railroad ties are also scattered over the top in an attempt to cover the open well.

The windmill beside the pumphouse is currently not operating.



Windmill



Fish pond

Fish Pond:

The stone and concrete fish pond is now empty and cracked. The plumbing may also be inoperable.

Conquistador Grave Marker:

The Conquistador grave marker has been relocated. An attempt to find the grave through archaeological investigation was not successful.

Barbecue:

The barbecue at the cabaña/pool area is currently inoperable, but in good condition. Several grills and metal doors have been removed. Efforts should be made to restoring the barbecue to its original use. Outdoor events would benefit from the use of the barbecue for special events.

Entry Gateposts Off Palomar Airport Road:

The original entry is not a part of the Ranch property now owned by the City of Carlsbad. The entry gateposts, threatened by the widening of Palomar Airport Road, were salvaged and are now stored on the property. The original adobe gateposts will be used in the restoration/interpretive efforts.

Entry Bridge:

The original entry bridge at the north creek is dilapidated with its wood members dry rotted and insect damaged. A new concrete slab has been constructed over the bridge as a temporary method of access to the site. The concrete should be removed and the original wood bridge reconstructed.

Weir:

The stone weir is located adjacent to the original entry bridge. It has deteriorated over time and lost many stones and abutments.



Gatepost at Palomar Airport Rd.



Outdoor barbecue area, 1940s. (Photograph courtesy of the Carrillo Ranch Archives)



Old entry bridge, 1960

Minor Features & Furnishings:

- Additional barbecue areas (caretaker’s cottage, cantina, wash house patio)
- Corrals and bull pen (stable -1949 photo)
- Trellis (cantina area - photo undated)
- Totem pole (pool area - photo undated)
- Wood Indian (cantina area - photo undated)
- Um (Deedie’s house)
- Hitching post (stable)
- Signage (main operations area - 1949 photo)
- Branch and twig bench (pool/barbecue area - 1944 photo)
- Wood fence and twig gate (Deedie’s house - 1940 photo)
- Wood and wrought iron gates at front courtyard
- Wood gate at wash house
- Wood gate at caretaker’s cottage

- Rock borders
- Miscellaneous wood poles throughout site
- Horseshoe doorstep at wash house
- Various skulls (Deedie’s house and cantina)
- Wood bench at wash house
- Disassembled blue bench in cabaña
- Cabaña sign
- Rancho de Los Quiotes wood sign (near carriage house)
- Boot scraper at carriage house
- Metal “Guests Only” sign from caretaker’s adobe gatehouse (south)
- Horse skull at carriage house
- No Smoking sign in stable
- Gate wheel for weir

All site features and furnishings need to be preserved and protected, if still existing. All items should then be repaired or reconstructed, and replaced back in their original location, as documented.

2.5 Landscape Resources

Summary of Original Existing Site Conditions:

Leo Carrillo envisioned himself owning an adobe rancho retreat, built in the character of the ranches of his Spanish-Californian ancestors. He purchased Los Quiotes Ranch in 1937 and renamed it “Rancho de Los Quiotes” (Ranch of the Spanish Daggers) after the native Yucca growing on the ranch’s slopes. This yucca is indigenous to Southern and Baja California. Its common names are “Candelabra de Dios” (Candle of God), and, in Mexico, “Quiote” (Spanish Bayonet or Dagger). The general landscape character of the Ranch has the atmosphere and routines of a working ranch. The original plantings helped create this romantic old-Californian feeling. The majority of the historic theme plantings of Rancho de Los Quiotes originate from approximately 1937 and extend to 1961, the year Leo died, although some of the trees may have been present during the Kelly family ownership. An extensive landscape analysis, inventory and recommendations report for Leo Carrillo Ranch was completed and documented in 1991 by Garbini and Garbini, Landscape Architects. The report and plans include a general study and analysis of how areas and plantings were used, their condition, locations, and identification of the major-

ity of the plantings. The report provides a description, written analysis (native, historic & non-historic), and provides recommendations for immediate and phased care of the plant material.

As confirmed by the report, some of the popular plantings at that time included aloe, agave, banana tree, cactus, California Pepper, citrus, olive, willow, Dragon Tree, yucca, and Queen Palm. Many of these plant materials are shown on Figure 2-16, Existing Vegetation.

Some of the existing plant materials had died or were removed during a stabilization and seismic retrofit that was completed in 1992.

Plant materials which have replaced the original plantings, dating from the year of Leo Carrillo's death, will not be considered of historic value.



Original ranch roadway

The Site:

The original ranch entrance was located adjacent to what is now known as Palomar Airport Road, where plantings of aloe and cactus bordered the entrance adobe walls and gate. The entry had a rustic and charmed feel to it, and set the scene for a unique experience on a Spanish-Californian working ranch. The roadway was lined with aloe and cactus that led the visitor down the long curving drive to the entry bridge. A view of open land in all directions greeted the guests. But now this entry, drive and views are lost to time. Currently, as one crosses this bridge, age and neglect have eroded the landscape, and only remnants of the Ranch's previous times remain.

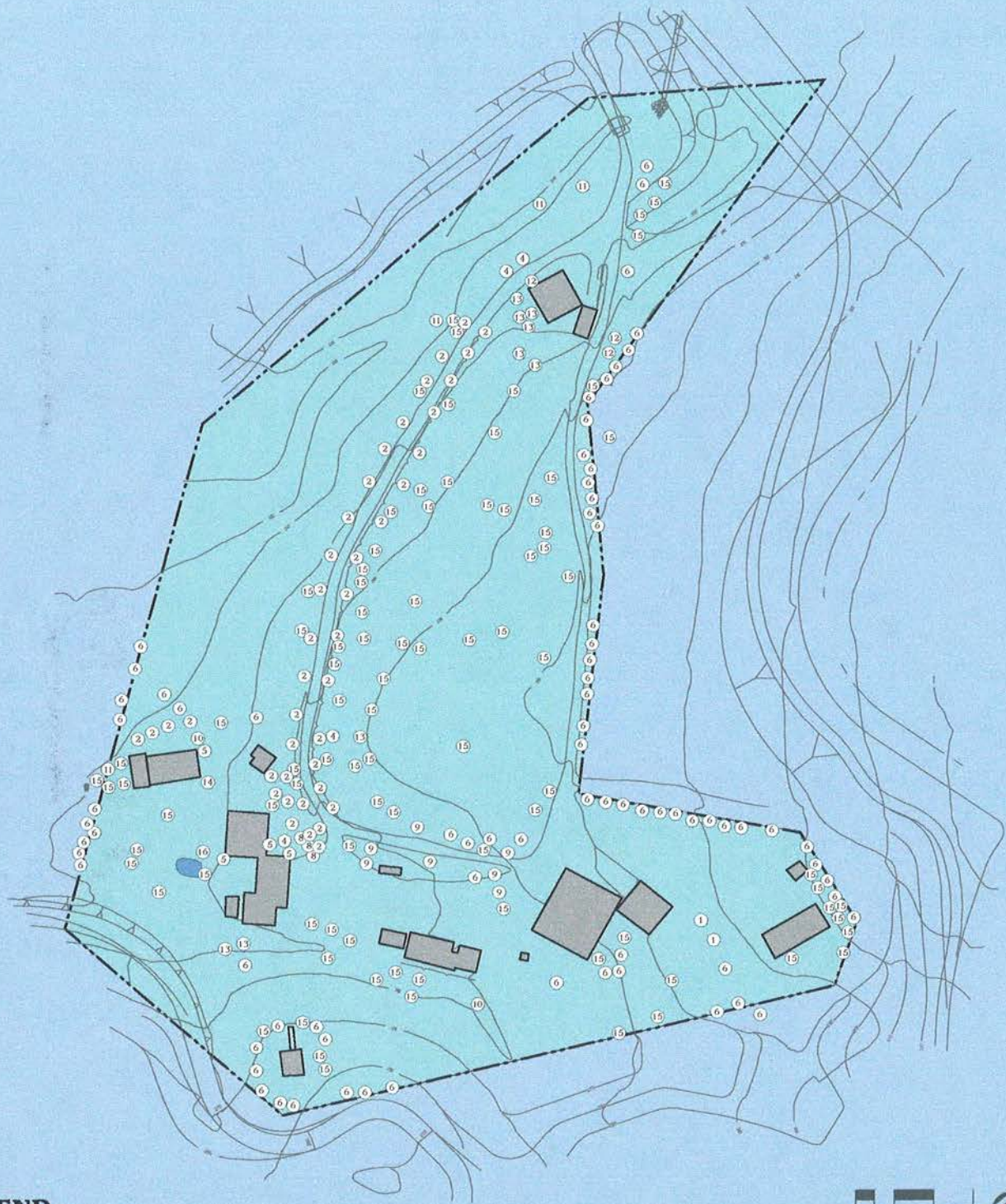
The scene changes as one slowly crosses the bridge, where sycamores and willows set the present stage. The original entrance had agaves, aloe and cactus massings bordering the right side of the rock-lined roadway. The caretaker's cottage is nestled into a small hillside full of oak and California Pepper trees. Roses, geraniums, Bird of Paradise and jade plants are located throughout the front yard, with two large

citrus trees located across the road. The roadway is lined with graceful Queen Palms and spectacular massings of agave and cactus. The adjacent hillside is full of California Pepper trees, while the north side of the road has native chaparral plants that are overgrown and competing with the original accent road plantings.

The promenade road enters into the main operations courtyard area that is bordered on three sides with support buildings, stables and the main hacienda. The fourth side is a median with a backside farm road to the stable. The median was once planted with olive trees and iceplant, but is now overgrown with other vegetation and trees.



Main operations courtyard



LEGEND

SYM. BOTANICAL NAME COMMON NAME

TREES:

- | | | |
|----|----------------------------------|--------------------------|
| 1 | <i>Acacia melanoxylon</i> | "Blackwood Acacia" |
| 2 | <i>Arecastrum romanzoffianum</i> | "Queen Palm" |
| 3 | <i>Callistemon citrinus</i> | "Lemon Bottlebrush" |
| 4 | <i>Citrus spp.</i> | "Citrus" |
| 5 | <i>Dracaena draco</i> | "Dragon Tree" |
| 6 | <i>Eucalyptus spp.</i> | "Eucalyptus" |
| 7 | <i>Magnolia spp.</i> | "Magnolia" |
| 8 | <i>Musa spp.</i> | "Banana Tree" |
| 9 | <i>Olea europaea</i> | "Olive Tree" |
| 10 | <i>Phoenix canariensis</i> | "Canary Island Palm" |
| 11 | <i>Platanus racemosa</i> | "California Sycamore" |
| 12 | <i>Pinus spp.</i> | "Pine Tree Varieties" |
| 13 | <i>Quercus agrifolia</i> | "Coast Live Oak" |
| 14 | <i>Salix spp.</i> | "Willow Tree" |
| 15 | <i>Schinus molle</i> | "California Pepper Tree" |
| 16 | <i>Syzygium paniculatum</i> | "Eugenia" |



EXISTING VEGETATION

LEO CARRILLO RANCH



City of Carlsbad

Figure 2-16

The hacienda presently has mature pepper and palm trees all around. Three walled-in courtyards include the main, front and wash house areas.

The main courtyard, enclosed by a medium wall, has flagstone paving with a raised circular stone planter. An archway leads from the main courtyard to the open lawn area. The porch areas of the hacienda are covered, and the edges of the court are planted with lantana, pittosporum, junipers, bougainvillea and other plants, with a large dragon tree as the main focus of the patio.

The front courtyard has an area of lawn that is bordered by flagstone walkways and a low wall. There are two large dragon trees, a citrus and pepper tree, and plantings of pyracantha and Bird of Paradise.

An archway also serves as an entry to the wash house courtyard, which is also enclosed by a stone wall. It is paved with flagstone and has a small barbecue. At one time, it had a large pepper tree within a raised circular stone planter. The tree is gone now, but there are still two other large pepper trees nearby that provide roosting for the Ranch's many pet pea fowl. A low planter of overgrown geraniums is located at the far wall, next to the wash house.

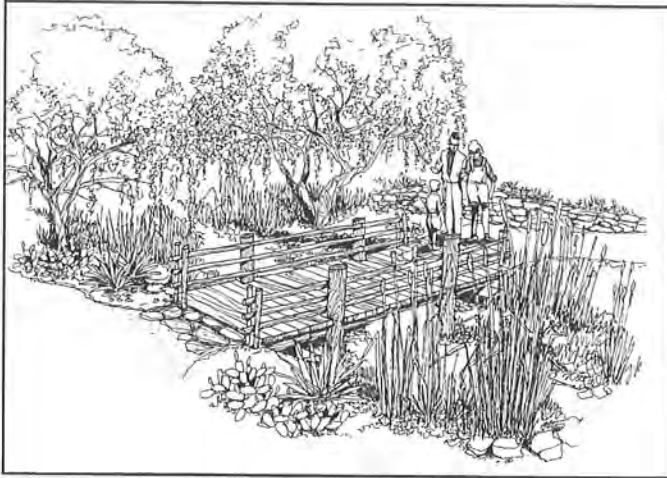
There is another archway next to the wash house which leads to the main barbecue and cabaña area. This area was built as the entertainment center for the Ranch. The irregular rock barbecue and fireplace is built into the back of the wash house courtyard wall, and visually anchors one end of the pool.



Cabaña and pool area

The cabaña completes the opposite end of the pool area. Historic photographs document a sand beach and totem pole adjacent to one side of the pool, with Queen Palms as a backdrop. Two native willow trees, which may have invited themselves, border the other side of the pool. There were also plantings of flax, yucca, Calla Lily, iris and banana trees. A prostrate growing type cactus provides the groundcover under several outlying eucalyptus trees, which also may be vagabonds.

The cabaña and pool area are located adjacent to a large grass backyard, behind the hacienda. The lawn area includes an empty stone fish pond rimmed with a stone edged walk, a number of California Pepper trees and a line of more recently planted, but reasonably mature, eucalyptus trees that line the old perimeter of the property.



Proposed foot bridge to Deedie's house

Deedie's house is located across the rock-lined creek and up the adjacent hill from the main hacienda. A pathway extends over a foot bridge, between oak and pepper trees. Low massings of cactus line the hillside pathway, with a cactus and toyon on each side of the entry doorway. A grove of giant agaves (Century Plants) are planted behind the back. There are a number of pepper trees on the hillside behind the Ranch's support buildings as they spread toward the stable area. The rock-lined creek bed continues to run toward the buildings and hillside.

Grasses generally cover this hillside. An old ramada (trellis) once connected the hacienda with the cantina, and was intertwined with variegated Algerian Ivy. Only remnants of the wood support posts and

ivy remain. This area included a low rock barbecue with California Pepper trees providing a shade canopy. Overall, the outbuildings are modest and functional, and have not been landscaped.

Looking toward the stable, the area has a dramatic massing of cactus in one corner, with an olive tree framing the other side of the stable doorway. An old hitching post is obscured by overgrown plantings of iceplant and myoporum.

The wood barn, storage building, corrals, grounds repair and grain storage areas have literally no landscaping, with the exception of a few introduced pepper and eucalyptus trees.

2.6 Community Resources

Workshops/Focus Group Meetings:

The City of Carlsbad and their consultants facilitated a number of "public involvement" workshops and focus group meetings to gather community input and assistance in developing the park master plan. This approach offered several benefits. One, it allowed the project team to gather information from diverse individuals and groups. That information might not have been available from traditional sources such as plans, special studies and field investigations. Second, it established the framework for an open line of communication between the City, the consultant, the users, and the community by clearly setting goals, documenting methodologies, generating ideas, creating alternatives, and evaluating solutions.



The public meetings were held at the project site and other community meeting rooms. A variety of tools were employed to distribute information and receive feedback, including the use of photographs, slides, exhibit boards, study model, questionnaires, small group discussions, and question and answer periods. Participants were asked to develop a comprehensive "wish list" for the park and its uses, regardless of the feasibility or practicality of an idea or thought.

The formal groups involved included the Friends of Carrillo Ranch, the master plan steering committee, the Carlsbad Historical Society, the Carlsbad Arts Office, local



school children and teacher's groups. There were a number of local constituents and area experts involved through these groups, providing very detailed and comprehensive ideas about the ranch and its interpretation. A summary of the ideas generated from the group workshops is shown on Figure 2-17.

Similar Historic Facility Visits & Observations:

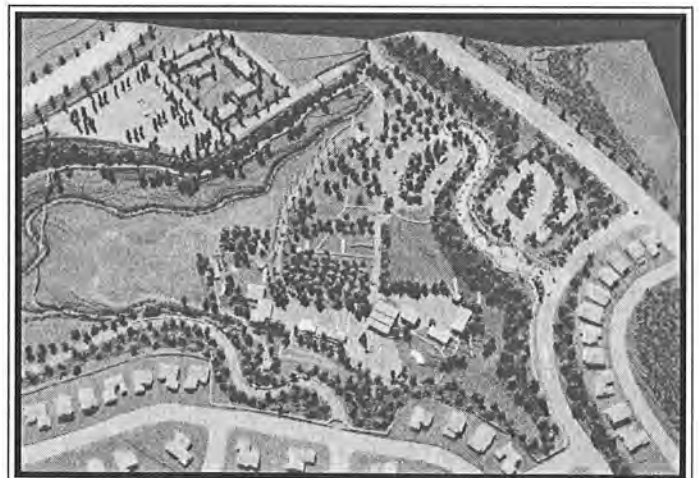
A number of other historic park facilities were visited and researched by the consultant team, city staff and the Carrillo Ranch Steering Committee. These sites provided the opportunity to gather survey data and have first hand visual observations, as well as instructive meetings, with knowledgeable personnel and staff.

A summary of the data requirements included: hours of operation, parking, admission price, visitor center requirements, food service, gift shop, guided tours, school programs, administration, staff size, support group, funding operating budget, and size and types of historical elements.



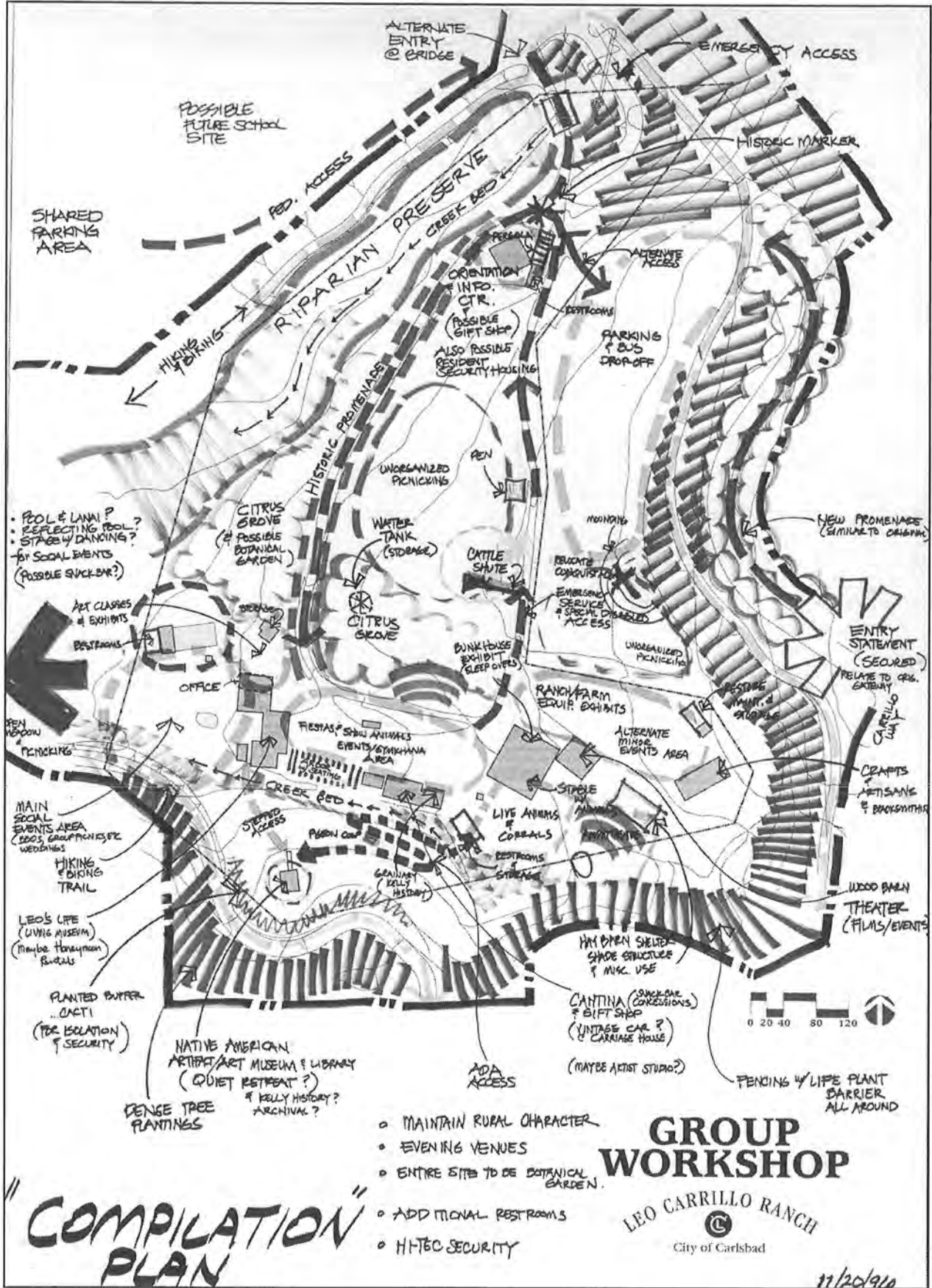
The primary facilities visited were:

- Rancho Buena Vista - Vista, CA
- Rancho Guajome - Vista, Ca
- Rancho Los Alamitos - Long Beach, CA
- Rancho Los Cerritos - Long Beach, CA
- Will Rogers State Park - Los Angeles, CA



Section 2 - Summary of Resources & Research

Figure 2-17 • Compilation Plan from the Group Workshop



SECTION THREE • THE INTERPRETIVE PLAN

3.1 Introduction

The process of interpretation of historic sites involves research, distillation and explanation of what an historic site and its past inhabitants represent. It describes how the project is to be developed within the confines of its own history and environment. The interpretive plan creates the connections for seemingly unrelated historic names, dates, and places. It provides relevance for the visiting public, further enhancing their understanding and enjoyment of an important or significant individual's life and the related historic site.

Interpretation at Leo Carrillo Ranch shall reflect the individual character and history of Leo Carrillo and his Rancho site, as well as its interrelationship with the City of Carlsbad and the State of California.

Objective:

The interpretive plan for Leo Carrillo Ranch is designed to be used as a decision making tool and an implementation guide, as well as an effective marketing tool for fundraising. All proposed programs, events and activities should be compared to the central theme to verify that they are appropriate and will further reinforce the Ranch's identity and the spirit of Leo Carrillo.

The interpretation of Rancho de los Quiotes will address Leo's life and character, as well as his relationship with the Ranch, based upon the following objectives:

1. Establish a balance between preservation and presentation.
2. Maximize the existing natural and historic features of the site.
3. Develop visitor support facilities and programs to ensure the site's integrity in portraying the past in relationship to the present and future.
4. Provide an active learning environment and interpretive vehicle.
5. Make visitors feel like a personal guest of Leo Carrillo at his rancho (Su Casa Amigo).



Proposed visitor center

3.2 Interpretive Elements and Categories

The following interpretive elements and categories were determined by site research and meetings with various community interest groups, and the City of Carlsbad and its staff. These represent the studied impressions and observations of the site, its needs, character, opportunities and constraints. Each of the categories include a quote from Leo's book, 'The California I Love' :



A. Historic *"...I have always been interested in the preservation of natural resources, historic sites,.... these were so important in our romantic and colorful history..."*

1. The structures and site features were central to Leo Carrillo's working ranch life, as well as his retreat into the past. They were all designed, built or modified under Carrillo's direction.
2. In 1992, structural stabilization was performed on most existing structures within the ranch. A maintenance manual was prepared to provide guidance to the City of Carlsbad on a cyclical basis. The continued preservation of all structures, site elements, botanical specimens and artifacts, per the California State Historic Preservation Office standards, will be enforced.
3. The proposed entrance and entry drive improvements will recreate the original character of the Leo Carrillo Ranch entrance and promenade.
4. An account of the life and times lived at the ranch—the people, the country, and related past events will be told through photos, collections, storytelling and by experiencing the ranch alive. Docents will be in character and appropriately dressed in period attire. They will relate to the public the events that took place within the ranch and educate the visitor to the life of Leo Carrillo.
5. Accounts of the life and times prior to Leo's purchase of the ranch will be provided and will include, but not be limited to: Native American, Spanish, and Mexican-American cultures and lifestyles; the Agua Hedionda Land Grant; and the Kelly Land Acquisition.



B. Archives/ Education *"...they would never be used for any other purpose except for the benefit of the citizens and the education of children..."*

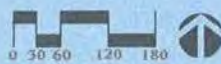


1. Provide tour programs, visitor experiences and historic demonstrations for the public, especially for children, so as to experience a living history of life on a working early California style cattle rancho. Create a living stage of the past.
2. Cater to educational programs for schools, develop partnerships with school districts and develop a curricula integrating history, sociology, archaeology and the arts.
3. Require all guides, ranch hands, and docents to wear period attire.



LEGEND

- Historical**
- Archives & Education**
- Arts & Culture**
- Arboretum**
- Recreation**
- Open Space**
- Operations**
- Circulation/Traffic**
- Privitization**



PROPOSED INTERPRETIVE PLAN

LEO CARRILLO RANCH
 ©
 City of Carlsbad

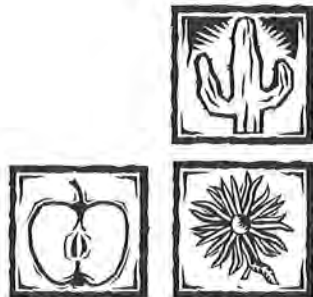
Figure 3-1

4. Utilize existing structures as museums or exhibitions for the collection and display of artifacts, art and furnishings. Convert the barn to theater use, exhibitions, classrooms and/or meeting spaces.
5. Establish and organize displays that will allow the docents to educate the public on the activities, vegetation, and building technology that will be encountered on Carrillo Ranch.
6. Provide opportunities for a self-guided, sequential interpretive walk experience for all visitors, including the disabled.
7. Provide exhibits of archaeological finds on site.



C. Arts And Culture *"...and on the wall are the paintings of my forbears (sic) by Barberry (sic), the great painter who painted all of the grandes in Santa Barbara..."*

1. Express Leo Carrillo's character and insight as a 'Renaissance man' - his career as an actor and TV star, horseman, public steward, poet, ambassador and host.
2. Hold a vintage or period film festival once a year featuring special themes, such as Gable-Lombard, Will Rogers and Leo's films. Use the existing barn as a theater, or show movies outside on the side of the barn.
3. Provide designated areas for removable art represented by local artist or travelling exhibits, organized by the City Arts Department.
 - Provide watercolor and painting classes.
 - Provide multi-media classes and exhibits.
 - Consider the use of Deedie's house for art events.
4. Develop a small outdoor amphitheater for performing art groups, lectures or as a classroom to accommodate arts and cultural activities such as scheduled school field trips, Hollywood plays, Cinco de Mayo celebrations, fiestas, holidays, and western days.
5. Develop an arts and cultural center of Old California, identified by Leo's spirit of goodwill and love of his birthplace.



D. Arboretum *"...people are not only able to see the historic structures but plants from all over in a rare setting of beauty..."*

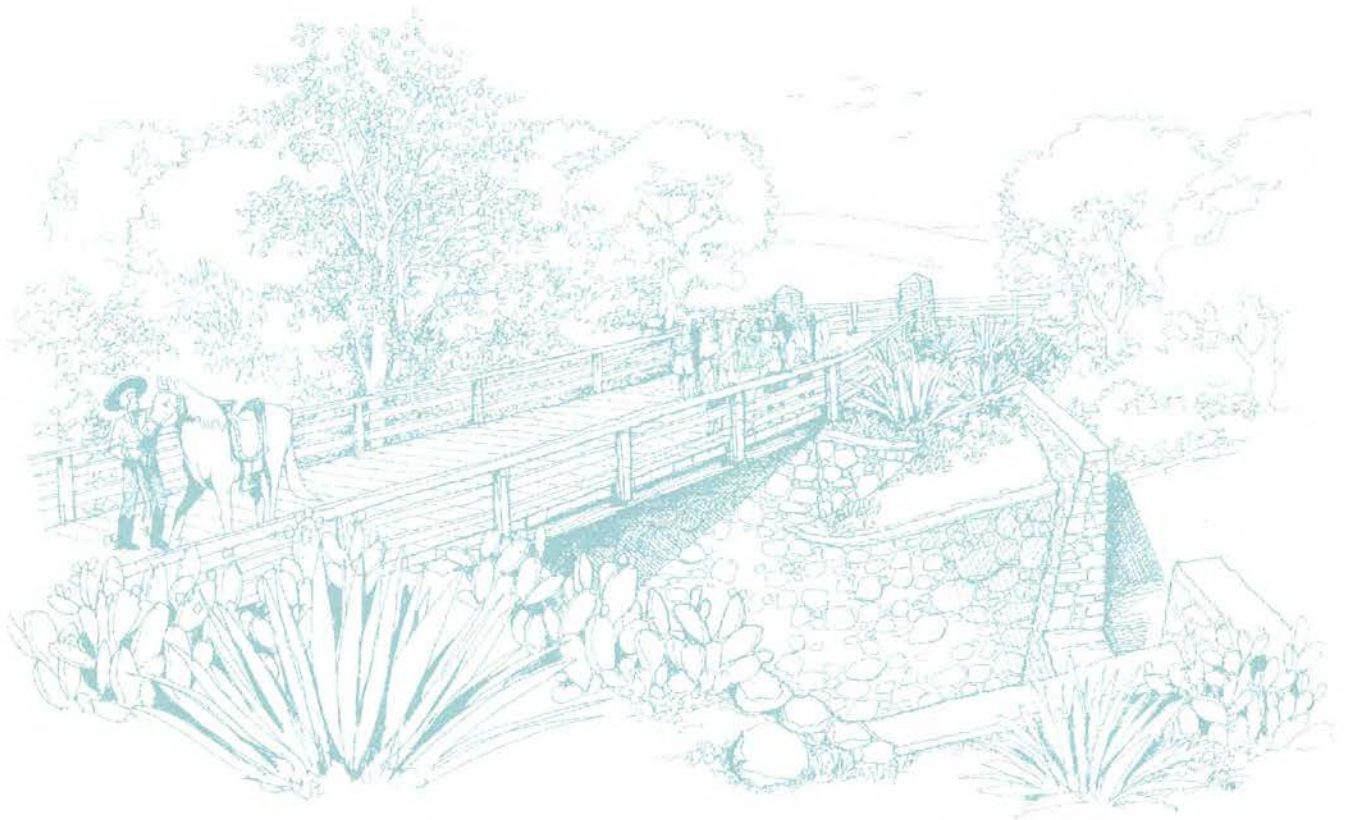
1. Develop the entire ranch into an arboretum concept which expresses the ranch's historical and romantic old California theme.
 - Provide a special botanical garden to concentrate educational experiences.
 - Create a period herb garden with herbs identified for their ornamental and medicinal qualities.
 - Identify plants with signage or botanical map handouts; signage should not detract from the aesthetics of the garden.
2. Preserve, restore and protect all botanical specimens that are listed on the Ranch's historic plant palette.

3. Develop a master historic landscape plan, based on the survey and site analysis report completed in 1990 (Garbini & Garbini), in conjunction with a priority phased development plan.
 - Establish a program with local nurseries for plant replacement and possible re-introduction of historic plantings.
 - Review the Landscape Inventory and Analysis Report with field verification for resources.
4. Protect and preserve identified riparian areas on the site.
5. Utilize plant materials of documented historical authenticity.
 - Restore portions of the original citrus groves.
 - Develop lush vegetation around the Ranch house.
 - Remove select eucalyptus trees to obtain the historic view corridor to the west.
6. Involve local Arboretum Foundation in the final planning, maintenance and operation of the botanical garden.



E. Recreation *"...I can picture roundups, horsemanship contests, fandangos, all the life of early California..."*

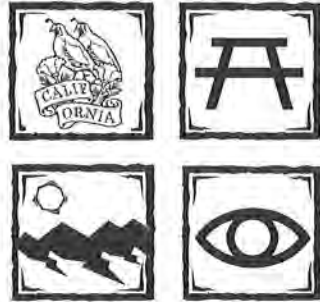
1. Emphasize Leo's involvement in the California Beaches and Parks Commission (18 years of service) and his love of recreation. Encourage recreational activities that include both passive and active elements, such as exercising, hiking, walking, picnicking, sightseeing and horseshoes.
2. Allow for Gymkhana rodeo events and games on horseback, horse barrel rides, and races. A Gymkhana is a field day for equestrians, consisting of exhibitions of horsemanship and pageantry. It is also another term for "rodeo".
3. Special recreation events could include:
 - Horseshoe tournament contests (possibly near the tack shed or blacksmith shop).
 - Picnic areas for group activities.
 - Carriage rides, hay wagon rides, pony rides, etc.
4. The original rodeo-riding area will be recreated for demonstration riding and fiesta events to recapture the robustness and fun of round-ups and life on the ranch.
 - Trick horseback riding, horse barrel rides or races.
 - Trick roping.
 - Western dancing, Virginia Reel, Latin music concert, etc.
5. The original corral areas will be reconstructed with the original fence design. This area will be used for horse events and riding demonstrations.
6. Provide isolated areas for picnics and barbecues on the range.
 - Unsupervised Camp Fires would not be allowed so as to protect the Ranch and the surrounding hillsides.
7. Continue the trail linkage to and around Carrillo Ranch.



SECTION THREE

THE INTERPRETIVE PLAN





F. Open Space *"...I long for you my purple hills, ... To your canyons that I adore, Where arroyos creep to the ocean floor..."*

1. Encourage the preservation and protection of sensitive habitats within Carrillo Ranch, in keeping with Leo's dedication and influence as a successful environmentalist, conservationist, and historic preservationist.
2. Restore the westerly view corridor towards the sea, which Leo Carrillo loved as a boy.
3. Screen out, as much as possible, views of the surrounding proposed developments to retain and where possible, re-capture the out-of-the-way, rural feeling.
 - Keep the site hidden with tall trees such as eucalyptus; seclusion is key, illusion of isolation.
 - Buffer noise and objectionable developments with walls, trees and plantings.
4. Maintain the integrity of the original site as much as possible, including the gardens, pasture, citrus groves, corrals, pool, barbecue area, and open lawn.
 - Include picnic areas in open space areas that are hidden from the core area of the Ranch.



G. Operations *"...We are practical here at Rancho Los Quiotes and sentimental..."*

1. Decide on options of how buildings are to be viewed, that is, will there be limited or total public access allowed, self-guided tours, or tours by trained volunteer docents only.
2. Onsite security will be provided through:
 - On-site administrative staff and maintenance personnel (caretaker).
 - Artist in-residence or similar program.
 - 24 hour security.
 - Provide a dense natural barrier of thorny or cacti plantings around the Ranch perimeter.
 - Perimeter walls and fencing with secured entrances.
 - Install a high-tech security system to protect structures, furnishings and artifacts.
 - Security and accent lighting will be installed for buildings, roads, entries and walkways.
3. Maintain proper site drainage and conceal drainage structures, or design all new drainage structures to relate to the historic time period of the Ranch.
4. Night-time use will be carefully monitored. Special events that are in keeping with the historic interpretation of the Ranch may be allowed.

5. Tours will generally be on foot and limited to the following:
 - Guided docent tours for small groups.
 - Self guided tours, including audio cassettes.
 - Provisions should be made for a shuttle cart for elderly and disabled visitors, when practical.
6. Miscellaneous operational issues:
 - Control the bird and animal life, especially the peafowl, both on- and off-site.
 - Research and consider all insurance and liability Issues.
 - Size of tour groups allowed - tours of 20 maximum should be considered to maintain intimacy and security. School groups may be larger and shall be separated into smaller groups on-site.
 - A curator is a must to resolve operational issues.
 - Storage of Leo's artifacts, pictures and furnishings.
 - Extent and ease of maintenance at the Ranch.
 - Control of vandalism, graffiti, and fire issues.
 - How to raise or obtain funds for the Ranch operations.



H. Circulation /Traffic *"...here on the Ranch of the Spanish daggers, the past, the present and the future flash their many-prismed mirrors before my eyes.."*

1. Restore and maintain the grand procession roadway and entry bridge from the caretaker's house to the hacienda.
2. Restore the original entry bridge and use it primarily for pedestrians.
3. Limit automobiles to the actual parking area, except for maintenance, delivery, shuttle service, and emergency/fire access.
4. Provide auxiliary access for emergency/service/trash collection and limit operational times for service and maintenance access.
5. Provide pedestrian access that follows the National Park Service (NPS) philosophy and design allowances.
6. Determine disabled and elderly access needs and conform to ADA and NPS philosophies.
7. Provide limited on-site parking for automobiles and buses, including bus access and visitor drop-off.
8. Determine the adequate parking capacity and ideal location for automobiles and buses:
 - Parking on-site is preferred over off-site parking.
 - Coordinate with the San Marcos School District for the use of their school parking lot as an alternate overflow parking site for special events. The City of Carlsbad Safety Center may also be available as an overflow parking site.
 - Some overflow parking in residential areas may be necessary. Coordinate with residents to identify the best locations. Special events should be considered for weekends only so that overflow parking may be available at the school site..



I. Privatization *"...they are crowding me all around with great subdivisions and gentlemen's estates and an airport about seven or eight minutes from the front gate...But I'm not giving up...This is still my retreat."*

1. Obvious commercial uses are not recommended on the Ranch, but organized programs with sponsorships and volunteers should be scheduled throughout the year to foster interest in the Ranch and to help fund maintenance and restoration.
 - Restaurants, bed and breakfast inns, boutiques, etc. are not recommended.
 - Small portable snack kiosks will be acceptable.
 - Wedding events with a limited number of guests are appropriate as fund raisers (the number and types of wedding events needs to be controlled).
 - Art shows, fiestas and social events are encouraged.
 - Gift sales and art exhibits should relate to the Ranch and be sensitively presented.

2. Event venues generate interest, park use by the public, and important funding. Possible events could include:
 - Boy Scout/Girl Scout Camporees
 - Cartoonist day/comic book fair
 - Exotic California landscapes and wildlife studies
 - Famous cowboy days
 - Hawaiian luau celebration
 - Leo Carrillo international day
 - Leo Carrillo parade day
 - Leo Carrillo Ranch motion picture/vaudeville days
 - Leo Carrillo Ranch western/rodeo days
 - Native American and archaeological studies and events
 - Pioneer days and the Spanish-American period
 - Spanish Colonial architecture/building restoration studies
 - Spanish Fiesta/Cinco de Mayo
 - Planes and automobile exhibits, a la "Carrillo Style"
 - Ethnic day

3. Organize special celebrative events similar to what Leo Carrillo did for guests with chuck wagon barbecues, rodeos, and Vaquero riding demonstrations.

4. Develop food specialty events such as ranch barbecues and chili cook-offs.

5. Provide a day conference center or areas for seminars, retreats and parties by corporations or business groups at the Ranch as a funding source.

6. Publicity and marketing are very important and vital to the success of the Ranch, and should include the following actions:
 - Create public-private partnerships.
 - Solicit local and corporate support (Target, Lego and others). Consider support from non-local/ community connections.
 - Develop brochures and informational flyers.
 - Solicit and develop Hollywood and filmland connections and personalities.

3.3 Methods for Interpretive Programs

The layout of the ranch and the structures with the abundance of artifacts will make it easy to interpret the man and the site together.

Visitors will generally arrive at the Ranch by way of four types of travel:

1. Private automobile
2. Tour bus
3. Walking
4. Cycling

It is anticipated that the visitors arriving by automobile and on foot will probably stay on a bit longer, especially if hiking or picnicking. Those visiting by bus will be on a more strict schedule with less time to spend exploring and wandering. In either case, the interpretive theme needs to be told in ways that accommodate both groups in a concise and brief manner and at a leisurely pace.

There are basically seven proposed types of interpretive media that are to be undertaken to express to visitors the story of Leo Carrillo and his Rancho de los Kiotes. They include:

1. *Personal Services*

- The docent led tours will be the most effective method to interpret the Ranch, adding the personal and friendly touch of Leo's personality and lifestyle. There will be two segments to the personally led Ranch tour. One will be the building sites and their historic aspects, the other will be the general ranch site and its natural and ecological features and history.
- Demonstrations - Leo's ranch was a working cattle ranch, therefore these activities should be demonstrated, including handling of horses, blacksmithing, roping, etc. Also, demonstrations should be held in adobe brick making, food preparation, basket weaving, etc.
- Lectures - Provide an account of Leo's life at the Ranch and related events. Discuss Leo's personal history and career.

2. *Self-Guided Tours*

- The visitor will have the opportunity to take a self-guided tour of both the historic structures and the ranch site.
- The self-guided tour will also tell the same story as told by the docents, but will allow for a more leisurely and intimate experience. The self-guided tour will make use of both interpretive signage and graphics, and of personal hand-held audio equipment.

3. *Audiovisual*

The audiovisual sources will include motion pictures, video, slide shows and audio messages. The old movies and videos made during Leo's career, including the Cisco kid adventures, could be shown. The ranch could also host a Leo Carrillo film festival. Videos of horse or ranch activities could be sensitively displayed. Quotes and voice-overs of Leo's writings could be used at certain key interpretive areas.





4. Exhibits

The museum exhibits should be displayed at the various historic structures, and would contain photos, furnishings or other appropriate artifacts. The exhibits at the stables, barn and corral areas would reflect Leo's love of horses and equipment necessary to operate a working ranch.

5. Interpretive Collections and Artifacts

Many of the original artifacts were sold at a family auction. A few have been recovered, but until a secure park facility is provided and in operation, the outstanding items may not come forward. A furnishings or exhibit plan needs to be developed. Any acquisition of collections should be in harmony with the central theme of the interpretive plan and the furnishings plan that proceeds from it.

The artifacts can be categorized into collection groupings, such as original objects, reproduced or simulated objects, or donated objects related to Leo Carrillo or his time period.

A collections security plan and staff educational program should be developed to enable ranch personnel to identify and head off potential areas of risk, such as theft, vandalism, fire, flood or earthquake.

6. Publications, Literature and Brochures

Publications should be developed for self guided tours and events, and should be available at the visitor center and the gift store. These brochures for the self-guided tours should be provided for orientation and historic information, as well as for the nature trails. Reproductions of Leo's books, Western Americana art work or sculptures, and videos of the Ranch could be available.

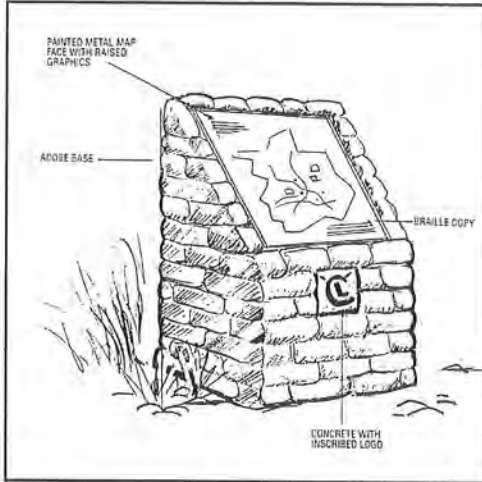
7. Site Interpretive Displays and Exhibits

As the Ranch increases in popularity with visitors and tours, interpretive information about the Ranch and its history will need to be readily available. The main visitor use will be in the summer months (June through September), but the Ranch will be used constantly on weekends and holidays throughout the year.

Providing large amounts and numerous locations of interpretive signs and exhibit panels would take away from the special rural character of the ranch and depreciate the intuitive exploration experience of the visitor. Maps provided by the visitor center should orient the visitor to the site, and therefore decrease the need for excessive signage panels and exhibits. The natural history theme will be presented inside the center, and the guided tours and hiking will have limited signage panels and exhibits that fit into the theme of the Ranch.

There should be a strategic and sensitive placement of directional signs and interpretive materials. Directional signage will be necessary to orient the first time visitor, and would be located around the perimeter of the Ranch at the major points of entry only. The Ranch will provide tour materials with descriptive literature and a simple guide map of the Ranch site. The visitor will also have the option of a self-guided tour, which will be greatly enhanced by the use of audio cassettes or tapes. Individual Ranch areas will be described, with major features identified.





Original promenade

The more one can rely on an open environment, docent and audio assisted tours, and period demonstrations and events, the more pertinent the interpretation will be to the life and times of Leo Carrillo. Only a strong and interesting visitor orientation program will provide success to this interpretive approach.

3.4 The Interpretive Theme

In keeping with the purpose of Leo Carrillo Ranch, the majority of the interpretive focus will be on the life of Leo Carrillo.

The central theme of Leo Carrillo Ranch will be *"The Romance of Early California as seen through the eyes of Leo Carrillo"*.

The interpretive element identifies additional sub-ranch themes that relate to Leo's life, and proposes a variety of appropriate programs and events. These sub themes are based on the assumption that learning deepens the visitor's experience and provides lasting benefits to society.

The five primary sub-themes are:

1. The Orientation to the Ranch
2. The Integrity of the Site
3. The Life and Times of Leo Carrillo at the Ranch
4. Leo Carrillo as a 'Renaissance Man'
5. The Ranch as an Active Learning Center

The Orientation to the Ranch

Initiate the visitor's first impression and experience of the Ranch at the new Ranch entry, entry drive, and parking lot.

- The proposed entry drive experience should reflect the tradition and character of the Leo Carrillo Ranch.

The sense of escape and a return to the past is what Leo wanted his guests to feel. He created a place that had no map, or need to adhere to a strict schedule. The new front gate is the visitor's first peek at how Leo's guests would take a trip back into time. The entry drive from Carrillo Way to the parking lot will replicate Leo's original palm lined promenade that leads the visitor into the hidden ranch site.

- The parking and bus drop-off will provide the first pedestrian orientation for those traveling by motor vehicles. It will be at the high point of the site and provide a generous view of the overall ranch site.
- It should have a secured entry and emergency and service access.
- Private vehicular traffic beyond the parking lot will not be allowed within the Ranch.
- Automobiles and buses will be limited to the actual parking area. Only maintenance, delivery, shuttle service, and emergency/fire services will have access into the site.
- Specifically restore the view corridor to the sea, which Leo Carrillo was most fond.



*Leo Carrillo Ranch (looking west), 1990.
(Photo courtesy of the Los Angeles Times,
Don Bartletti)*

The Integrity of the Site

Maintain the integrity of the original site, including the old entrance and bridge, ranch structures, gardens, pasture, citrus groves, corrals, pool, barbecue area, and open space.

- The hacienda and other structures should be restored with original furnishings, period artifacts and memorabilia.
- The original corral areas should be reconstructed with the original fence design and materials.

The Ranch's primary objective of interpretation is to relate to the public, for its enjoyment and experience, the life and times of Leo Carrillo in the context of the American culture. Since the structures are considered to be historic and of great value to the contextual setting of the Ranch, it is important that the structures continue to be maintained and utilized in "telling the story" of Leo Carrillo.

With the limited artifacts available, a local and nationwide search for possible donors of items received from Leo Carrillo will need to be conducted. Upon acquisition of the objects, each object must be categorized generally into five types of collections:

- Objects obtained from Leo's family that were part of the original gift of the Ranch.
- Reproduction items purchased as supplemental items.
- Objects purchased by and donated to the Friends of Carrillo Ranch or the City of Carlsbad (over the past 20 years) that have a relationship to Leo Carrillo.
- Objects donated or obtained that are representative of Leo's time period or lifestyle.
- Objects and artifacts obtained that represent previous inhabitants of the Ranch site.

The limited present collection of artifacts helps support interpretation and should be housed in the proposed visitor center (caretaker's house) and the hacienda.

The exhibit areas should be curated to assist in developing the furnishing plan for each structure. A collection security plan and a collections risk management plan should be developed to enable Ranch personnel to identify and correct potential areas of risk for the collections, and provide direction in case of theft, vandalism, fire, flood, or earthquake. See the Museum Operations Manual in the Appendices.

The rolling hills and distant views towards the Pacific Ocean were comfortable reminders that the sea was near.

- Preserve and protect all remaining sensitive habitats and view corridors that are within Carrillo Ranch and which Leo Carrillo loved as a boy.
- Retain the "openness" and capture the out-of-the-way, rural feeling by screening views of adjacent development. The only way to maintain the rural feeling that Leo desired is to screen out the development from which Leo attempted to retreat.

The Ranch's plant palette will be made up of plant materials used during Leo's time. The recommended plant materials are included on Tables 4-1 to 4-6.

- Reflect Leo's ranch theme by using indigenous and historic materials.

General commercial uses and facilities on the Ranch are not recommended. However, organized commercial programs with approved sponsorships and volunteers should be scheduled throughout the year to foster interest in the Ranch, and to help with funding of the maintenance and restoration of the Ranch.

The Life and Times of Leo Carrillo at the Ranch

Provide an account of Leo's life and times lived at the Ranch - the people, the country, and related past events through photos, collections, storytelling, and by experiencing this Ranch "alive" through major historical events and interpretive opportunities.

Rancho de Los Quiotes – more commonly referred to today as the Leo Carrillo Ranch – is listed on the National Register of Historic Places. In addition, the Ranch is the only historic site listed as a Registered California Historic Landmark in the City of Carlsbad. The ranch is archaeologically significant to the understanding of Southern California's prehistory; and, it is historically significant as an early 1842 land grant with a unique history.

The surrounding land of the Leo Carrillo Ranch yields important information on the prehistoric inhabitants of Southern California. Artifacts from tribes existing over nine thousand years ago up until twelve hundred years ago can be found in the area of the Leo Carrillo Ranch. The preservation of this prehistory is crucial in a time of rapid growth and land development. The existing remains of the Leo Carrillo Ranch will soon be the only untouched representative of this archaeological history.

Of historical importance, Captain Juan Maria Marron received the Agua Hedionda land grant in 1842. This grant encompassed the land of the present day Leo Carrillo Ranch. Through time, the land became the property of the Kelly family. The Kellys were cattle ranchers of several generations and inhabited the Ranch for over sixty years. In 1882, they built a two story house of which the original adobe lower floor still survives as part of the main house on the Leo Carrillo Ranch. Leo Carrillo purchased Los Quiotes from the Kellys in 1937; and so unfolds a new history of significance.

Leo Carrillo's financial success as an actor provided the means to realize his life-long dream to build a home for himself in the tradition of his California ancestors. To Carrillo, Rancho de Los Quiotes was the product of a lifetime of personal memories he had of similar dwellings. The warm feeling of the adobe blocks, the low, rambling design of the buildings that he personally paced off in the mud, the brick fireplaces, old pepper trees, coyotes, and proud peacocks running about the buildings were all a part of his memories.



Cattle ranching

Carrillo turned his dream into reality. His Rancho de Los Quiotes perpetuated the Spanish California lifestyle. The Rancho was not a reconstruction or mimic of the ranchos built by his forefathers; in his mind, it was their continuation. Carrillo grew up with the stories of his ancestors and their role in California history. The history of Spanish California was the history of his family. At the Rancho de Los Quiotes, Carrillo lived a life in unity with his past, surrounded by the scent of freshly baked bread and the companionship of the hundreds of friends he invited to his famous fiestas. In this way, Carrillo shared the essence of the hospitality and warmth of living for which California was once famous.

Leo Carrillo also recognized the end of the era of the great ranchos. He saw his Rancho de los Quiotes as a final retreat where he could perpetuate his heritage.

Leo Carrillo as a 'Renaissance Man'

Express Leo Carrillo's character and insight as a 'Renaissance man' - whose talents and vocations included actor and TV star, horseman, public steward, ambassador and host; poet and lover of art.

- Hold a vintage or period film festival once a year, or more.
- Develop an outdoor amphitheater for performing art groups and lectures.
- Develop Gymkhana rodeo, and games on horseback, horse barrel rides and races.
- Provide designated areas for temporary art pieces by local artists and develop art exhibits.
- Provide art and artisan classes and exhibits.
- Develop a children's art program.



Studio portrait of Leo, 1942. (Photo courtesy of the Carrillo Ranch Archives)



Adobe brick making



Native American dancer



The Ranch as an Active Learning Center

Establish the ranch as an active learning center, provide tour programs, visitor experiences, and historic demonstrations for visitors, especially children to see a living history of life on a real working, Spanish style, cattle rancho. A living stage!!

Adobe Architecture and Elements/Make actual adobe bricks:

Areas of the rancho will be transformed into an artisan and crafts exhibition area. Children of all ages will be encouraged and have the opportunity to learn the history of adobe architecture and how it has been adopted into the ranch through the influences of Leo Carrillo's family heritage as well as through the Kelly occupation. Children and adults will have the opportunity to construct adobe bricks on site.

California History:

- California history can be well demonstrated by the historic lineage of the Carrillo family and their influence on the land. A specific location should be dedicated to tracing the Carrillo family lineage from Hilario Carrillo through Leo Carrillo, with a special emphasis on the timeline of Leo's Life - W.W.I.
- Cater to educational programs for schools - develop partnerships with school districts and develop curriculum integrating California history, sociology, archeology and the arts by providing school field trips and special school day events.
- Provide "Service Learning". Get children involved to provide services and education at the same time, with ties to science and social studies curriculums. Include programs such as tree or specialty planting programs by the public.
- Provide a book shop or store. Include coloring books showing history (services available) or a collection of historical photos.
- Exhibit working tools/displays used during typical ranch life - saddles, carts, whips.
- Fiestas - dancing and music.
- Animals - part of the lifestyle and scenery.
- Costumes for kids - to wear during tour, (Old Town Tour), given names of characters. Chinese Cook, Ranchhands, Deedie, Leo, Caretaker, Blacksmith, Vaqueros, Mendoza Brothers, Visitans (spiritual visitors such as Gable and Lombard).
- Plant sales and education.

Emphasize the senses of touch, smell, and hearing wherever possible:

- Difference in paving textures/plant materials to help 'cue' or guide the visitor. Allow the visually impaired to feel the leaf or paving texture or smell the plant's fragrance.
- Outdoor cooking during historic demonstrations events to fill the air with fragrant smells whenever possible.
- Sound stations/tapes for the visitor, including visually impaired (Spanish music, animals, crickets, frogs, water, etc.).

3.5 Impact Analysis

The following is a brief analysis of the impact upon the site and interpretive programs of Rancho de los Kiotes by the installation of the following site improvements.



Visitor Center

Site Improvements

Ranch Entrance, Driveway & Parking Lot

Access to the site had to be revised due to the master plan provisions of the adjacent residential development. The disadvantage of this entry means that the visitor will experience a different route than originally intended with some extreme grade changes. A parking lot for 82 vehicles will bring an urban feel to the site. The variable grade changes will require ramping to accommodate disabled access from the parking lot and visually reshape the surrounding hillside than it once was.

However, the new entrance provides security and on-site parking, and affords a view that overlooks the Ranch. The single gate into the Ranch will provide preferred surveillance into the site. A six foot high adobe wall will be built around the perimeter of the Ranch for security. New historic theme-like landscaping will eventually buffer the adjacent development, parking lot and switchback access ramps.

The parking lot will be paved with a non-contemporary looking surface and create a number of convenient access opportunities to the Ranch. A maintenance/service road will provide acceptable fire and emergency access directly to the Ranch structures. A community trail link connects into the parking lot and provides access to both the Ranch and the City wide community trail system. There will also be spaces for school and tour bus parking.

Extension of Paved Areas

The expansion of the patio area behind the back of the hacienda will create additional opportunity and space for entertainment in the cabaña/pool area. An interpretive element to allow weddings, corporate outings and business retreats will assist in funding opportunities and require an increase in hardscape and paving that will emulate the ranch's theme.

Caretaker's Residence

A new caretaker residence will need to be established once the Hacienda and other structures are restored. The garage facility next to the blacksmith shop would make the least impact to the ranch and still provide on-site security. The integration of on-site security and protective surveillance measures should be located in a structure that can be easily utilized by resident staff.

Community Trail System

Trail systems are a favorite amenity to master planned communities. They provide access for neighborhoods, maintenance, connect open spaces and parks and create a safer route without automobiles. The drawbacks are that they are costly to maintain and provide access for the criminal element, including vandals and gangs.

Accessibility Standards

A three step approach is recommended to identify and implement accessibility modifications that will protect the integrity and historic character of historic properties:

Review the Historical Significance of the Property

Review of the National Register Nomination and the Registered California Historic Landmark Nomination packets will be supplemented with the physical investigation of the site in order to identify which character-defining features and spaces must be protected prior to full implementation of the master plan.

For the historic Leo Carrillo Ranch, the construction materials, the early Spanish design and style of the property, the principal elevations, the major architectural or landscape features, and the principal public spaces constitute some of the elements that will be preserved. Every effort will be made to minimize damage to the materials and features that convey the dream of Leo Carrillo Ranch's historical significance when making modifications for accessibility.

Assess the Property's Existing and Required Level of Accessibility

A detailed building survey and accessibility assessment will need to be provided in order to thoroughly evaluate accessibility at Leo Carrillo Ranch. The survey should be made with representatives of the local accessibility communities to both educate and work out acceptable solutions for accessibility for persons with disabilities. The survey will identify accessibility barriers in the following areas: building and site entrances, including bridges; surface textures, widths and slopes of walkways; parking; grade changes; size, width and configuration of doorways; interior corridors and path of travel restrictions; and public toilets and amenities.

Title 24, CAC will be reviewed carefully before undertaking any accessibility modification. The Americans with Disability Act Accessibility Guidelines (ADAAG) is the document that will be consulted when complying with the Americans with Disabilities Act (ADA) requirements. In addition, Preservation Brief 32 National Park Service can provide alternative solutions.

Identify and Evaluate Accessibility Options within a Preservation Context

Solutions will provide the greatest amount of accessibility without threatening or destroying the integrity of materials and features that make the Ranch significant.

Modifications to improve accessibility will be based on the following:

1. Making the main or a prominent public entrance and primary public spaces accessible, including a path to the entrance;
2. Providing access to goods, services, and programs;
3. Providing accessible restroom facilities; and
4. Creating access to amenities and secondary spaces.

All proposed changes will be evaluated for conformance with the Secretary of the Interior's "Standards for the Treatment of Historic Properties," National Park Service, which were created for property owners to guide preservation work. These Standards stress the importance of retaining and protecting the materials and features that convey a property's historical significance. Thus, when new features are incorporated for accessibility, historic materials and features should be retained whenever possible.

Accessibility modifications will be in scale with the historic property, visually compatible, and, whenever possible, reversible. Reversible means that if the new feature were removed at a later date, the essential form and integrity of the property will be unimpaired. The design of new features will also be differentiated from the design of the historic property, so that the evolution of the property is evident.

For example, the entrance to Leo Carrillo's Hacienda require the visitor to step over a 4" concrete curb. As the visitor makes a conscience attempt to look down, the following words appeared carved in the concrete "Su casa, mi casa, Amigo". This unique message to the visitor was an intentional design by Leo Carrillo and is an important architectural feature to the Ranch. In addition, the raised curb diverts water from entering the courtyard during storm conditions. However, wheelchair access is not possible. Therefore, this important detail must be evaluated through a series of options for preservation:

Option 1:

Provide a ramp to either side of the curb for a distance of four (4) feet. The ramp would be made of concrete and not exceed a slope of 1:20 (5%). A drain pipe would need to be installed under the ramp to allow water to flow during storm conditions. This modifications would be reversible although it visually affects the main entrance to the Hacienda.

Option 2:

Lower the curb at this section to allow wheelchair access. A drainage grate would be installed in front of the lowered curb to catch rain water. This modification is not reversible but allows the visual integrity of the main entrance to remain.

Option 3:

Leave the curb as is and provide an alternate route to the north side of the Hacienda. This design would be easily performed with flagstone and allow the visitor to enter the veranda directly adjacent to the living/kitchen wing. The courtyard is also accessible through this northern route.

There are over 100 conditions of this type throughout the Leo Carrillo Ranch and each one would need to go through a similar evaluation once a visitor's program is established by staff. All consultations should involve members of the local accessibility community.

Americans with Disabilities Act (ADA) Access Ramps

A unique characteristic of the site is the various grade changes that portray the difficult and harsh land. However, equal accessibility needs to be addressed at all public facilities, as noted above. This requires a considerable amount of rampways at the caretaker's cottage (visitor orientation building) and Deedie's house (arts and culture center). The ramps are conceptually planned to be without handrailings, meaning that they cannot exceed 5% slope. This unfortunately increases the amount of rampways and switchbacks, and reduces the visual integrity of the ranch.



SECTION FOUR

MASTER PLAN RECOMMENDATIONS



SECTION FOUR • MASTER PLAN RECOMMENDATIONS

4.1 Introduction

This section provides an overview of the findings and recommendations associated with the site plan, research resources, architectural program and interpretive program.

4.2 Site Plan Recommendations & Guidelines

Objectives:

The proposed site plan responds, with some adjustments based upon the recent encroachment by suburban development, to the original Ranch configuration, as Leo himself had designed. The main Ranch entrance will be relocated to come off of the new Carrillo Way. Obviously, this is not the original entrance that Leo used. The original entrance was eliminated due to the widening of Palomar Airport Road, the loss of ownership of adjacent land, and the steep topography of the site. However, the interpretive program, through careful routing by docents, will still allow the visitor to experience the original "old entrance bridge" into the Ranch.

The site plan responds to the requirements of the interpretive plan which envisions a parking lot, including space for school bus parking. It also provides a link with the City wide community trail system that allows school and neighborhood controlled access to the Ranch and unimpeded access around the Ranch perimeter.

The plan calls for better site identity, improved access and service patterns, amenities for the interpretive program, and functional relationships throughout the Ranch.

The site plan objectives are to:

1. Restore the character and configuration of the Ranch as developed by Leo Carrillo in the period of the 1930s-1940s.
2. Provide accommodations for increased visitor capacity and required access, security and support services; while minimizing changes to the character, resources and visual quality of the site.
3. Provide interpretive program facilities and site improvements that are complimentary and responsive to the character of the Ranch and the life and times of Leo Carrillo.
4. Encourage recreational activities such as exercising, hiking, walking, picnicking, sightseeing and nature watching by providing elements such as open lawn, picnic amenities, hiking and nature trails, and natural open spaces outside the historic zone.

Figure 4-1 provides a summary of the master plan recommendations.

Access and Circulation

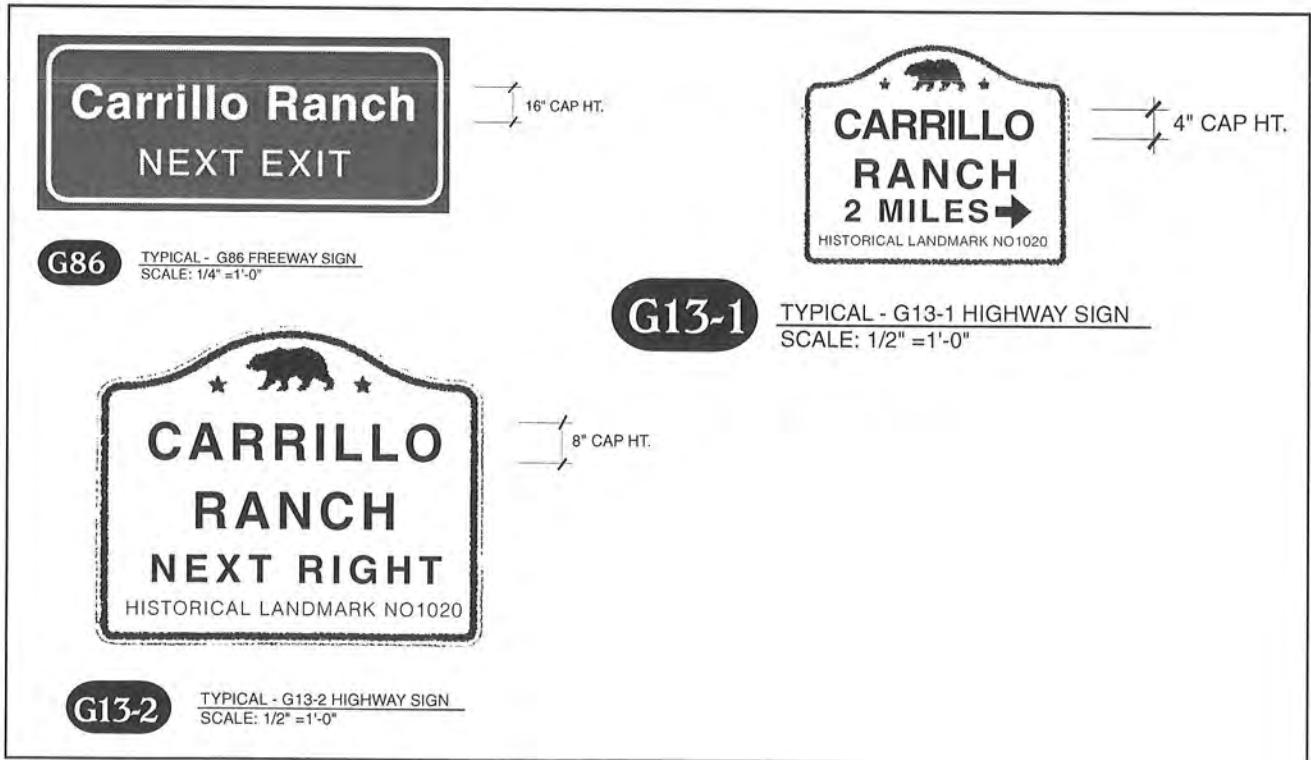
Ranch Access:

Visitors to Leo Carrillo Ranch can access the Ranch from both Interstate 5 and State Route 78. From I-5, the visitor will proceed east on Palomar Airport Road, past El Camino Real, turning south on Melrose Drive and continuing to Carrillo Way. From SR 78, the visitor will proceed south on Rancho Santa Fe Road, go west on Palomar Airport Road, turning south on Melrose Drive and continuing to Carrillo Way. Once on Carrillo Way, the Ranch entrance will be distinguishable by its theme landscaping and tall majestic Queen Palms, reminiscent of the Leo Carrillo Ranch original entrance.

Figure 4-2 • Off-site directional signs



Figure 4-3 • Typical Freeway & Highway Signs





LEGEND

- A ~ Project Entry
- B ~ Ranch Perimeter Streetscape
- C ~ Tour Staging Area
- D ~ Parking Lot Area
- E ~ Caretaker's Cottage / Visitor Orientation Center
- F ~ Open Space Area
- G ~ Main Hacienda
- H ~ Main Social Events Area
- I ~ Living History Area
- J ~ Deedie's House
- K ~ Main Courtyard
- L ~ Landscape Buffer
- M ~ Informal Picnic Area
- N ~ City Wide Trail System
- O ~ Community Trail System
- P ~ Conquistador Cross
- Q ~ Old Bridge
- R ~ Orchard
- S ~ Botanical Garden
- T ~ New Caretaker's Residence
- U ~ Wood Barn Theater
- V ~ Small Amphitheater
- W ~ Riparian Area

PROPOSED MASTER PLAN

LEO CARRILLO RANCH

City of Carlsbad

Figure 4-1

Off-Site Signage:

The visitor will be directed and guided to the Ranch by numerous freeway and highway directional signs, located as shown on Figure 4-2. These signs, as shown on Figure 4-3, are approved by Caltrans.

Site Signage:

All on-site signage will reflect the heyday of Leo Carrillo's activities on the Ranch. The materials, colors, graphics, and treatments of signs will be as though commissioned by Leo, himself, such as the 1930s image of signs considered appropriate to an authentic working ranch.

The sign materials include adobe, rusted steel, ranch artifacts, and wood lightly sandblasted and stained for a weathered look, sometimes with elaborate zigzag end cuts. Typography should be simple hand lettering styles only, surface painted, slightly faded using white, black or red enamels on lightly stained wood, or on a white enamel background. All visible fasteners and hardware should conform to that period and style. The "flying Leo Carrillo" brand should be ubiquitous.

Interpretive signage at archaeological sites should include Native American language, as well as English.

The site signage program will include entry signs, directional and informational signs, and regulatory and warning signs. The sign locations are shown on Figure 4-5. Figures 4-4 and 4-6 through 4-11 show examples of recommended signage details.

Figure 4-4 • Entry Signage

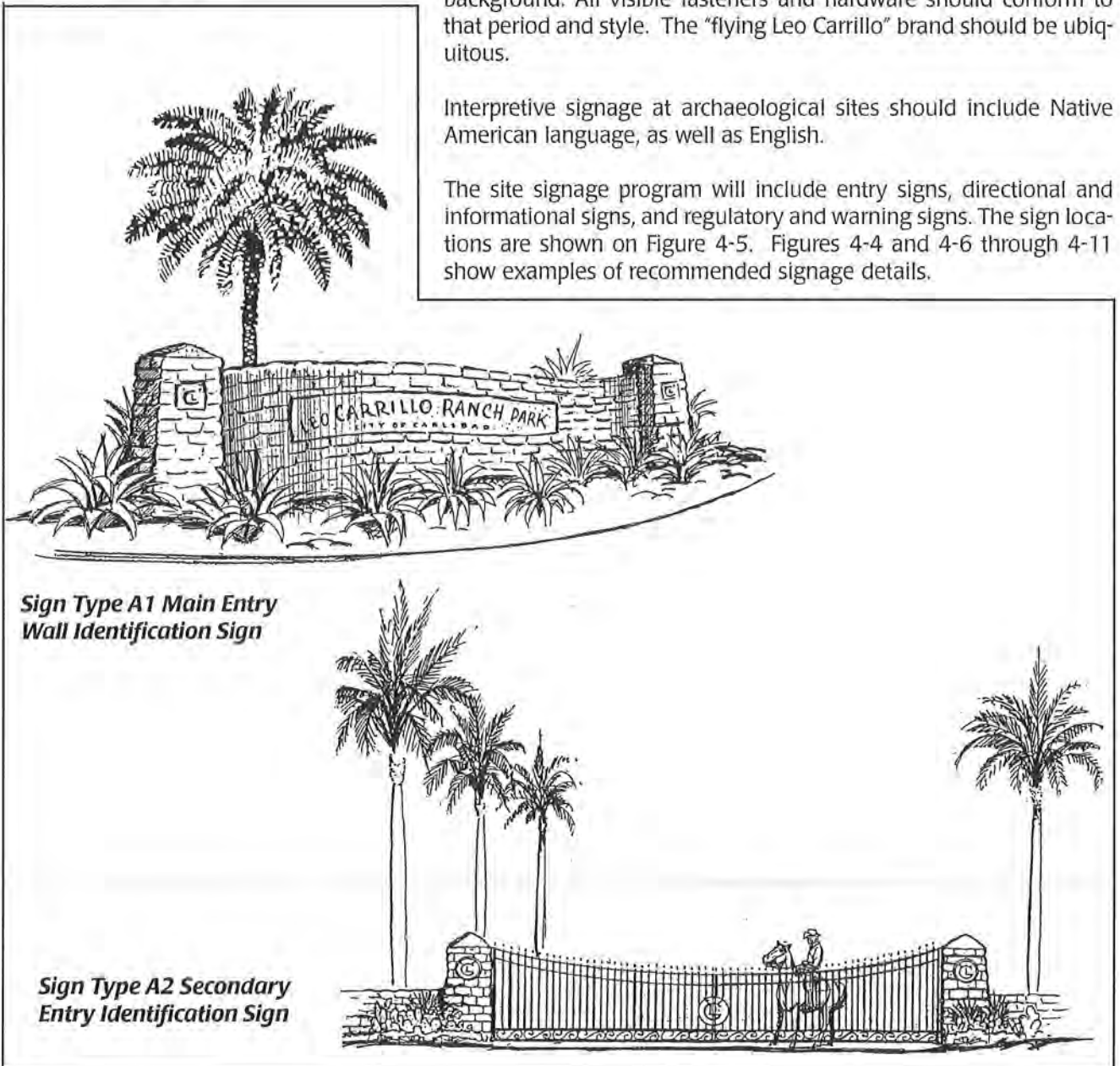
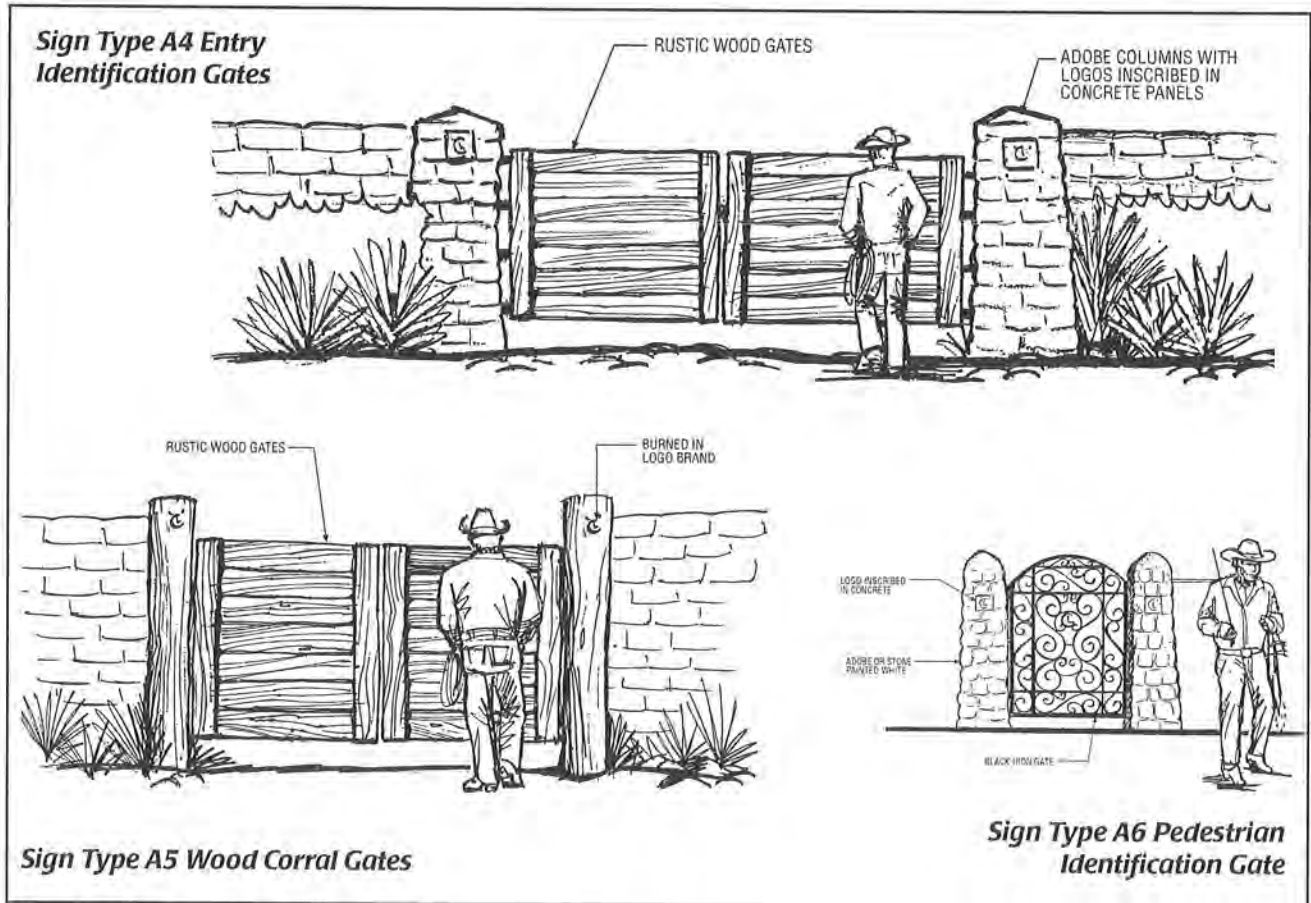


Figure 4-6 • Pedestrian signage



Figure 4-7 • Gates

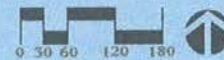




ON SITE PERMANENT SIGNS

- A1 ~ Main Entry Wall Identification
- A2 ~ Secondary Entry Identification
- A3 ~ Pedestrian Entry Identification
- A4 ~ Entry Identification Gates
- A5 ~ Wood Corral Gates
- A6 ~ Pedestrian Identification Gate
- A7 ~ Historic Ranch Identification Sign
- B ~ Building/Area Sign*
- C ~ Interpretative Sign*
- D ~ Pedestrian Directional Sign*
- E ~ Overall Site Map Sign*
- F ~ Interpretative Plant ID Sign
Qty: approx. 20 (not shown)
- H ~ Historic Monument (existing)
- S ~ City Park Rules
- T ~ Stop Sign
- U ~ Parking Regulatory Sign
- V ~ Handicapped Parking Stall ID Sign
- W ~ Restroom Sign*
- X ~ Disabled Access Symbol

* Include braille and/or alternative solutions to accommodate visually impaired (per ADA)



PROPOSED SIGN PLAN

LEO CARRILLO



City of Carlsbad

Figure 4-5

Figure 4-8 • Informational/Directional Signs

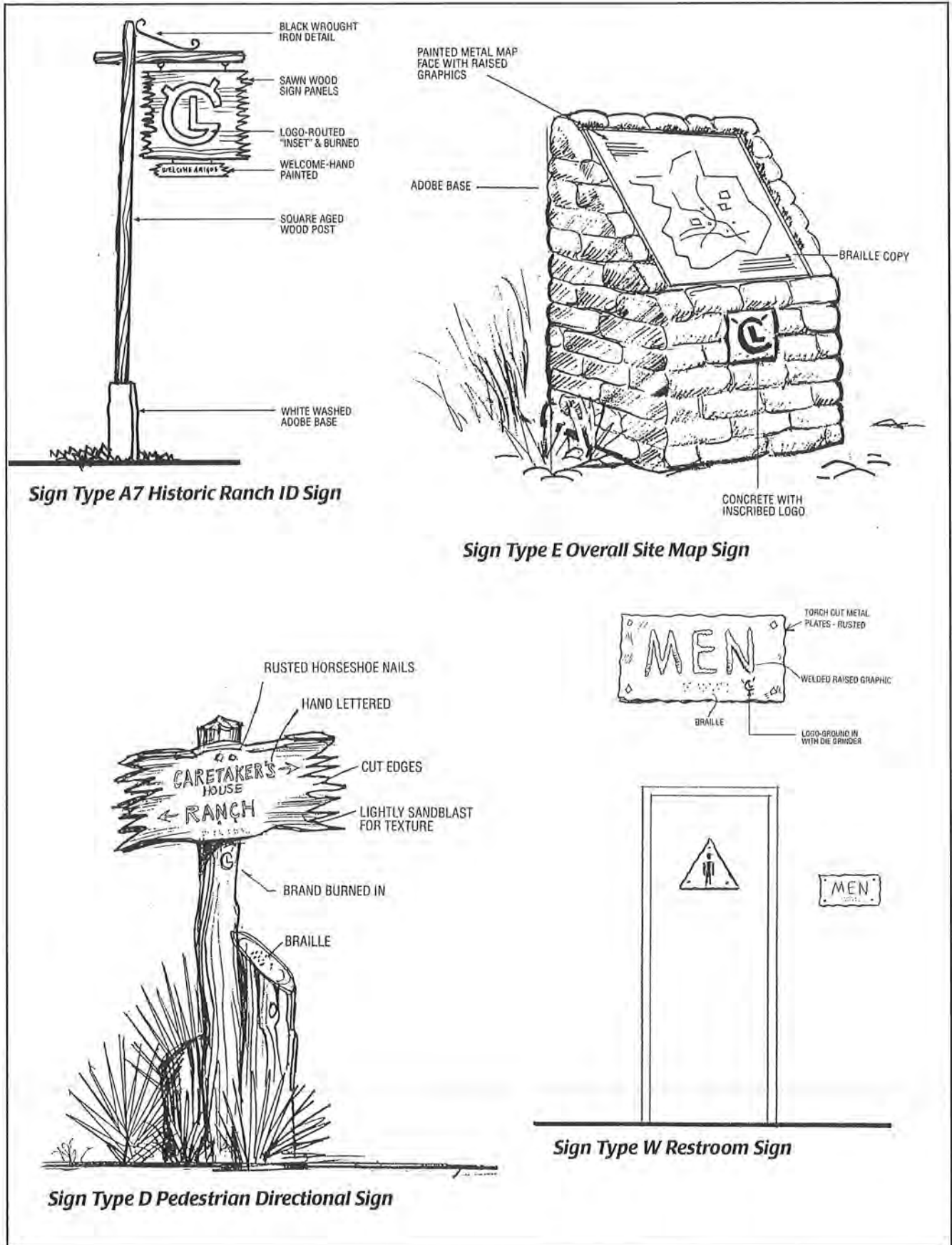


Figure 4-9 • Building/Area Signs

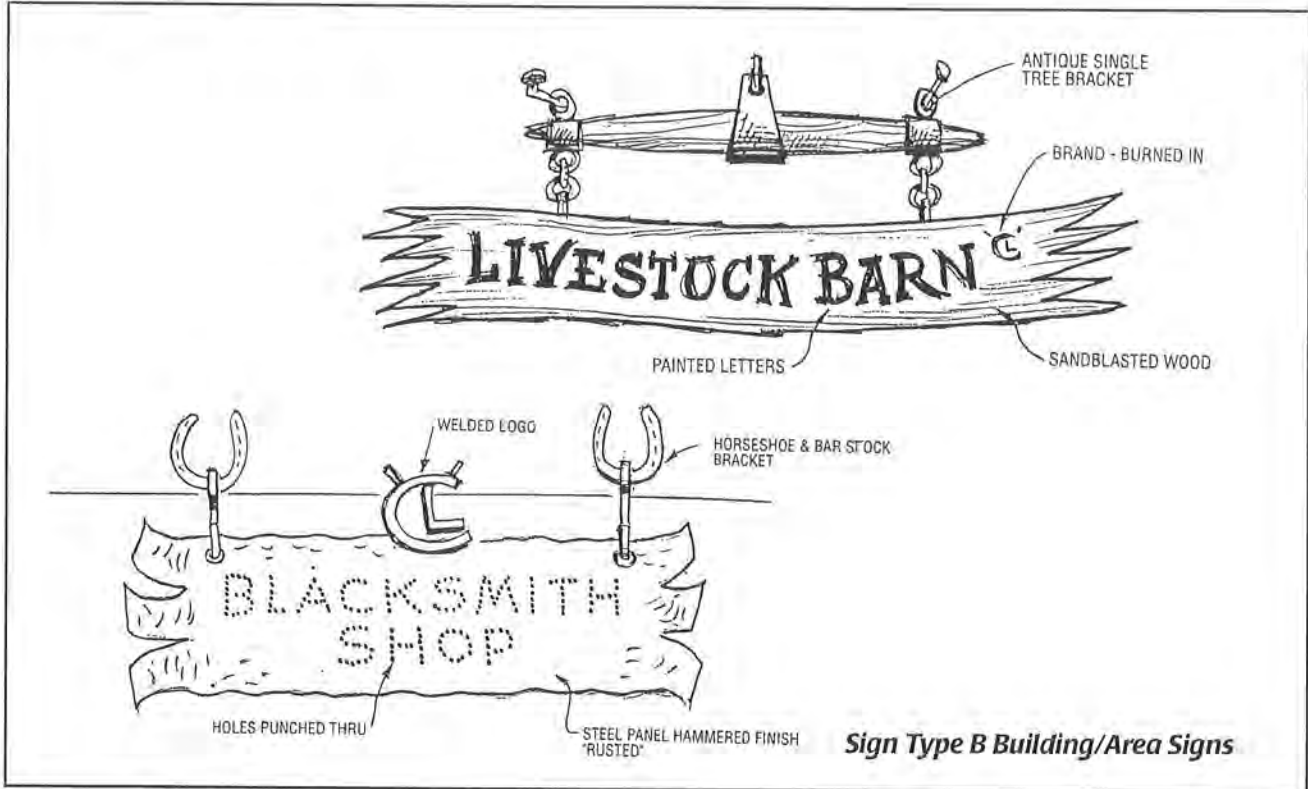


Figure 4-10 • Building/Area - Interpretive Signs

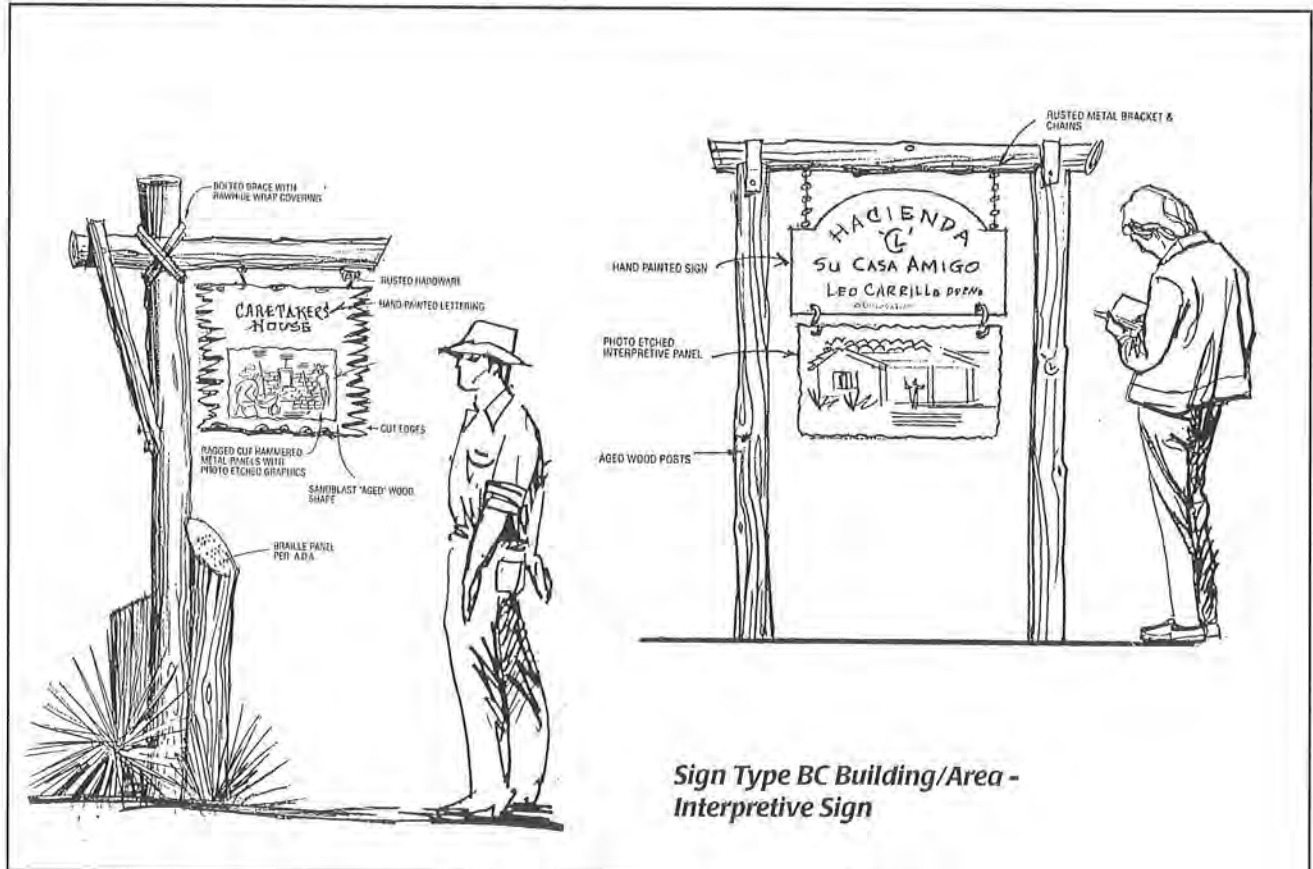
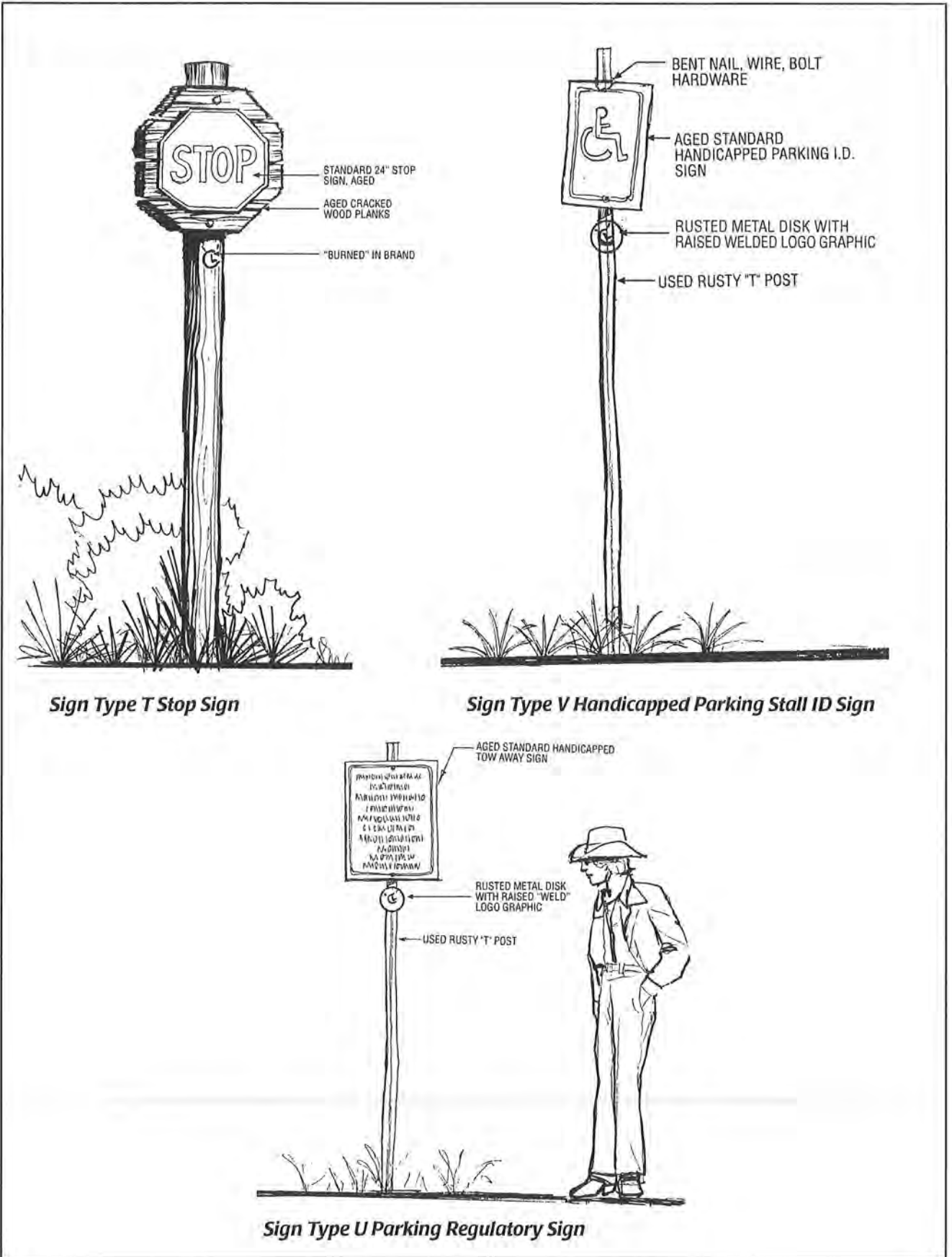


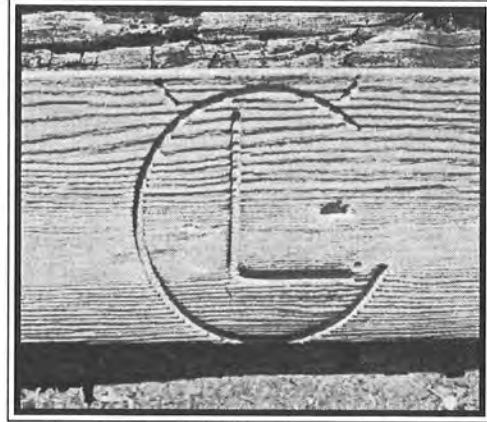
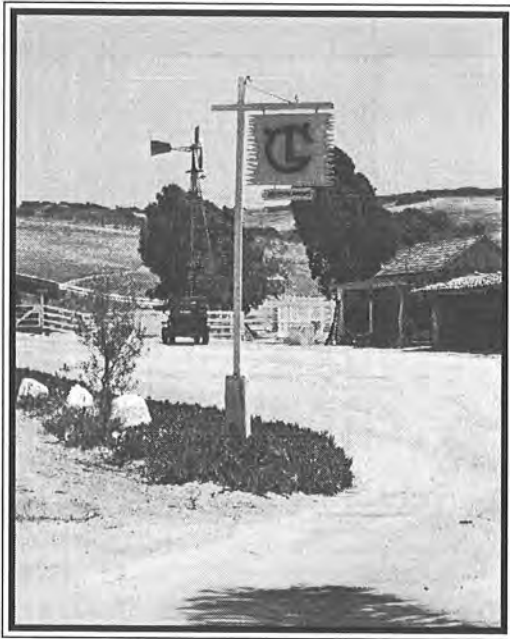
Figure 4-11 • Regulatory Signs



CARRILLO RANCH



THE 'FLYING L-C RANCH' BRAND WITH THE PROPOSED STANDARD LOGO TYPE



*Leo Carrillo Ranch Signage - Historical Examples
Circa 1940s and 1950s*



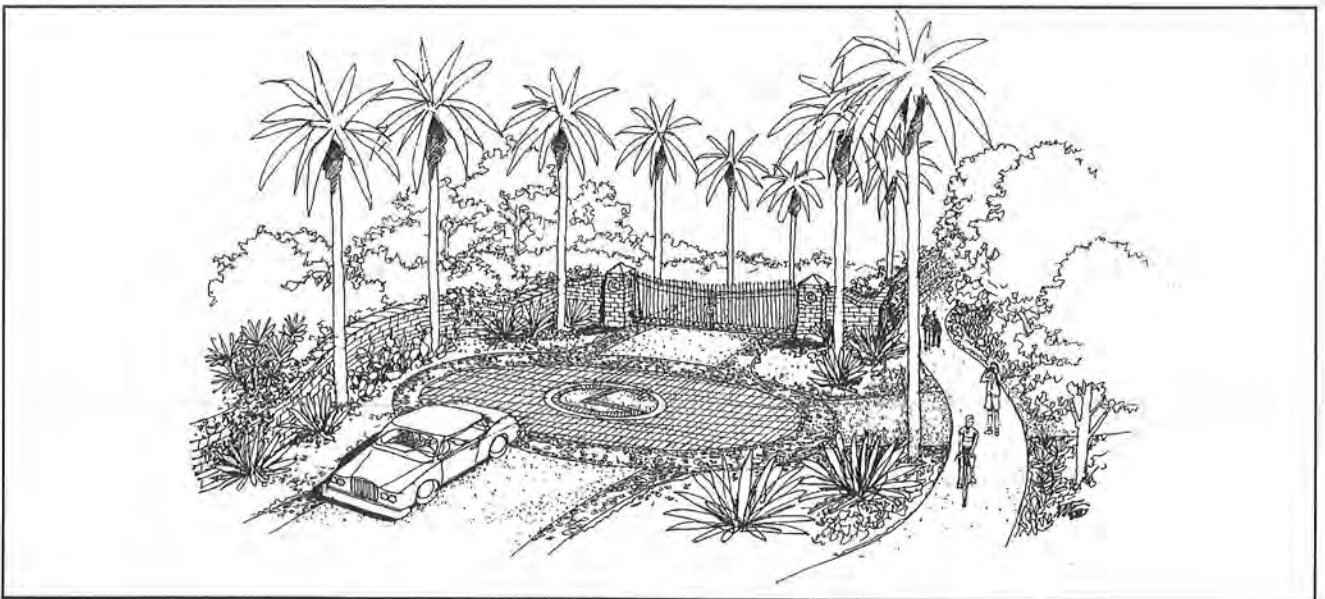
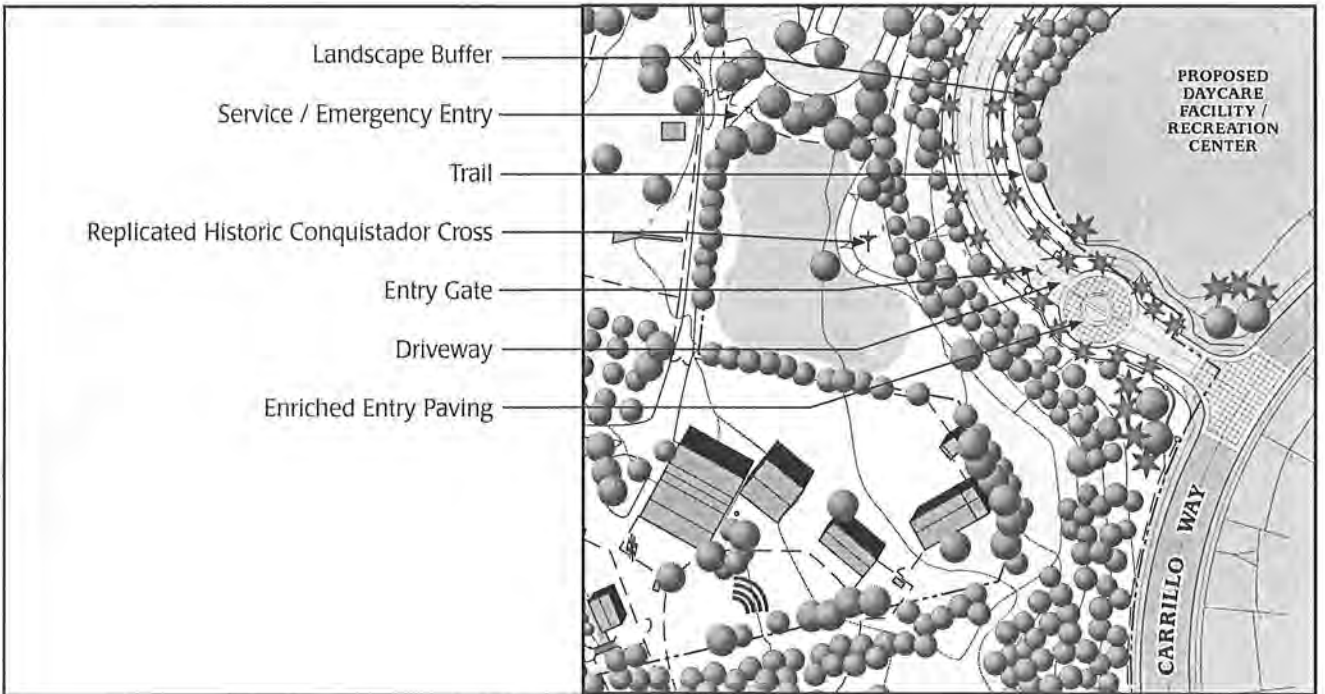
Site Circulation

Arrival and Exit:

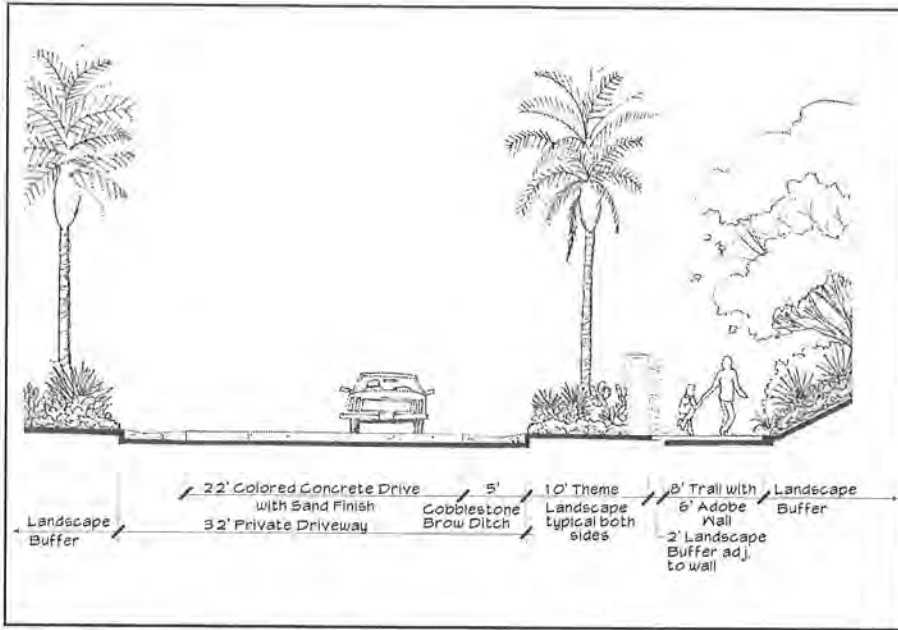
The goal of the visitor circulation plan, Figure 4-13, is to create a genuine and clear route for visitors to enter and exit the Ranch and to move logically throughout without confusion.

The Leo Carrillo Ranch vehicular access will be by a uniquely paved entrance off of Carrillo Way. A separate community pedestrian and bike trail will run parallel and separate from the entry drive. The trail will continue to the northwest, south of Melrose Drive, outside of the park security wall, to provide a continuous access to the City trail system. The layout of the Ranch entry is shown on Figure 4-12.

Figure 4-12 • Ranch Entrance



Sketch of main gate



Section of entry drive and trail

The main private entry drive will be paved to the entrance of the parking lot, reflecting the theme of Leo's original promenade and providing an illusion of a narrow roadway. The actual paved width of the driveway will be 32 feet. To visually narrow this driveway, 5 foot wide exposed aggregate (cobblestone) concrete bands will be incorporated along both edges of the road, with one side constructed as a swale for drainage. The interior 22 foot wide drive surface material for vehicles will be a textured colored concrete. The enriched paving at the front gate entrance will be constructed by the adjacent developer and will be stamped colored concrete in a flagstone pattern.



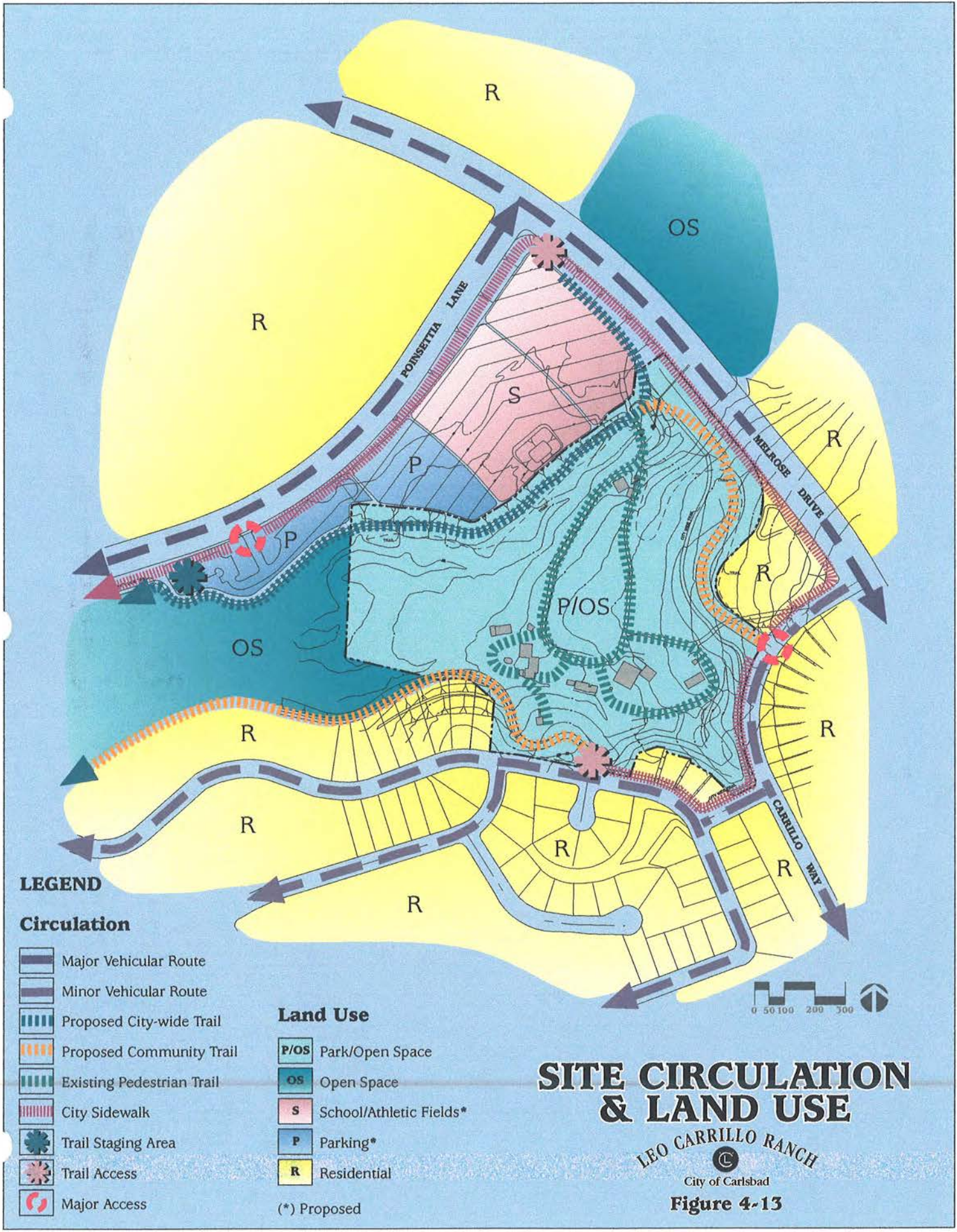
This main entry will be bordered by adobe walls with entrance signage, and will culminate with a black iron entry gate, supported by large adobe pilasters. Upon entering the gateway portal, vehicles will descend the winding, palm lined promenade to the parking lot area. Special theme landscaping will welcome visitors as they first enter the Ranch.

All vehicular traffic will exit through the same drive and gate, which will simplify circulation and minimize confusion. School and tour buses will also enter at this gate, and park on the upper portion of the lot. During special events and peak visitor times, buses may be redirected to park at a nearby school site or other available sites.

Visitor Sequence, Capacity and Pedestrian Routing:

There are basically three routes of entry to the Ranch site, as shown on Figure 4-14, Visitor Sequence:

- 1 • The main visitor pedestrian entrance is located at the northeast corner of the parking lot where a prominently marked trail begins its descent to the base of Melrose Drive. This entry point accommodates safe and easy loading and unloading of passenger vehicles and buses. To maximize the Old California rancho history experience, signage will direct individuals, groups and docent-led tours to the "old bridge and weir".
- 2 • The second visitor entry is located to the west of the main pedestrian entry. This pathway is designed to meet ADA requirements.
- 3 • A third entry at the southwest corner of the parking lot provides a shorter, more direct route to the caretaker's cottage/visitor center. This will be used primarily during major events when open, expedited circulation is desirable.



LEGEND

Circulation

- Major Vehicular Route
- Minor Vehicular Route
- Proposed City-wide Trail
- Proposed Community Trail
- Existing Pedestrian Trail
- City Sidewalk
- Trail Staging Area
- Trail Access
- Major Access

Land Use

- P/OS Park/Open Space
- OS Open Space
- S School/Athletic Fields*
- P Parking*
- R Residential

(*) Proposed

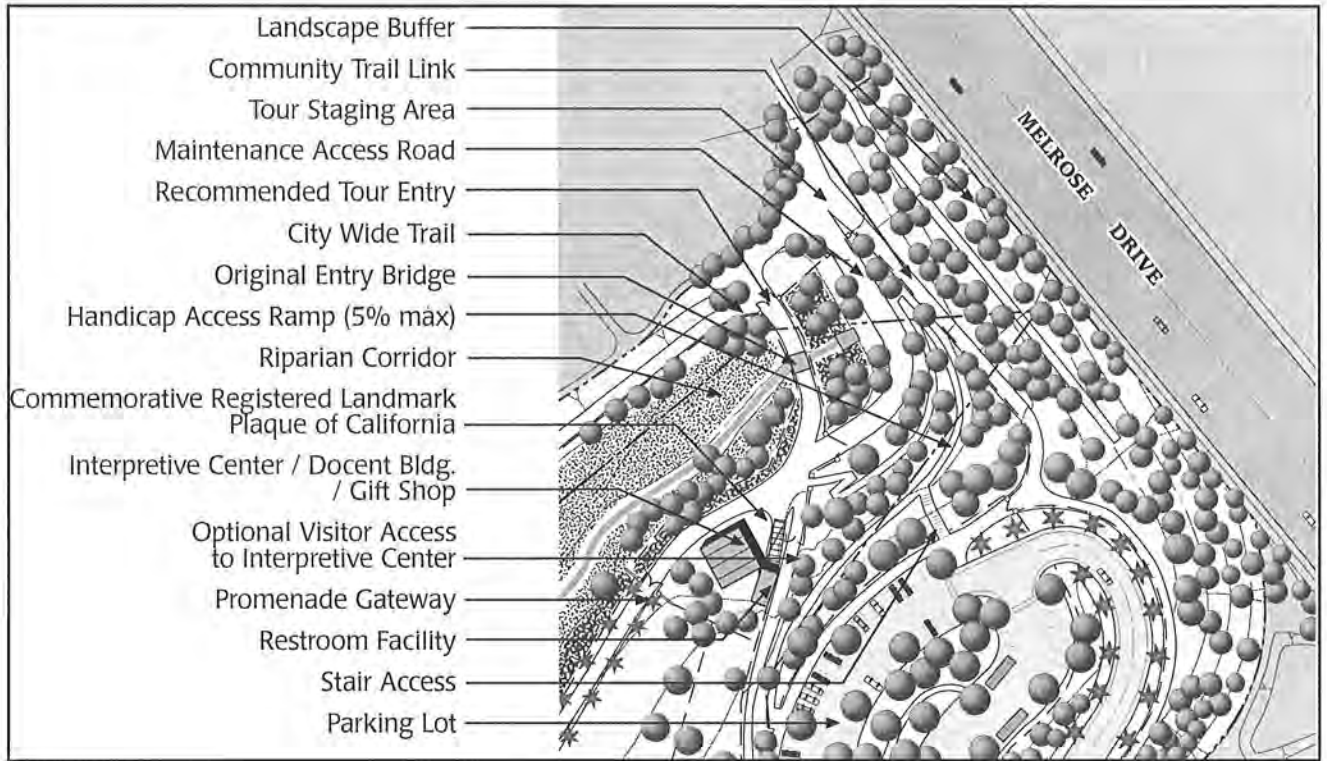
SITE CIRCULATION & LAND USE

LEO CARRILLO RANCH

City of Carlsbad

Figure 4-13

Figure 4-14• Visitor Sequence



As a general rule, the tour groups should be kept small (ten or less). The maximum size of the tour groups should not exceed 20 people at any one time, except for school groups. The tour groups should be 15 minutes apart to maintain communication with the docent. School class programs and tours may require special accommodations.

The ultimate visitor capacity and flow should be carefully monitored and re-evaluated annually for refinement.

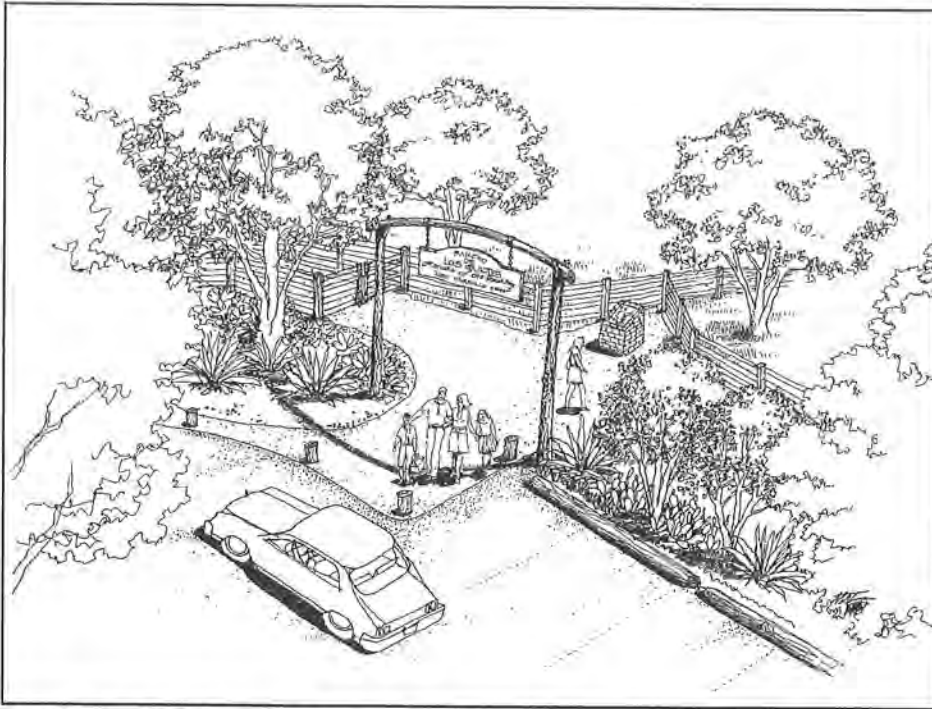
Recommended routing plans for docent led tours through the main historic areas are:

1 • Starting from the Parking Lot

The docent would lead the tour from the parking lot down the trail to the base of Melrose Drive, perhaps with Native American exhibits along the way, make two left turns, pass through the restored stone entrance pillars, cross over the old bridge, observe the weir to the left, and proceed to the caretaker's cottage/visitor center at the oblique right. The portion from the entrance pillars to the caretaker's cottage is all that remains of the original route used by Leo Carrillo, his family, friends and celebrity guests when arriving at the rancho. From here, the promenade gateway beckons ahead.

2 • Starting from the Visitor Center

Under some circumstances, it may be convenient to first assemble at the caretaker's cottage/visitor center, turn back and traverse the maintenance roadway to visit the restored entrance pillars, and cross the old bridge and weir; then proceed to the original promenade gateway.



Sketch of pedestrian entry at the parking lot

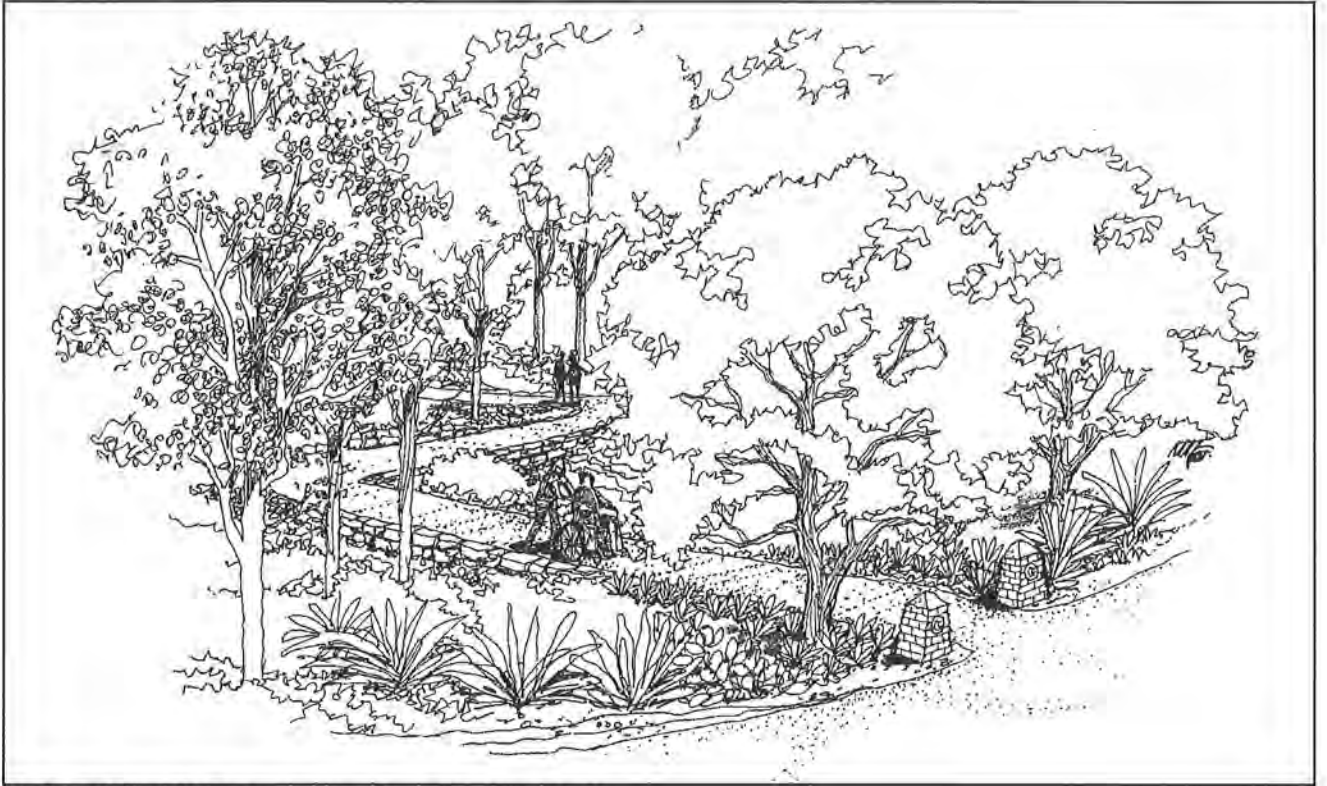
Both tours would then take following route:

- Proceed down the promenade to the hacienda and its courtyard, continue to the rear yard and cabaña/pool area, go past the barbecue and the wash house courtyard, then return to the courtyard of the hacienda.
- From the hacienda courtyard, proceed to Deedie's house and return to the main operations courtyard, continuing past the ramada.
- Continue to the cantina, carriage house, toolshed, and granary buildings.
- Proceed to the bull pen, corrals, and stables, and then up the hill to the wood barn.
- Continue to the blacksmith shop and storage shed.
- The tour continues through the orchard, with views of the water tank and pasture area.
- Return to visitor center and gift shop via the original promenade.



Sketch of old entrance bridge

Disabled persons would be unable to utilize this exact route due to grade changes at the hacienda, Deedie's house, and the blacksmith shop/equipment shed. Special considerations and routing will be given to disabled persons to insure that all of the facilities are visited or viewed. (Figure 15, Proposed Disability Routing Plan.)



Sketch of disabled access ramp down to visitor center



Accessibility Standards:

The acceptable compliance for providing access for disabled persons is to do so without utilizing minor or 'backdoor' entrances and facilities.

As a main entrance for handicap access, a ramp system is provided from the parking lot to the Visitor Orientation Center. A similar type of ramp system is also provided for main access to Deedie's house. In the Hacienda and Cabana/Pool entertainment areas, some redirection or slight modifications for disabled access is unavoidable due to the severe grade changes and stepped areas.

Several other areas cannot be made accessible without major reconstruction, due to the existing terraces and slopes, which would destroy or seriously impact the original composition and character of the ranch grounds. These areas include:

- Stables and Wood Barn
- Toolshed and Granary Structures
- Blacksmith Shop
- Equipment Shed
- Storage Shed
- Some Areas of the Pasture and Corral
- Some Areas of the Botanical Garden and Meadow

To accomplish disabled and elderly access, alternative methods to access the more difficult areas would be utilized, such as small electric carts to assist in transporting the elderly or disabled persons. During special events, additional transports, such as haywagons, carriages, or farm vehicles could also be utilized.

Emergency and Service Access:

All emergency, service and maintenance vehicles will have direct access to the ranch through a gate located adjacent to the entry trail in the visitor's parking lot, and along the main service drive to the structure. All major deliveries would be expected to use this same route. A second and similar gate for emergency and maintenance is provided near the old entry bridge for access from the community trail.

A trash receptacle will be located in the visitor's parking lot so as to avoid large, noisy trash vehicles access within the center of the ranch. This bin will be visually unobtrusive and compatibly designed to match the ranch theme.

Maintenance vehicles within the ranch are to be used for garden and grounds maintenance and could be farm vehicles or small electric carts. These vehicles would also be used for transporting event equipment and furnishings, artifacts or supplies from area to area. This service gate will be wide enough to accommodate larger trucks that will transport animals and equipment.



Staff and Security Access:

Staff or security will sometimes need to circulate through areas of the ranch where visitors are not allowed. The typical staff person might be a maintenance, security, or service person that would need to access certain parts of the site or buildings to accommodate their activity or work. Auxiliary drives, pathways and special gates are recommended. Staff should internally coordinate and schedule their access needs that would be required during visiting hours, special events and programs.



Parking

Visitor Parking:

The goal of the proposed parking is to maximize onsite parking, without seriously impacting the historic areas and tranquility of the ranch, as shown on Figure 4-16, Ranch Parking. The current size of the parking lot is 78 standard car stalls and 4 handicap spaces. The lot is made up of two parking areas, upper and lower, with a portion of the upper area available for two school or tour bus parking spaces when required. If visitor numbers are expected to increase during special events and programs, additional buses could be directed to park at nearby schools or other facilities after their passengers have been unloaded at the ranch entry. Events and programs that generate a high parking demand will need to rely on the management to utilize shared ride strategies such as shuttles, valet services, and on-street parking. These types of parking issues would need to be addressed by the ranch staff management, as the ranch programs and use progresses. Any effort to increase the on-site parking would be destructive to the historic and visual character of the Ranch.



LEGEND

-  Accessible Path of Travel
-  Assisted Path of Travel
-  Accessible Toilet Facilities
-  Accessible Parking
-  Entry to Buildings/Pathways



PROPOSED DISABILITY ROUTING PLAN

LEO CARRILLO RANCH

City of Carlsbad
Figure 4-15

Staff Parking:

Ten on-site parking spaces will be provided for park staff. These spaces will be specifically signed and controlled.

Overflow Parking:

The overflow parking for large annual events could take place at the adjacent school site or the City of Carlsbad Safety Center.

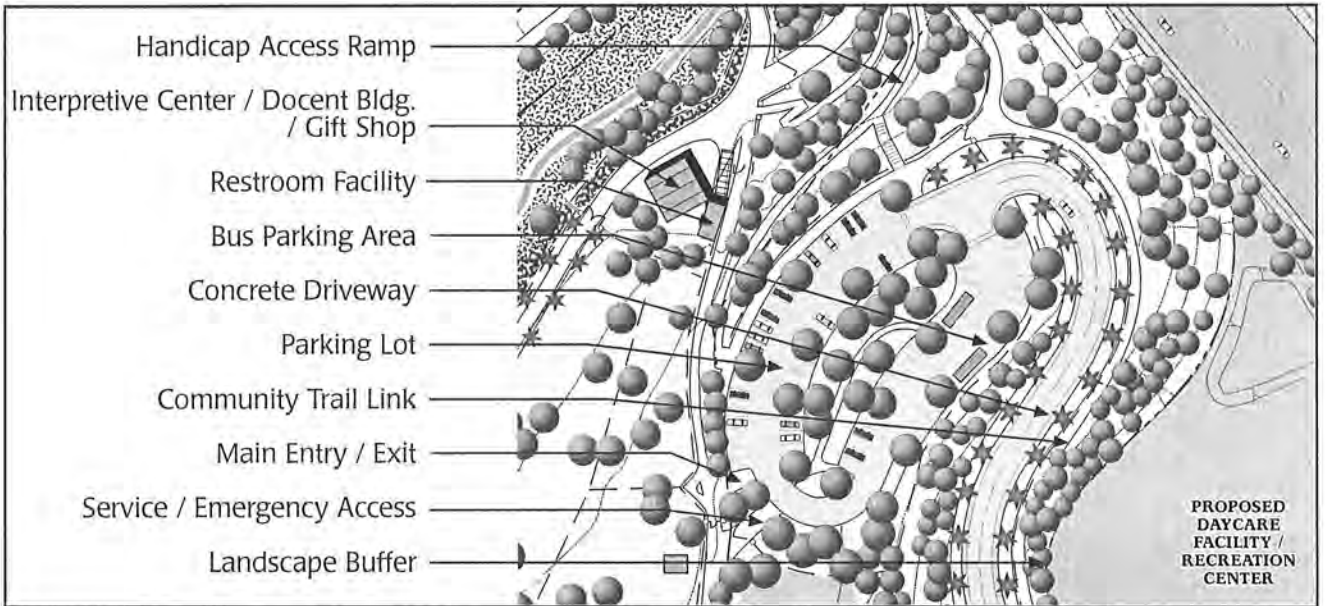
Paved Parking Lot Guidelines:

The main parking lot will be graded and built in conjunction with the entry drive from Carrillo Way. The surface treatment of this parking lot shall be a resin modified emulsion pavement: a material that resembles the appearance of a natural soil. This emulsion is mixed with aggregate and soil materials to produce a compacted pavement surfacing that retains the natural appearance and coloration, and provides exceptionally high pavement stability measurements.

In general, edging material should be discouraged. If any edging material is used between the paving, trails and planting areas, it should be obscure and irregular. Colored concrete, adobe block, or wood headers should be set flush and eventually hidden by the ground-cover.



Figure 4-16 • Ranch Parking



Visitor Center & Support Services

(formerly the Caretakers Cottage):

It is desirable to have a visitor center that is highly visible and easily located. The visitor center is a convenient place where arriving groups and visitors can receive directions, information, gifts, meet docents, and obtain orientation materials. It is a fitting experience to start the tours at the visitor center and proceed onto the grand promenade of the ranch as Leo originally had intended. The interior of the center will include a reception area, docent offices, work space, storage space for interpretive displays, artifacts and an assortment of gifts, souvenirs, and books that are relative to the Ranch. Figures 4-17 and 4-18 show the visitor center floor plan and elevations.

The center will include a large scale model of the master plan for the Ranch site. A number of wall exhibits and historic photographs will display the history and layout of the site and outlying buildings. These visual displays will introduce the visitor to the geographical features of the Ranch and educate the visitor to the changes to the Ranch during its historic periods and dates. The current caretaker's cottage is the obvious structure that meets these requirements for the visitor center.



Wood Barn/Theater:

The center will also have support service areas, such as the theater barn, which will be modified to accommodate a professional audio visual and projection room and non-fixed visitor seating for about 50-60 people maximum. As a support facility, the barn structure can provide the visitor with audio visual sources that can be used to further convey the Leo Carrillo story at the Ranch. These resources include motion pictures, slide shows and videos. Figure 4-19 shows the floor plan and elevation for the wood barn.

Public Restrooms:

The Ranch will have appropriate restroom facilities located in subtle but easy to access and to find areas. These areas should be disabled accessible, visually unobtrusive and compatibly designed to match the architectural style of the Ranch. All restrooms will be modern structures internally, including the plumbing system. There are three restroom locations provided for use by the general public, as shown on Figure 4-20. The restrooms will be located:

- 1 • In the garage at the visitors center
- 2 • Behind the cabaña
- 3 • Inside the chicken coop, next to the granary

Ranch Furnishings, Details and Utilities

These items include necessary utilities, equipment or materials that are part of the ranch scenery, but are not a building or structure. The Ranch did have a number of unique and interesting furnishings and materials. The following items are recommended to be incorporated in a authentic and sensitive way:

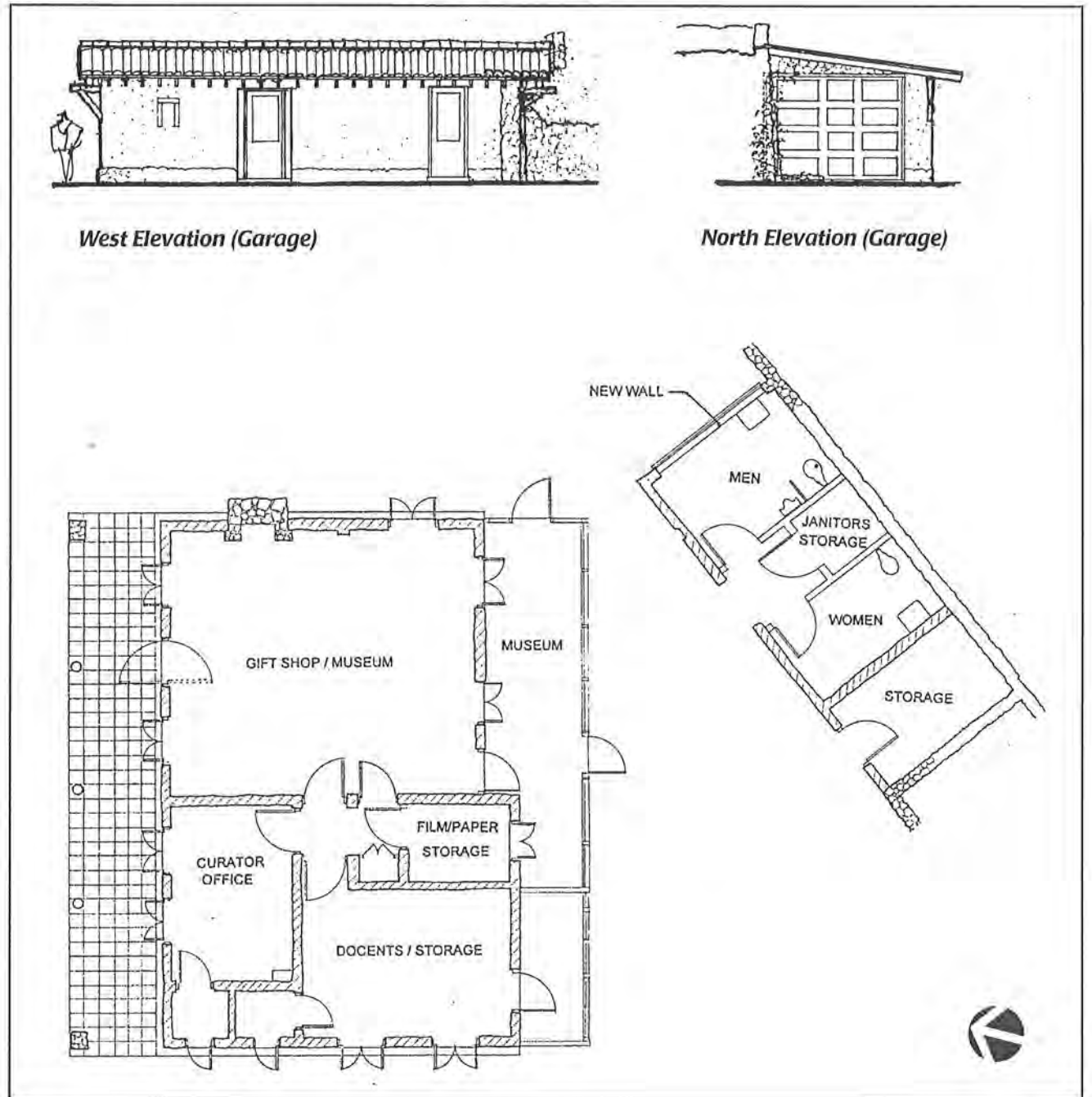
Pavings and Surface Materials:

The historic paving surfaces around the structures, such as the caretakers cottage, hacienda and cabaña areas, were hard surface materials such as concrete, flagstone and tile. There is some cracking, uplifting and deterioration of the these areas that will need to be repaired or completely replaced.



Gate Latch

Figure 4-17 • Proposed Visitor Center Floor Plan and Elevations

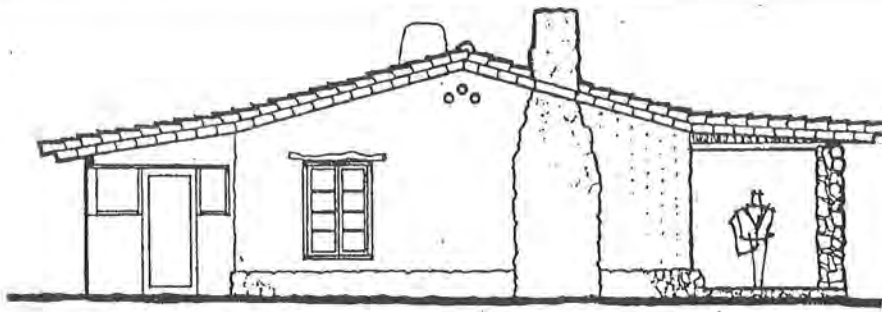


There also will need to be an expansion of some of the patio areas around the hacienda and cabaña areas to accommodate large functions or gatherings of visitors, especially for special events, weddings and dancing.

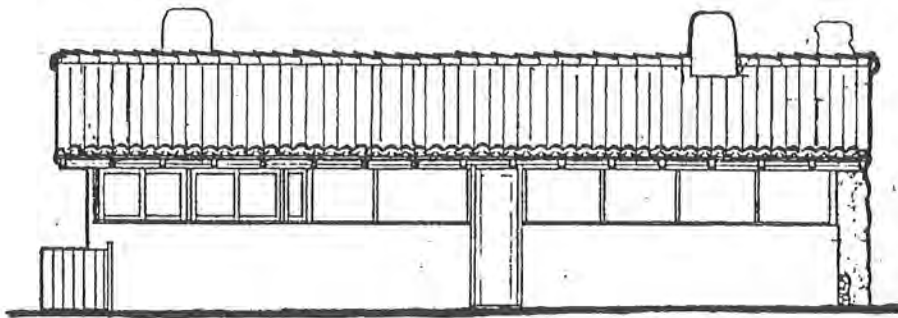
The original sand beach at the cabaña/pool area will also be restored completely.

The historic surface material of the remaining areas of the Ranch, including the main courtyard, driveways, corrals and trails, was bare earth. To retain this historic character, the majority of these surfaces

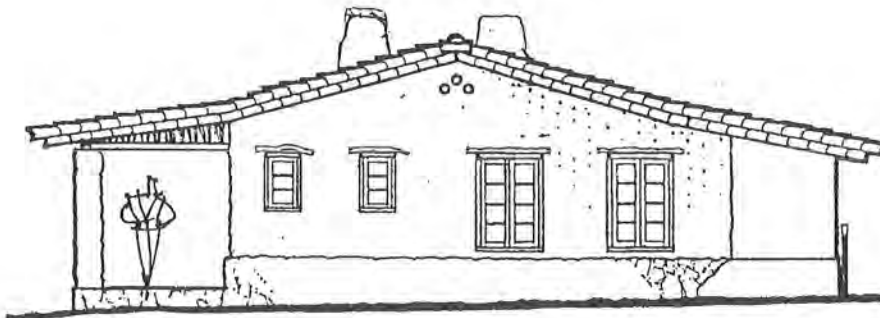
Figure 4-18 • Proposed Visitor Center Elevations



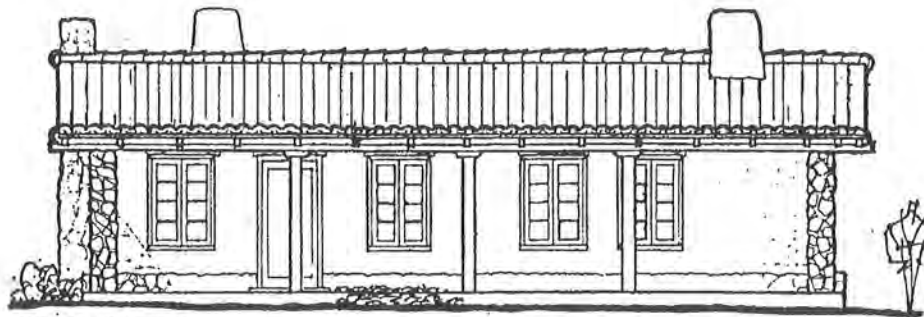
East Elevation



South Elevation



West Elevation



North Elevation

Figure 4-19 • Wood Barn/Proposed Theater Rehabilitation

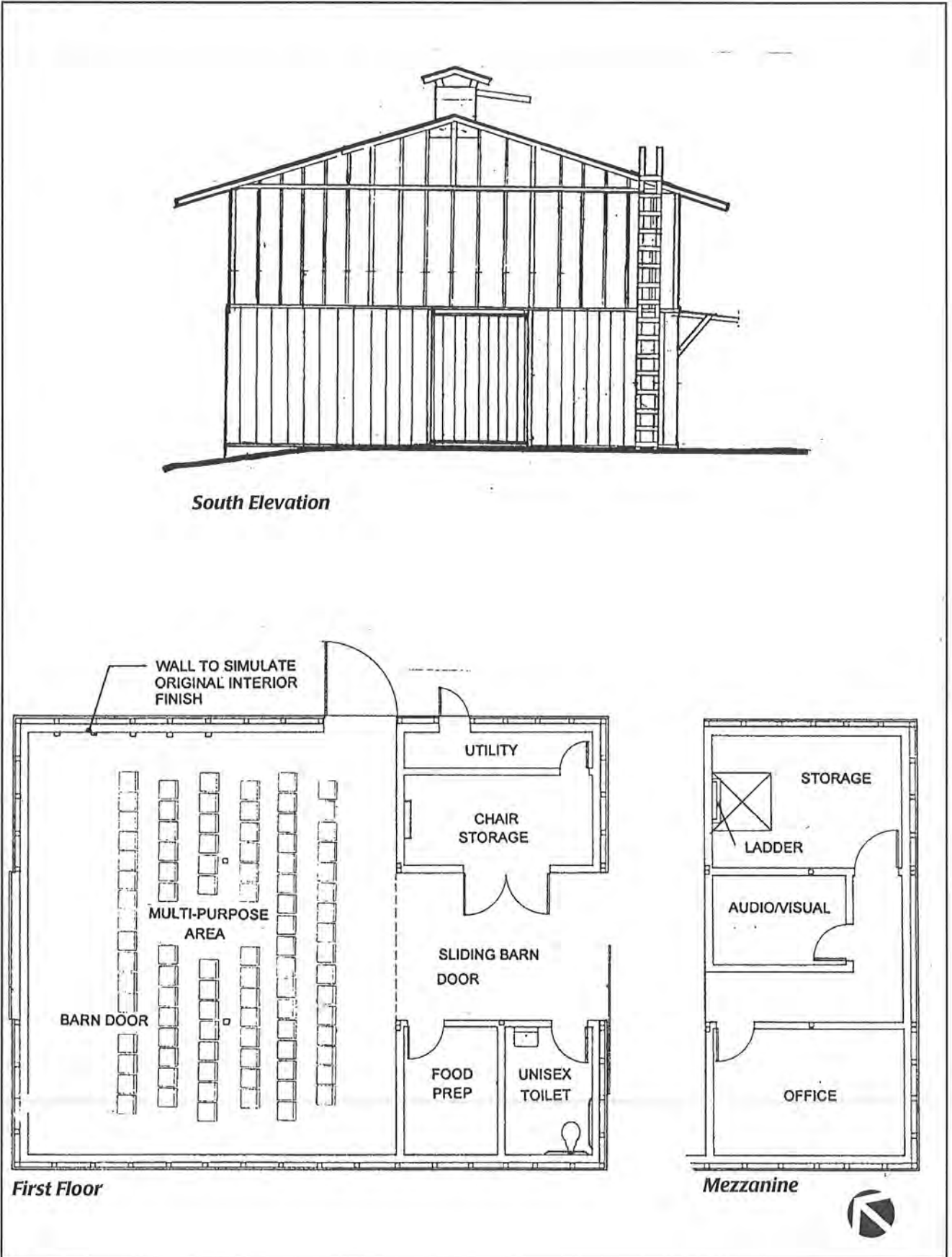
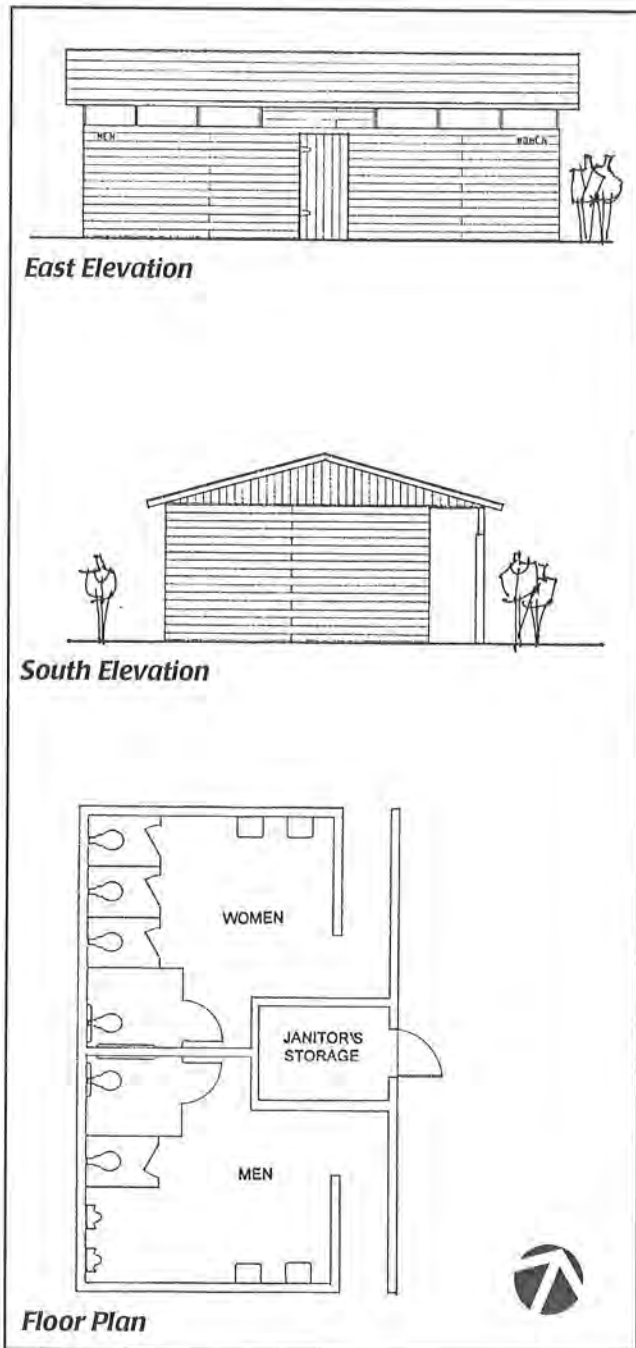
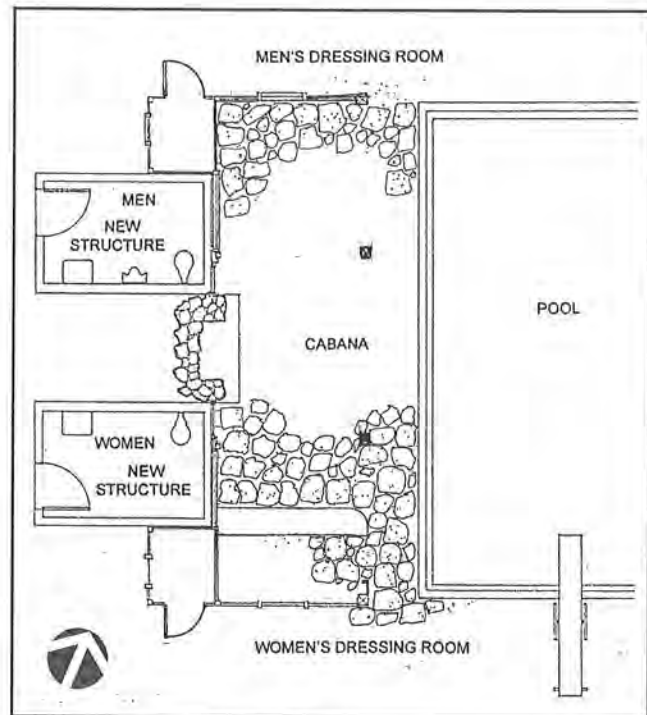


Figure 4-20 • Restrooms



Public Restrooms - Chicken House

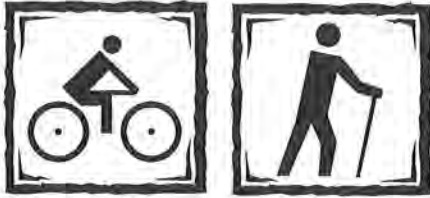


Public Restrooms - Cabana

will remain compacted natural soil. However, in order to accommodate year-round visitors and minimize erosion maintenance problems in heavily trafficked and the more steep areas, an alternative surface treatment may be needed, such as stabilized decomposed granite or a resin modified emulsion pavement similar to that proposed for the parking lot.

Paving Guidelines:

1. Walkway Gradients/ Widths:
 - Walkways should have a cross pitch to allow for drainage.
 - Walkways will be 5-6 feet wide within the Community's Open Space Corridor and within the site
2. In general, the surface of paving should be stable and firm, relatively even in texture and have a non-slip quality.
3. Expansion joints in hard surface paved areas should be located a maximum of twenty-four (24) feet on center and any place where the paving adjoins a vertical surface. The joint sealing compound should be a non-shrink latex rubber material that matches the color of the paving.
4. Score joints or weakened plane joints should be provided in standard locations.
5. The concrete paving, in general, should be six inches thick with steel reinforcing in vehicular areas, and four inches and reinforced with welded wire mesh in pedestrian areas.
6. The color for all concrete paving a soil colored concrete.



7. Special Paving Materials:

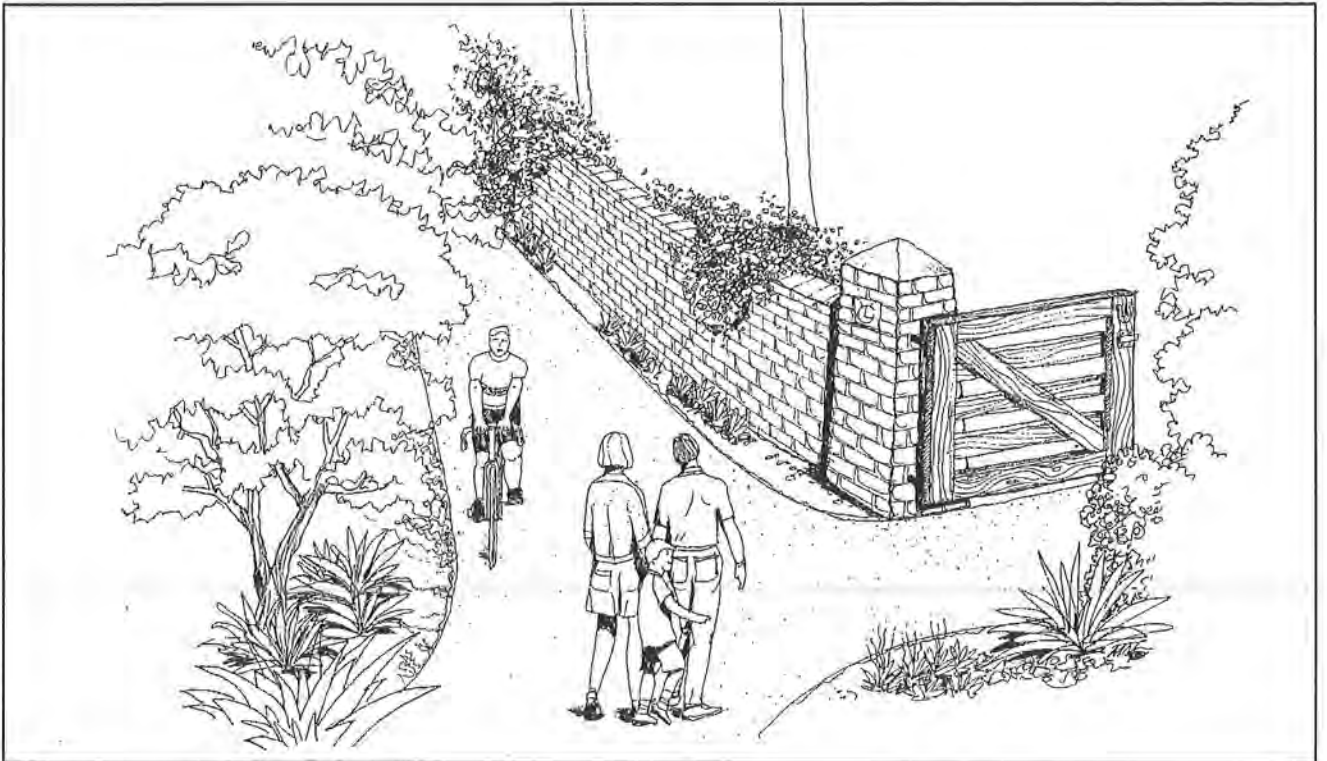
- The historic paving surface around the structures, such as the Caretakers Cottage, Hacienda and Cabana, such as concrete, flagstone and tile will be retained or reconstructed.

Trails

There are two types of trails for pedestrian/bicycle linkages on the Ranch:

1. The hard surface paved trail system would be provided in the more frequently and heavily traveled areas, such as the walks and rampways to and from the main parking lot, Deedie's house, and the neighborhood trail link along the main entry drive. The majority of these trails would be fully accessible to the disabled and elderly. These trail surfaces would be a soil colored and textured concrete with a rough surface.
2. The unpaved trail system would be used in the remaining area and would be rural in character. These natural trail surfaces would be stabilized decomposed granite. However, in order to accommodate year-round visitors and minimize erosion maintenance problems in the more steep areas, an alternative surface treatment may be needed for some of these areas. These trails would be in such areas as the proposed botanical garden, the meandering meadow trail, and the large dirt roadway behind the stables to the blacksmith shop and equipment shed.

The edging when provided adjacent to the planter areas should be obscure and natural looking. If concrete, adobe block, or wood headers are used they should be flush and eventually hidden by the groundcover.

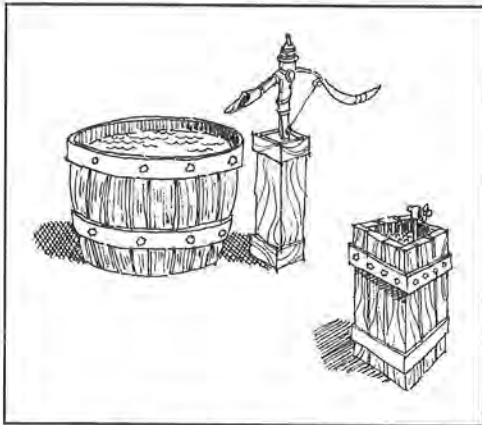


Pedestrian and bike trail

Trail Guidelines (within the Ranch):

1. Trail widths should be 6 feet wide minimum. Location of trails should not be determined until all environmental assessment is completed.
2. Trail alignment should follow the contours of the land and consist of a series of gently sweeping curves. Long straight stretches (tangents) and sharp angular turns should be avoided as much as possible.
3. Cross Sections:
 - 1-3% optimum
 - 6% maximum in approved locations only
4. A slight downhill grade will be necessary for crossing drainages and to provide grade undulations for drainage purposes.
5. Vertical Grade:
 - 0-5% optimum
 - 10-100% maximum for distance over 500 feet
 - 10-15% maximum for distance limited to 250 feet.
 - 15-20% maximum for short distances under 100 feet.
6. Pedestrian Trail Surface:

Excavate to six inches depth, apply City surface approved soil sterilant and install paving with thickened edge and compact afterwards. A 6 inch square concrete curb or 2x6 redwood header may be utilized for containment.



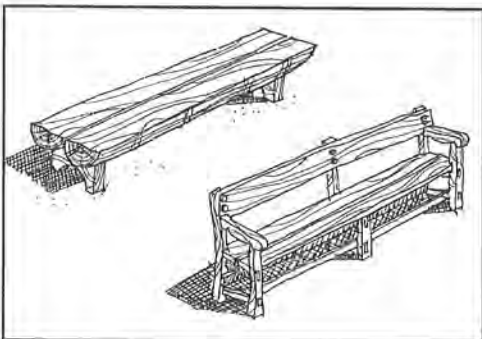
Drinking fountains

Drinking Fountains:

Drinking fountains are necessary onsite amenities at public facilities. One logical fountain location would be near the main entrance. Due to the scale of the site, there should be at least three other fountain locations onsite that can be easily located. All fountains will be disabled accessible and compatibly designed to match the ranch style. The fountains could be antique type or antique hand pump spigots into a barrel.

Benches and Seating:

Because the property is spread out with many interesting things to see and do, it will be very important to provide a number of sitting areas throughout the ranch, especially for the elderly, small children, and the disabled visitors. Benches and seating should be conveniently placed along ramps and walkways where rest and repose are most needed.



Benches

The intent would be to restore the original Ranch theme in seating and furniture that Leo used, including the director and beach chairs with umbrellas at the Cabana's sand beach.

Ramadas:

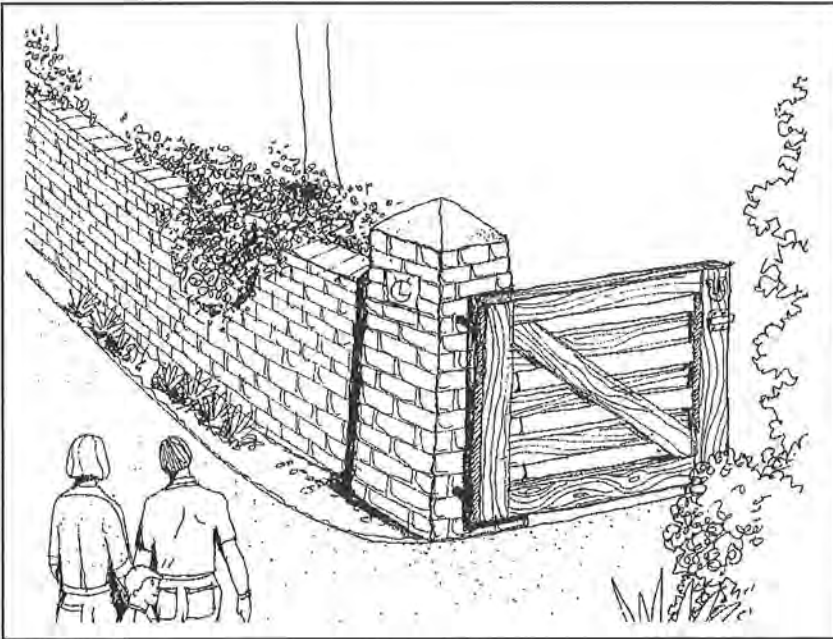
The original trellis and ramadas will be restored between the hacienda and the cantina and at the caretaker's house. These structures will be recreated to their original design from photo documentation.

Original Entry Gateposts from Palomar Airport Road:

The two original adobe gateposts could be repaired or replaced as necessary for stability and safety and relocated to the main pedestrian entry in the parking lot. The same design of pilasters will also be utilized at the main vehicular entry and at any of the other interpreted entries into the ranch.

Adobe Gateposts at Caretakers House:

These gateposts, walls with gates are to be repaired as necessary (for stability and safety) and be remortared and painted to match the same style and character per the original ranch theme.



Sketch of adobe wall

Adobe Walls:

A six (6) foot high adobe perimeter wall will be provided around a major portion of the ranch for security and safety. This wall shall be of concrete slump block covered with stucco and finished to match the old stucco of the adobe structures.

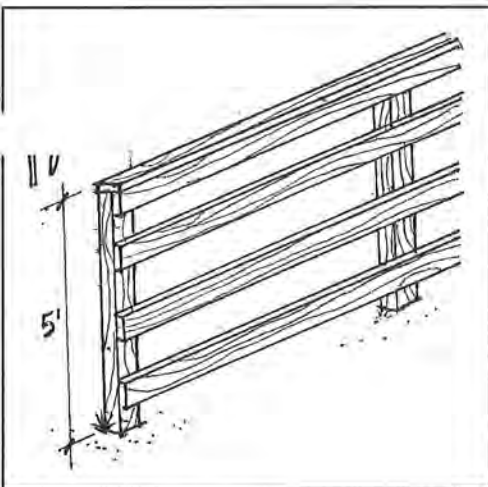
All existing adobe block walls are to be retained and repaired as required for stability and safety. The loose blocks of walls shall be regouted with the major cracks sealed and repaired. Some additional site walls may be required on the Ranch. These must match the same style and character of the original walls and ranch theme. The areas to receive the perimeter wall are shown on the Proposed Fencing Plan, Figure 4-20.

Security Fencing:

The western portion of the property will be secured with a six (6) foot high black vinyl chain-link fence that will be a "see through" design, mitigating its visual presence.

Corral Fencing:

The original five (5) foot high white corral fencing and bull pen will be restored per the fence plan; and will match the style and character of the original fence as determined by photo documentation.



Sketch of corral fence

Stone Retaining Walls:

There currently exists a sizable amount of low field stone or cobblestone walls that line driveways, planters, patios, arches, creeks. These walls will be repaired or if necessary replaced as required for stability and safety. Any additional stone walls installed will match the style and character of the original walls.

Fish Pond:

This pond is a unique feature that creates interest for the backyard area. The pond is empty and the bottom and perimeter walls have many cracks. The plumbing lines shall be repaired, bottom sealed and the side cracks filled with concrete. Water and lily pads with fish should be added.

Windmills:

Future plans should include enabling the windmills to be operable without maintaining its functional use. This can be done by disconnecting the pump rod, allowing the windmill to turn freely and weathervane into the prevailing winds.



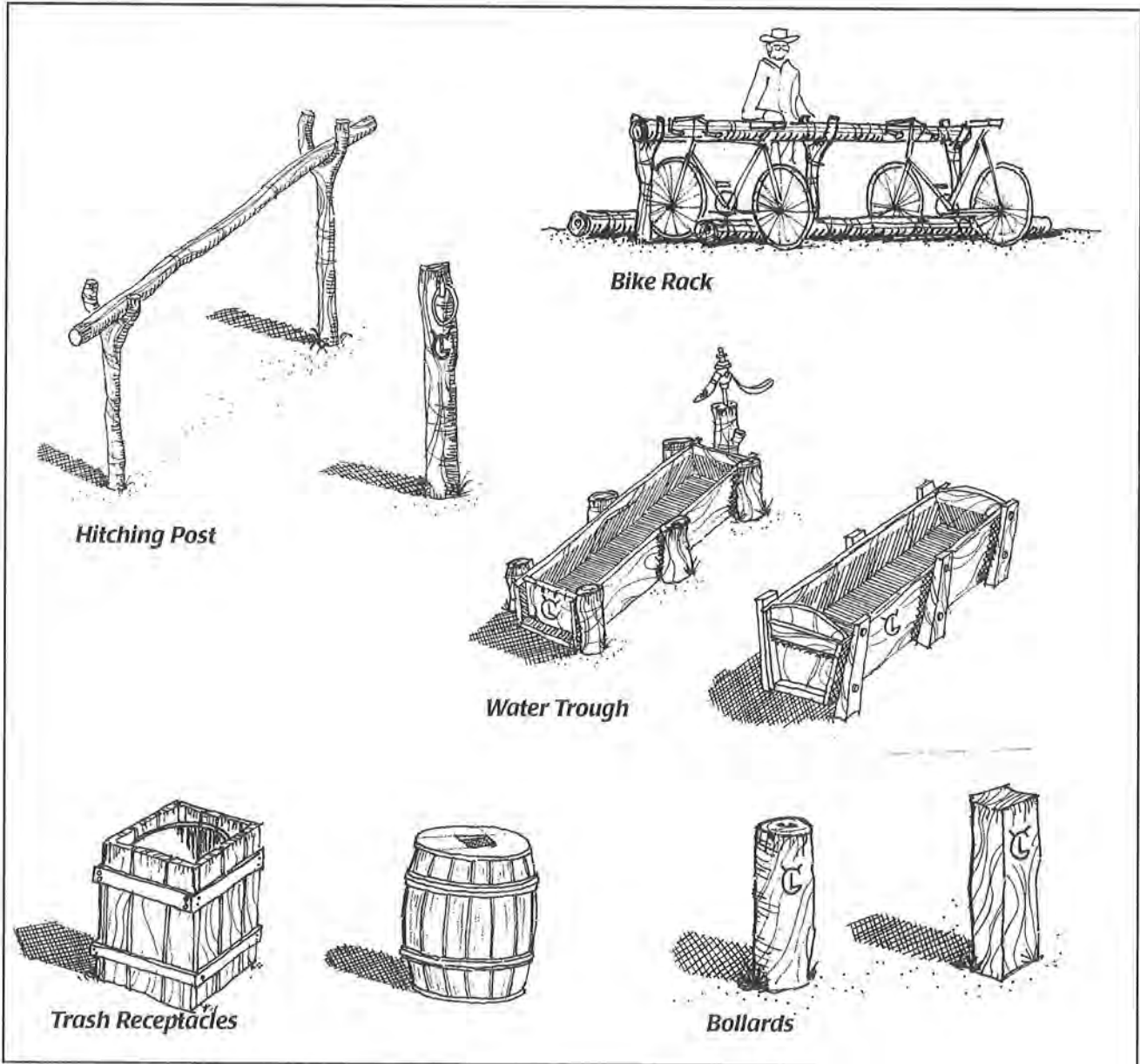
Recreation and Picnic Facilities:

Open lawn and meadow turf areas will provide a range of opportunities for passive and active recreation elements, such as hiking, walking, picnicking and sightseeing, and will include group picnic areas, open play, and pathways. Additional amenities will be provided, including horseshoe courts, plant identification trails and archaeological sites.

Site Furnishings:

Any item which can be validated as part of the Ranch's historic time period should be considered as an item of furnishing or display. Items should be studied and incorporated into the Ranch scene in an authentic and sensitive manner. The items should include: hitching posts; watering troughs; rails and carts; wagons and buggies; tractors and farm equipment; bicycle racks; benches; seats; trash receptacles; drinking fountains; pots; and plants.

Site furnishings





LEGEND

A4 ~ Entry Identification Gates

A5 ~ Wood Corral Gates

A6 ~ Pedestrian Identification Gate

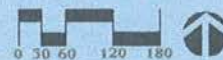
■ ■ ■ ■ Masonry Wall or Fencing
(by Developer)

— — — — 6' Masonry Theme Wall with
Adobe Pilasters at 50' o.c.

— — — — 6' Black Vinyl Chain Link Fence

— — — — "Ranch" Fencing (to match
Historic designs)

..... School Chain Link Fence
(by School District)



**PROPOSED
FENCING PLAN**

LEO CARRILLO
©

City of Carlsbad
Figure 4-21



Cultural Resources

Site CA-SDI-12740 Locus A is not significant, therefore mitigation measures are not necessary. For, site CA-SDI-12740 Locus B identified as significant, development impacts can be mitigated through avoidance or through the completion of a data recovery program. If this area is to be used for trails or a visitation point, then mitigation through capping is recommended. Capping should use a permeable cloth to cover the site followed by a minimum of six (6) inches of clean fill dirt. On top of the dirt, gravel for the trail and other walkways is recommended. If plants are to be introduced, then shallow rooted plants should be used to avoid damage to the site through root disturbance. In addition, monitoring of subsurface construction disturbances should be conducted, given the potential to encounter dumps and privies associated with the early 1869 structure and 1880 structure prior to the Carrillo Ranch structures.

The remaining site (SU-1) identified by Susan (Carrico) Bugbee needs testing to determine site importance under CEQA, prior to identifying development impacts and mitigation measures. The project as presently proposed will directly impact site SU-1 through the development of an orchard. If this site is identified through testing as a significant cultural resource, then mitigation can be achieved through project redesign and avoidance of impacts, or through the completion of a data recovery program. If the site is identified as not significant, then no further work would be recommended.

Hydrology

The City of Carlsbad required Rick Engineering Company to prepare pre- and post-development 100-year hydrology analyses for Carrillo Creek. The pre-development analysis modeled the existing watershed conditions prior to development of Rancho Carrillo. The post-development analysis modeled the ultimate build-out of all the upstream developments as well as the Rancho Carrillo development. The purpose of the hydrology analyses were to determine the detention required to attenuate the post-development discharge to pre-development levels at the Zone 10, 17, and 18 boundaries. This attenuation requirement came from the Zone 18 Local Facilities Management Plan and the Rancho Carrillo Master Plan. Several detention alternatives were investigated and discussed with the City of Carlsbad. These included detention at Melrose Drive, El Fuerte Street, Bressi Ranch, Village G Road, and Business Park Drive as well as various combinations of detention at these areas. A dam facility at Melrose Drive was ultimately recommended as the best alternative. The facility was subsequently approved by the City of Carlsbad and the Division of Safety of Dams.

Another City of Carlsbad requirement was to stabilize portions of Carrillo Creek. A field visit with the City's engineering staff was conducted to identify the areas needing stabilization. There were several methods of stabilization discussed. These methods included detention, check dams, channel lining, a storm drain bypass system, and channel walls. The Melrose Drive dam, three check dams, and two areas of channel lining were ultimately recommended and approved by the City as the best alternative. The check dams and channel lining were designed in areas that would provide stabilization while minimizing environmental impacts.



Historic water pump

In summary, the 100-year post development flows will be safely contained within the limits of main channel under the proposed improvements. In addition, the City of Carlsbad’s requirements for the 100-year post-development flow attenuation and creek stabilization will also be met. Refer to Figure 4-22 for a summary of the site infrastructure.

Grading and Drainage:

The parking area is at 10 to 15% slope, but will be reduced by grading for parking. The slope between the parking area and the caretaker’s cottage exceeds 20%, but will be made accessible by ramping. While the area between the caretaker’s cottage and the hacienda lies on a slope of 15-20%, the promenade traverses across that slope at less than 10%. As the only grading planned for the site is for the parking lot and ramps to the caretaker’s cottage and to Deedie’s House, the topography of the site will remain essentially as it has been for the past sixty years.

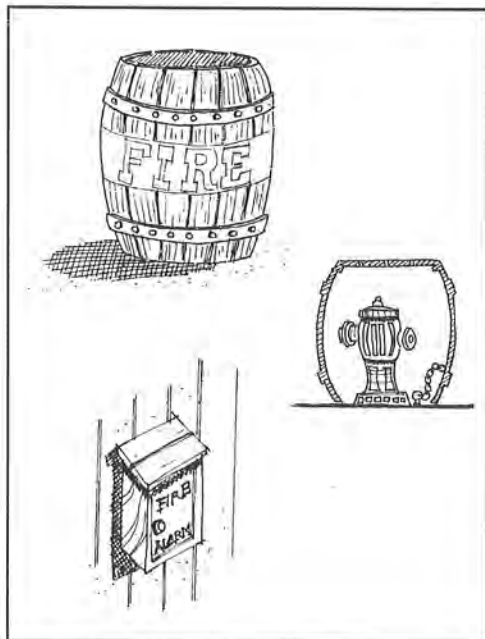
A drainage study was completed for a historic structures report in 1991. The items discussed in that report determined that existing drainage problems caused roadway and trail erosion, erosion of structures along creeksides, and puddling in the courtyards and near the main Hacienda. These problems need to be remedied through the installation of revetment catch basins, area drains, trench drains and french drains. Trench drains should be located strategically to intercept water sheeting off of courtyards, driveways or slope areas towards activity areas and foundations of structures. The catch basins and area drains should be used where the slopes of areas are relatively level. Surface drainage should be positive and should be directed away from all structures. Specific attention will need to be paid to providing drainage around sensitive building foundations. To accomplish the drainage report’s recommendations, special efforts will be needed to conceal any new drainage structures or catch basins, as they were not part of the historic scene.

To protect the hacienda, it is anticipated that surface flows from the area north of the barn and at the front of the hacienda will be intercepted by inlets to drain to the southerly stream. Also, concentrated flows due to the paving of the entrance driveway and parking lot are anticipated to be collected and piped to the northwesterly stream to prevent erosion and to protect the caretaker cottage and the other downhill features.

Infrastructure and Utilities:

The off-site development will construct water and reclaimed water mains to the entrance driveway of the Ranch. The Ranch will then provide and extend these services into the site. Potable water will be extended to service all of the Ranch’s inhabited structures, including the caretaker’s cottage, hacienda, restroom facilities. The water lines for fire protection and service will also be extended to buildings and fire hydrants. The reclaimed water system will be extended into the site for future landscape irrigation.

The adjacent development will also construct a sewer main through the Ranch (as shown on Figure 4-20), which will provide access for sewer service laterals from the Ranch’s structures.



Fire hydrants & alarms



LEGEND

-  PROPOSED STORM DRAIN
-  PROPOSED SEWERLINE
-  RIP-RAP ENERGY DISSIPATOR
-  PROPOSED DRAINAGE DITCH
-  PROPOSED WATER LINE
-  PROPOSED FIRE HYDRANT
-  RECLAIMED WATER LINE STUB-OUT
-  WATER LINE STUB-OUT
-  SLOPE IRRIGATION WATER METERS
-  ELECTRICAL TRANSFORMER

SITE INFRASTRUCTURE

LEO CARRILLO RANCH

City of Carlsbad

Figure 4-22

Electrical and telephone service will be provided from the existing point of connection at the south side of the park. It is assumed that no natural gas or cable television services are required.

All trash receptacles, electric meters, panels and transformer upgrades need to be located to the back of buildings and structures. Manholes, cleanouts, handholds and other valve covers that are flush with the ground surface are not a problem since they can visually blend with the ground surfaces.

The smaller utility items, such as telephone service pedestals, fire hydrants and fire alarms, may be difficult to disguise. Telephone pedestals will be placed inside old wood barrels, and transformers located in an unroofed wood shed covered with an open metal grill.

It is recommended that all visible, non-historic utility items be hidden from public view.



4.3 Landscape Recommendations & Guidelines

The treatment and management of Leo Carrillo's cultural landscape needs to be considered in conjunction with the management of the entire Ranch property. Landscape interpretation is considered closely linked to the integrity and condition of the site and therefore, its ability to convey the historic character and character defining features of the past. If a landscape has significant historical value, the interpretive approach may be to direct visitors to surviving historic features without introducing obtrusive interpretive devices such as free-standing signs. Landscape maps would be available for self-guided tours. The following is a brief summary of the restoration of the landscape character at Rancho de los Quiotes:

Restoration Approach:

The recommended restoration approach is to restore and preserve the landscape character of the ranch established during the time of Leo's ownership and stewardship of the Ranch, the historic time period of 1937-1961.

A unique concern of landscape restoration is that the landscape spaces and their functions are fixed and remain the same, yet the living plants are always growing and changing by nature. Trees and shrubs grow and change in size and shape over time, modifying the look and scale of their respective space. The environment, microclimate, maintenance, pests and disease issues all change and alter the form. This is expected, and so the goal of restoration is to restore and maintain the essence of the historic period of the landscape. A guiding concept for all landscape restorations is to provide an experience for visitors as though they are guests of Leo. This condition implies that there should be no evidence or obvious signs that the ranch is a public place, such as signage, ashtrays, roped off areas, or other typical public trappings. The restoration of Leo's landscape will demand constant attention and maintenance, and a daily work program implemented by ranch staff management.

The authenticity of the ranch's restoration will be based on the goal and objectives that require approximate correctness, and not a completely accurate restoration. The reasoning for this is that:



Ranch stables



1. Certain species of plants may have changed or no longer exist due to unavailability, poor suitability or insect or disease problems.
2. Many original trees have changed in size, or died due to age, so shade and sun patterns and exposure may effect the use of original plantings.
3. No exact record exists of all the original plantings, therefore making it impossible to provide the exact period plantings. However, restoration efforts should be guided by photograph collections, past studies/reports and family and acquaintances input.
4. There is no complete inventory of the site furnishings. Many pieces were sold during a public auction or have been removed or lost. However, efforts will be guided by the photograph collections.
5. Public exposure and use, traffic patterns, and site security requires modifications as well as for visitor health, safety and welfare issues.
6. Intrusion of the large adjacent residential development will change the viewsheds from inside the ranch and visually security or screening will be required.

Landscape Goals & Objectives:

The goal of the Landscape Guidelines for Leo Carrillo Ranch is to conserve those areas and characteristics of the ranch site that remain intact from the historic time period of 1937-1961, and also to restore and maintain the remainder of the site to reflect the general image and character of that period of time.

Specific Objectives include:

- Identification of landscape features and artifacts that remain unaltered from the 1937-1961 time period.
- Identification of landscape features and artifacts that are historically inappropriate and have been added since 1961.
- Development of a prioritized landscape restoration and improvement program based on the following categories:
 - A. *Urgent*
 - Repairs and/or replacement immediately needed due to possible risk to life, property or essential security.
 - B. *High Priority*
 - Repairs and/or replacement needed soon due to possible risk to life, property or essential security.
 - Replanting, repair and reconstruction to correct badly deteriorated features, improve appearance and facilitate overall maintenance.
 - C. *Medium Priority*
 - Items which may take more time and/or funding to complete and which have less immediate impact on the appearance or function of the site.
 - D. *Low Priority*
 - Non-essential items which can be deferred for 10-15 years, or those that are more costly compared to their benefit that they provide.

A listing of potential projects or landscape construction items are given in the detailed cost estimate and phasing plan in the appendices.

Some other objectives to consider are:

- Establishment of Maintenance Standards that are sensitive and faithful to the original character and needs of the site.
- Reduce the visual and physical impact of the necessary site support services (New entry, parking lot, disabled access ramps, irrigation and lighting).
- Preserve and maintain the remaining views and rural character.

Preservation Standards and Guidelines:

The standards and guidelines establish the general criteria to be applied to the Maintenance standards and recommendations. The guidelines are as follows:

1. All major mature trees planted prior to 1962 should be retained unless irrevocably diseased or dead.
2. Consistent and vigorous pains should be made to control insects, pests and diseases of the mature trees.
3. Any major trees which have died or are declining should be replaced in kind with as large a specimen as possible.
4. All shrubs, succulents and herbaceous perennials which are healthy and evidently planted before 1961, should be maintained by pruning, or replanted from developed cuttings.
5. The use of photograph collections should be used wherever possible to assist the design of new plantings to approximate the effect of the 1937-1961 time period.
6. New plant materials should be researched and selected from lists of plants (if available) which were available in California nurseries during the 1937-1961 time period.
7. Unsuccessful plants should not be replaced. However, plants which give a similar effect (size, color and scale) and that have similar cultural requirements should be used as alternate choices.
8. New species or recently introduced cultivars should not be used unless no other choice exists.

Plant Materials:

A detailed landscape plan should be developed by a licensed Landscape Architectural consultant. The restoration of the plantings or similar items, will restore the original character and strengthen the ranch's theme. It is recommended that the scope of the detailed landscape plan include the following ranch areas:

- New ranch entry/driveway
- Visitor center
- Deedie's house
- Slope areas
- Botanical garden
- Cabaña/pool and backyard entertainment area
- Perimeter wall plantings
- Parking lot
- Hacienda and courtyards
- Informal lawn/picnic areas
- Open space/riparian corridor
- Citrus grove

The plant materials included in Tables 4-1 through 4-6 were identified in a site survey and inventory analysis in 1991. The majority of these plants were identified on-site and deemed historic if planted prior to 1961. Additional plant materials listed are utilized in the neighboring residential master plan and may be suitable to meet functional and aesthetic standards at Leo Carrillo Ranch.

Table 4-1 • Recommended Trees

PLANT SPECIES	CHARACTERISTICS				TOLERATES				Historic (Photo Date)	PLANT USES								Rating (2)		
	Evergreen/Dec.	Height	Spread	Rate	Flowers & Fruit	Sun	Shade	Drainage		Drought	Entry	Slope	Driveway	Courtyard	Parking	Botanical Garden	Accent		Screening	Riparian
Trees																				
<i>Acacia melanoxylon</i> Blackwood Acacia	E	40'	20'	F	●	●	●	●	●	<1960	●	●				●				Poor
<i>Avocado species</i> Avocado Tree	E	30	40	M		●				<1949					●					Poor
<i>Eucalyptus</i> Eucalyptus species	E	varies		F	●	●	●	●	●	<1937	●	●	●	●			●			Fair
<i>Callistemon citrinus</i> Lemon Bottlebrush	E	20'	18'	F	●	●	●	●	●	None			●							Poor
<i>Citrus species</i> Citrus varieties	E			M	●					<1906			●		●					Poor
<i>Dracaena draco</i> Dragon Tree	E	20'	15'	S		●	●		●	<1950			●		●	●				Fair
<i>Lyonothamnus floribundus</i> Catalina Ironwood	E	60'	40'	M	●	●			●	Note 1	●								●	NA
<i>Magnolia grandiflora</i> Southern Magnolia	E	80'	40'	M	●	●			●	<1960	●		●							Poor
<i>Musa species</i> Banana Tree	E	15'	6'	F	●	●				<1949			●							Poor
<i>Olea europaea</i> Olive Tree	E	25'	25'	M	●	●		●	●	<1949	●		●		●					Fair
<i>Platanus racemosa</i> California Sycamore	D	100'	50'	F		●	●		●	<1906	●	●		●			●	●	●	Fair
<i>Prunus caroliniana</i> Carolina Laurel Cherry	E	40'	30'	F	●	●			●	Note 1	●						●			NA
<i>Prunus species</i> Prunus varieties	D			M	●	●		●	●	None			●		●					NA
<i>Pinus torreyana</i> Torrey Pine Tree	E	60'	40'	M		●			●	Note 1	●	●		●		●		●		NA
<i>Quercus agrifolia</i> Coast Live Oak	E	50'	75'	S		●	●		●	<1906	●	●		●			●	●	●	Good
<i>Quercus illex</i> Holly Oak Tree	E	25'	25'	S		●			●	Note 1	●		●	●						NA
<i>Salix goodingii</i> Black Willow	E	30'	25'	F		●		●	●	Note 1				●			●	●		NA
<i>Salix lasiolepis</i> Arroyo Willow	E	30'	25'	F		●	●	●	●	Note 1				●			●	●		NA
<i>Schinus molle</i> California Pepper Tree	E	40'	40'	F	●	●	●	●	●	<1891	●	●	●				●		●	Good
<i>Syzygium paniculatum</i> Eugenia	E	40'	10'	F	●	●	●	●	●	None			●				●			Poor

Table 4-2 • Recommended Palms

PLANT SPECIES	CHARACTERISTICS					TOLERATES				PLANT USES											
	Evergreen/Dec.	Height	Spread	Rate	Flowers & Fruit	Sun	Shade	Drainage	Drought	Historic (Photo Date)	Entry	Slope	Driveway	Courtyard	Parking	Botanical Garden	Accent	Screening	Riparian	Open Space	Rating (2)
Palms																					
<i>Arecastrum romanzoffianum</i> Queen Palm	E	50'	15	S	●	●				<1949	●		●	●			●			●	Fair
<i>Washingtonia filifera</i> California Fan Palm	E	60'	20'	S		●	●			Note 1	●		●				●				NA
<i>Washingtonia robusta</i> Mexican Fan Palm	E	100'	15'	S		●	●			None	●		●				●				NA
<i>Phoenix canariensis</i> Canary Island Date Palm	E	60'	50'	S		●				<1906	●		●	●			●			●	Fair

Table 4-3 • Recommended Vines

PLANT SPECIES	CHARACTERISTICS					TOLERATES				PLANT USES												
	Evergreen/Dec.	Height	Spread	Rate	Flowers & Fruit	Sun	Shade	Drainage	Drought	Historic (Photo Date)	Entry	Slope	Driveway	Courtyard	Parking	Botanical Garden	Accent	Screening	Riparian	Open Space	Rating (2)	
Vines																						
<i>Bougainvillea species</i> Bougainvillea	E		20'	F	●	●			●	None	●			●			●				●	NA
<i>Distictis buccinatora</i> Blood-Red Trumpet Vine	E		30'	F		●	●	●	●	None	●			●			●					NA
<i>Hedera canariensis</i> Algerian Ivy	E			F		●	●	●	●	<1950	●						●					Poor
<i>Hedera canariensis 'variegata'</i> Variegated Algerian Ivy	E			F		●	●	●	●	<1950	●						●				●	Poor
<i>Rosa species</i> Climbing Rose	E		20'	F	●	●	●		●	None	●			●			●					Poor
<i>Wisteria species</i> Chinese Wisteria	D			F	●	●				None	●			●			●				●	Poor

Table 4-4 • Recommended Shrubs

PLANT SPECIES	CHARACTERISTICS					TOLERATES				Historic (Photo Date)	PLANT USES								Rating (2)	
	Evergreen/Dec.	Height	Spread	Rate	Flowers & Fruit	Sun	Shade	Drainage	Drought		Entry	Slope	Driveway	Courtyard	Parking	Botanical Garden	Accent	Screening		Riparian
Botanical Name Common Name																				
Shrubs																				
<i>Agapanthus africanus</i> Lily of the Nile	E	3'	3'	F	●	●	●	●	●	None	●	●	●	●		●				NA
<i>Artemisia species</i> Sagebrush	E	3'	3'	M		●			●	Note 1		●	●				●		●	NA
<i>Atriplex canescens</i> Four-Wing Saltbush	E	3'	2'	M		●		●	●	Note 1			●		●		●		●	NA
<i>Baccharis sarothroides</i> Desert Broom	E	3'	3'	M		●			●	Note 1			●				●	●	●	NA
<i>Ceanothus griseus horizontalis</i> Wild Lilac	E	2'	15'	F	●	●			●	Note 1							●			NA
<i>Ceanothus griseus 'Santa Ana'</i> Wild Lilac	E	5'	15'	F	●	●			●	Note 1							●			NA
<i>Cistus salvifolius</i> Sageleaf Rockrose	E	2'	8'	M	●	●			●	Note 1							●			NA
<i>Cyperus alternifolius</i> Umbrella Plant	E	4'	4'	F		●	●			None		●		●			●		●	Fair
<i>Hemerocallis species</i> Day lily varieties	E	2'	2'	F	●	●			●	Note 1	●	●	●			●			●	NA
<i>Heteromeles arbutifolia</i> Toyon	E	10'	10'	M	●	●				Note 1						●	●	●		NA
<i>Iris species</i> Iris	E	18"	15"	F						None						●		●		NA
<i>Eriogonum fasciculatum</i> California Buckwheat	D	6'	6'	F		●				Note 1							●		●	NA
<i>Ferocactus viridescens</i> Coast Barrel Cactus	E	2'	2'	S		●			●	Note 1					●				●	NA
<i>Fremontodendron 'K.T.'</i> Flannel Bush	E	6'	6'	M	●	●			●	Note 1							●		●	NA
<i>Juniperus chinensis 'Torulosa'</i> Hollywood Juniper	E	15'	5'	M		●			●	None	●		●			●				NA
<i>Juniperus species</i> Juniper varieties	E	15'	5'	M		●			●	None	●	●	●			●				NA
<i>Lantana montevidensis</i> Lantana varieties	E	2'	6'	M	●	●			●	None	●	●				●			●	NA
<i>Philodendron selloum</i> Splitleaf Philodendron	E	6'	6'	F			●			Note 1		●		●						NA
<i>Pittosporum tobira</i> Pittosporum	E	5'	5'	S		●	●	●	●	None	●		●	●	●	●	●		●	Poor
<i>Pyracantha coccinea</i> Firethorn	E	6'	6'	M	●	●			●	Note 1		●			●	●				NA
<i>Opuntia bigelovii</i> Cholla	E	2'		S		●			●	Note 1					●					NA



Table 4-4 • Recommended Shrubs (continued)

PLANT SPECIES	CHARACTERISTICS					TOLERATES				Historic (Photo Date)	PLANT USES								Rating (2)	
	Evergreen/Dec.	Height	Spread	Rate	Flowers & Fruit	Sun	Shade	Drainage	Drought		Entry	Slope	Driveway	Courtyard	Parking	Botanical Garden	Accent	Screening		Riparian
Shrubs																				
<i>Pennisetum species</i> Fountain Grass	E	3'	2'	F		●	●		●	Note 1					●		●			NA
<i>Phormium species</i> Flax species	E	6'	6'	M		●	●	●	●	Note 1	●		●		●	●	●			NA
<i>Quercus dumosa</i> Scrub Oak	E	8'	10'	S		●			●	Note 1					●		●		●	NA
<i>Rhus integrifolia</i> Lemonadeberry	E	10'	10'	M	●	●				Note 1					●	●	●	●		NA
<i>Ribes indecorum</i> White Flowering Currant	D	9'	9'	M	●	●			●	Note 1						●	●			NA
<i>Ribes speciosum</i> Fuchsia Flowering Currant	E	6'	8'	M	●	●			●	Note 1						●	●	●		NA
<i>Rosa californica</i> California Wildrose	D	4'	15'	F	●	●			●	Note 1					●		●		●	NA
<i>Rosa species</i> Rose varieties	D	4'	4'	M	●	●				None	●	●	●		●	●				NA
<i>Rosemarinus officinalis</i> Rosemary	E	2'	2'	M	●	●	●	●	●	Note 1	●				●	●				NA
<i>Sambucus mexicanum</i> Mexican Elderberry	D	10'	8'	M	●	●		●	●	None		●					●		●	Poor
<i>Sanseveria species</i> Mother-In-Law Tongue	E	2"	1'	M		●				None	●					●				NA
<i>Sphaeropteris cooperi</i> Australian Tree Fern	E	12'	12'	F		●				None		●	●			●				NA
<i>Strelitzia reginae</i> Bird of Paradise	E	3'	3'	F	●			●	●	None	●	●	●		●	●				NA
<i>Toxicodendron diversilobum</i> Poison Oak	D	6'	10'	M		●	●	●	●	Note 1	●	●	●		●		●		●	NA
<i>Zantedeschia aethiopica</i> Calla Lily	D	3'	3'	F	●	●				None	●					●				NA

Section 4 - Master Plan Recommendations

Table 4-5 • Recommended Groundcovers

PLANT SPECIES	CHARACTERISTICS					TOLERATES				Historic (Photo Date)	PLANT USES								Rating (2)	
	Evergreen/Dec.	Height	Spread	Rate	Flowers & Fruit	Sun	Shade	Drainage	Drought		Entry	Slope	Driveway	Courtyard	Parking	Botanical Garden	Accent	Screening		Riparian
Botanical Name Common Name																				
Groundcovers																				
<i>Carpobrotus species</i> Iceplant	E	<1'	24"	F	●	●	●	●	●	<1949	●	●							●	Poor
<i>Cynoden dactylon</i> Hybrid Bermuda Grass	E	<1'		F		●		●	●	None			●							Poor
<i>Delosperma alba</i> White Trailing Iceplant	E	<1'		F		●		●	●	Note1	●									NA
<i>Gazania splendons</i> Trailing Gazania	E	<1'		F		●			●	Note1	●				●					NA
<i>Iva hayesiana</i> San Diego Marsh Elder	E	<1'		F		●		●	●	Note1	●							●		NA
<i>Micromeria Chamissonis</i> Yerba Buena	E	<1'	24"	F					●	None	●								●	NA
<i>Baccharis pilularis</i> Dwarf Coyote Bush	E	2'	2'	S					●	Note1	●	●	●	●		●			●	NA
<i>Pelargonium peltatum</i> Ivy Geranium	E	2'	6'	F					●	Note1	●				●					NA
<i>Rosmarinus prostratus</i> Prostrate Rosemary	E	2'		F	●	●		●	●	Note1	●	●	●	●	●				●	NA
<i>Santolinia chamaecyparissus</i> Lavender Cotton	E	2'	2'	F	●	●		●	●	Note1	●	●		●					●	NA
<i>Thymus praecox arcticus</i> Mother-of-thyme	E	4'		F		●				Note1	●			●					●	NA
<i>Vinca major</i> Periwinkle	E	2'			●					None	●	●			●					NA

Table 4-6 • Recommended Cactus & Succulents

PLANT SPECIES	CHARACTERISTICS					TOLERATES				Historic (Photo Date)	PLANT USES								Rating (2)	
	Evergreen/Dec.	Height	Spread	Rate	Flowers & Fruit	Sun	Shade	Drainage	Drought		Entry	Slope	Driveway	Courtyard	Parking	Botanical Garden	Accent	Screening		Riparian
Cactus & Succulents																				
<i>Agave americana</i> Century Plant	E	6'	6'	S		●	●	●	●	<1949	●	●			●	●			●	Fair
<i>Agave attenuata</i> NCN	E	3'	3'	S		●	●			<1949	●	●			●	●	●		●	Fair
<i>Aloe arborescens</i> Tree Aloe	E	12'	12'	S	●	●	●	●		None					●	●	●			Fair
<i>Aloe bainesii</i> NCN	E	10'	6'	F	●	●	●	●		None			●		●	●				Poor
<i>Aloe ferox</i> NCN	E	8'	8'	F	●	●	●	●		None			●		●	●				Poor
<i>Aloe saponaria</i> NCN	E	3'	3'	F	●	●	●	●		None		●	●		●	●			●	Poor
<i>Aloe vera</i> Medicinal Aloe	E	2'	2'	F	●	●	●	●		None		●	●		●	●	●			Fair
<i>Cactus species</i> Pickle Type Cactus	E	2'	2'	S		●	●	●	●	None					●	●			●	Fair
<i>Cereus peruviana</i> Peruvian Apple	E	18'	15'	S		●			●	None					●	●				Poor
<i>Crassula argentea</i> Jade Plant	E	6'	6'	M	●	●	●	●		None	●				●					Poor
<i>Optunia 'Burbank'</i> Spineless Opuntia	E	18'	18'	S		●			●	None		●								Poor
<i>Optunia ficus-Indica</i> Indian Fig	E	18'	18'	S		●			●	None										Poor
<i>Optunia parryi</i> NCN	E	4'	4'	S		●			●	None		●			●					Poor
<i>Trichocereus peruvianus</i> Peruvian Torch	E	15'	6'	S		●			●	None	●									Poor
<i>Yucca aloifolia</i> Spanish Dagger	E	10'	5'	S	●	●			●	None										Poor

NOTES:

- 1.) New plant materials introduced on the adjacent slope development dwgs. May be introduced into nonhistoric areas, if required.
- 2.) Rating Guide for Historic Plant Material:
 - Good:** Plants in stable condition, no serious diseases or known problems, routine maintenance (watering, fertilizing, pruning).
 - Fair:** Structural disease, other damage or condition which affects appearance or growth conditions. Requires immediate treatment to prevent further deterioration.
 - Poor:** Plants are dead, deteriorating or have severe problems which cannot be treated with routine maintenance. Future planning including replacement and reintroduction of historic planting, transplanting and possible irrigation work.
 - NA:** Not applicable, new plant materials may be introduced to replace older unavailable plants.



Totem pole, 1976. (Photo courtesy of the Carrillo Ranch Archives). This photo was taken by Cruz Mendoza, Jr. Shortly thereafter, this artifact went into the estate sale. There is an earlier photo of the totem pole standing in the snow at the Carrillo family home in Freeport, Long Island, New York. It pre-dates the Ranch. Given Edith Carrillo's love of Native American arts and crafts, this may have been hers.

Artifacts in the Landscape:

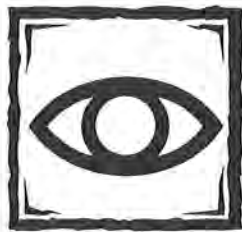
A detailed study should be undertaken by professional consultants of all artifacts and furnishings. The restoration of past items or the reintroduction of items closely simulating those once used at the ranch, will restore the unique and personal character and ambience that is currently absent. It is recommended that the scope of artifact study include the following:

1. All artifacts which are intact, should be returned to their original locations (through the use of photograph collections if possible).
2. A complete inventory of existing artifacts should be made and should include the following basic information:
 - Description of object
 - Dimensions and material
 - Present location
 - Current condition
 - Required repairs or restoration
 - Replacement recommendations as appropriate
3. A list should be prepared of artifacts which no longer exist but which are known to have been present during the time period. Drawings and specifications for reconstruction should be prepared and include:
 - Exact dimensions
 - Material and color
 - Surface texture
4. All work should be done by only skilled, experienced professionals.
5. A conservator should be consulted for recommendations for ongoing maintenance and preservation of artifacts.
6. Any artifacts added to the site since 1961 should be documented and removed from the site.

Site Structures and Paving:

1. A complete inventory of garden structures which require repair or reconstruction. The listing should include the following basic information:
 - Description of object with photographs.
 - Dimensions and materials
 - Location
 - Current condition
 - Detailed drawings for required repairs or restoration
 - Replacement recommendations as appropriate
 - Priority (high, medium, low)
2. Prepare summary listings for repairs or restoration projects listed by priority level.
3. Drawings, specifications and cost estimates should be prepared for all high priority projects.
4. Classify projects according to the level of skill required for implementation. This will assist the choices made for the selection of experienced contractors or skilled volunteers.
5. Structural systems and materials used in repairs or restoration projects should reflect the character of the old structure as close as possible.
6. All materials should be treated in advance for termite, rot and rust prevention, but care should be taken to avoid visual differences in final color or surface textures.

7. Color and texture of finishes should be accurately matched with the original structure.
8. Finish treatments should be designed to stimulate a degree of aging (sandblasting, etc...).
9. Samples of finishes and materials should be submitted before construction.
10. Construction and repair work should be performed only by skilled and experienced craftsmen.



Views and Vistas:

There are several important views which should be preserved due to their visual and interpretive meanings.

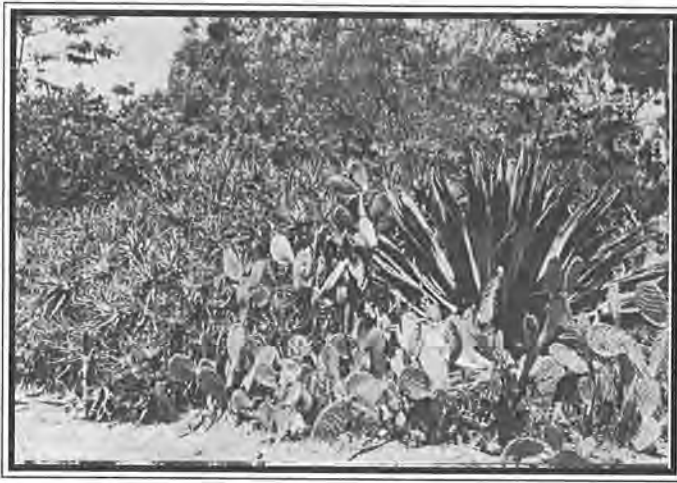
1. Preserve and protect all sensitive habitats and view corridors within Carrillo Ranch itself.
2. Restore the westerly view corridor to the sea which Leo Carrillo loved as a boy. This is one view that looks out to the west from the hacienda. There currently are a number of Eucalyptus trees that may need to be removed to restore the view.
3. Screen views of surrounding proposed developments as much as possible to capture the out of the way, rural feeling. It is ironic that to capture the rural feeling, more trees need to be planted, when there were none in the beginning.
 - Keep ranch hidden with tall trees such as eucalyptus; Seclusion is key, illusion of isolation.
 - Buffer noise and objectionable development with trees and plantings wherever possible.



Open Space, Greenbelt and Slopes Areas:

1. The creek and riparian area landscapes should be preserved in their natural state, to the extent possible, with all existing trees and vegetation protected and maintained. The creek area may be selectively replanted with sycamores, oaks, willows, or similar native trees to enhance the overall quality. Additional biological and hydrologic design criteria, along with the landscape guidelines, will provide the framework for accomplishing this objective. This area shall be adequately irrigated to maintain the riparian habitat.
2. The transition areas, extending from the creek areas to the adjacent slopes, should be maintained in their natural state where possible. In locations disturbed by construction, a planting program should be undertaken, including native or naturalized groundcover for erosion control, with some informal tree placements. The objective is to create an informal look, extending the riparian environment into the project site. These transition areas should be naturalized to the extent feasible, although supplementary irrigation watering may be required. Creek crossings and bridges are to be designed to complement the creek environment to the extent possible.
3. Maintain open space areas and meadows by retaining pepper trees, selective removal of vegetation, and replanting with natural grasses and wildflowers to maintain a naturalized look while addressing weed overgrowth and fire control.
4. Seating areas and viewpoints will be provided to offer opportunities for resting and viewing without encroachment into the creek habitat areas. Wood seats and benches will be provided with amenities that should complement the landscaping with an informal character.

5. The City trail will be owned and maintained by the City of Carlsbad, as part of its natural open space corridor system. The community trail will be maintained by the developer.



Botanical garden

Botanical Garden:

The botanical collection of Leo Carrillo Ranch was special and exceptional, and plays just as important of a role in the historic importance to the ranch as do the adobe structures. The variety of plant material types and habitats of the Ranch are diverse. The unique rural site includes riparian habitat, freshwater marsh, baccharis scrub, non-native grassland, eucalyptus woodland, cactus/succulent theme, and subtropical plantings.

There have been many documented references to the native vegetation for which Leo expressed such a strong appreciation, including their forgotten Native American names and their medicinal qualities.

Although the core area of the Ranch could qualify as one large arboretum, it is recommended that a specific area be set aside as an interpretive opportunity. The garden areas would have stabilized decomposed granite pathways built on the natural contours of the land that would meander through various botanical collections, such as a southwestern desert garden, a native plant garden, an herb garden, and a riparian garden walk. Garden amenities should include identification and educational signage and places for seating and contemplation.



1. The Southwestern Desert Garden would display the more distinctive and dramatic looking plants that Leo promoted in his plantings throughout the Ranch; with collections of all types of cacti, succulents and giant yuccas. The species would provide a variety of color, shapes and forms, but the emphasis would be placed on plant species more suited to intermediate and low desert regions.
2. The Native Plant Garden would be an expression of Leo's love for western native plants. The emphasis would be placed on species that are native to California only, especially those that had natural medicinal attributes. Additional features would be included to enhance the garden atmosphere, such as boulders and gravel mulch.
3. Although the Herb Garden would usually be located closer to the kitchen, this botanical exhibit would be solely for education and decoration. Herbs in this garden would be identified for their unique ornamental or medicinal qualities.
4. The Riparian Garden Walk would identify the sensitive riparian species that are prevalent along the existing riparian corridor. Interpretive signage would be provided at key points to explain the habitat.

Irrigation Guidelines:

The landscape irrigation of the Ranch is an important component of the site's infrastructure and will have a significant impact on the maintenance costs of the Ranch. The Ranch is presently irrigated in a variety of methods, including handwatering. A detailed master irrigation plan should be prepared by a licensed landscape architectural consultant to guide the overall repair, expansion and development of an irrigation system.

Due to the diversity of plant habitats and microclimates, the irrigation systems will vary from area to area. The specific water requirements shall be carefully considered when connecting irrigation zones together.

The amount of hand watering shall be used only to create the illusion that it still occurs on the ranch, yet the ultimate goal is to have the ranch on a fully automatic system.

There is currently an existing temporary irrigation system along the promenade to the hacienda, consisting of two pipe systems that are above grade and sitting beside each other. One is a relatively new plastic PVC system with spray heads that may have replaced the original galvanized system. The original galvanized system has pencil sized risers that were installed by a local manufacturer of Leo's time, called "Al's Machine Shop". This system is to be replaced, although the valves, heads and risers should all be saved since these were custom crafted for the Ranch.

The cactus, succulents and native plant materials which were part of the original theme planting of Leo Carrillo Ranch need little water and do not typically require regularly scheduled irrigation. All of these types of plant are drought tolerant and too much moisture may cause diseases or root rot. These plants can be either hand-watered using a quick coupling system, or irrigated by a drip system to provide supplemental water. The use of these types of irrigation systems would provide significant water savings by limiting overspray and placing the water close to the root zone.

The lawn and ornamental subtropical planting areas will require water on a weekly basis and should be served by an automated system. These areas include: the caretaker's cottage, hacienda front courtyard, the cabaña/pool area and the backyard. The front courtyard has been irrigated by a temporary system that sprayed water onto the adobe walls. Appropriate irrigation designs to protect these walls from unnecessary moisture would be a automatic subsurface system that sets the spray heads 6"-12" away from the walls.

Lawn areas may require moisture sensors to improve irrigation efficiency and promote water conservation.

All systems will be valued and controlled as to plants with similar exposure, and cultural, topographic and soil requirements. The use of rain shut-off devices, moisture sensors, drip systems, low and matched precipitation spray heads and bubblers are recommended to reduce or eliminate hand watering. Plant containers, pots and smaller planted spaces will be irrigated with drip systems. Irrigation of modern spray

systems should be restricted to non-visitor morning and evening hours to keep from conflicting with general visitor use.

The following are additional design recommendations for irrigation:

1. Irrigation systems should be automatically-controlled, designed in accordance with prevailing industry standards and codes.
2. Automatic controllers should be able to accommodate all aspects of the design, including a rain shut-off switch, multiple start times, a master valve switch, a water budgeting feature, and a connection to in-ground moisture sensors, if applicable.
3. The controller units should be enclosed in secure, weather and vandal resistant, locking housings manufactured expressly for the purpose.
4. Spray sprinkler heads should be low precipitation type, with matched precipitation rates and pressure compensating nozzles. All sprinklers should be pop-up body types with minimum pop-up of 4 inches in lawn and 12 inches in shrub areas. There should be no fixed riser type heads.
5. The irrigation design should be "trimmed" to adjacent buildings, walls and walkways to prevent overspray onto adobe or wood walls, paving and structures. Adjustable arc nozzles shall be used where required.
6. The design of the irrigation system shall minimize or consolidate sleeving under paved areas for laterals, mainline and wiring wherever possible.
7. City of Carlsbad approved backflow prevention units are required on all irrigation systems. The installation shall comply with all applicable health and safety codes.
8. All above grade irrigation equipment shall be visually obscured from public view with either vegetation, or enclosed in a wooden enclosure.
9. Drip systems shall be designed for the mature size of the plant material to be irrigated, including the eventual rooting pattern. All necessary equipment and sizing for mature plant size irrigation should be installed initially, with future outlets for tubing capped until needed. Self cleaning emitters should be used throughout.
10. All drip system pressure mainline and non-pressure lateral lines should be below grade PVC plastic with only short secondary laterals of polyethylene tubing.
11. Water Reclamation: The City of Carlsbad will provide for the future transfer of reclaimed water as a source for irrigation systems. Carrillo Ranch will comply under the most recent guidelines and standards currently adopted. Ranch staff management will need to consider the unique requirements of reclaimed water as a resource when determining the selection of plant palettes and water management practices. At the time of reclaimed water use, the irrigation system must be clearly labeled as to the use of reclaimed water.

4.4 Maintenance Standards & Recommendations

The charm of Leo Carrillo Ranch evolves from its stage in life, including the old adobe structures, windmills, stone walls, mature trees and weathered wood fences. The weathering, growth and change all add to the timeless perception of maturity. The maintenance of the Ranch will ‘walk the fence’ in order to maintain this level of maturity and yet allow for renewal and repair work at the same time. Any changes made need to be carefully organized and prepared to preserve the appearance of age and maturity. The goal of the Ranch’s Landscape Maintenance plan is to conserve and maintain, as fully as possible, all areas and features of the Ranch’s landscape that were present from the historic period of 1937-1961.

The following are maintenance recommendations:

Paved and Traffic Areas:

The onsite paving should look old and worn without being unsafe to the general public. This is essential for public historic parks. The finish can be enhanced by a combination of colored concrete mixes and/or sandblasting.

Concrete:

Concrete for repair and replacement should match the existing concrete in color and texture. Samples should be prepared in advance for review and approval before installation.

Flagstone and Tile:

Stone and tile pavers may work loose, crack, or become hazardous to the public. The paving areas should be monitored, with loose pavers reset immediately (such as the wash house courtyard). All replaced stones should reuse the same stone/tile or use similar ones. A reserve of old pavers should be stockpiled onsite for future repairs and replacements.



Decomposed granite

Decomposed Granite :

These surfaces will require constant maintenance to provide a safe, even and uniform surface. This will be difficult on sloping paths and trails. All sources of decomposed granite should be reviewed and approved to match the existing surface. A vibrating roller should be used on a regular schedule to firm the surface and provide compaction.

Resin Modified Paving:

The resin modified emulsion pavement may need to be repaired on occasion. When undertaking repairs, some experimentation should occur to decide on the best or optimum mix specifications for stabilizing the soil and any other special surfacing requirements. Consideration should be given to the mixture that will best resemble the natural soil.

Site Structures:

Stone Retaining Walls :

The stone walls along the entrance road and courtyards should emulate the look of being old and used. Repair and/or rebuild the walls as required for safety and stability with compatible materials. Mitigate the site erosion behind these walls according to the hydrology recommendations of the *Carrillo Historic Structures Report*.



Courtyard walls

Courtyard Walls:

The walls around the courtyards should be treated the same as the walls of the adjacent historic structures. The color should be a subdued white with a gray concrete or stucco showing through. Whitewash should be applied occasionally to maintain the stark, white appearance.

Adobe Gateposts and Pilasters:

These structures greet the visitors throughout the Ranch property. They should be repainted periodically after reconstruction to match the same style and character of the original Ranch theme.

Painted Fencing:

The white corral fencing throughout the ranch should be occasionally repainted after reconstruction. The fence should match the same style and character of the original Ranch theme, per photo documentation. The paint should be dull (not glossy). Once a suitable formula is developed, it should be recorded for future use.



Ramada

Wood Structures:

Unpainted structures, such as the ramada and the footbridges, should be rebuilt with redwood, clear all heart that has been weathered by either sandblasting or other acceptable means. An application of a commercial, colorless wood preservative, such as Thompson's Deck Preservative, should be made periodically. The redwood should be allowed to weather to a "silver-gray" color.

Artifacts:

It is recommended that a precise and prudent study of artifacts and furnishings be provided by professional consultants. This study should include identification of existing and missing objects, as well as development of specifications for conservation, care, repair, replacement and replication. The benefits of restoring the artifacts that existed during the time period of 1937-1961 at the ranch, will enhance the ambiance and personal adventure of each and every visitor's experience.

Some existing items and recommendations noted are:

Benches, Furniture and Pots:

Seating areas should be kept in good repair by routine observations. All surfaces of benches should be kept smooth and free of splinters. Unpainted benches should be treated with a commercial preservative occasionally.



Pot



Statue

Statues:

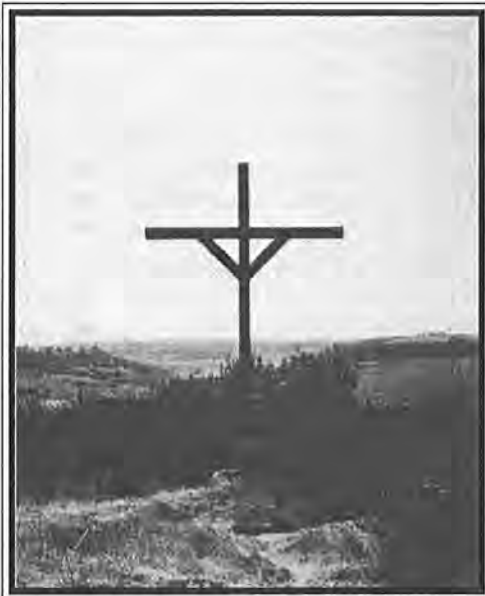
There are a few pieces located within the landscape that will require occasional repair and repainting by experts in the field of ceramics. Any pieces that are damaged beyond repair should be replaced or re-constructed by experts to match the original piece as closely as possible.

Painted benches:

Should be treated similar to the guidelines for painted structures.

Iron pieces:

Should be treated to prevent rust.



Conquistador grave marker

Conquistador Grave Marker:

The remains of Leo Carrillo's prize palomino have not been found. However, because of its importance to Leo, it is important that a replica of this marker be made from the existing photo documentation and relocated in the area south of the proposed parking lot above the informal picnic area. This marker should be cared for and occasionally inspected. An application of a commercial, colorless wood preservative should be made periodically. A plaque explaining the importance of Conquistador to Leo should be prominently displayed.

In general, care should be taken to place all furnishing items on bases to prevent wood or metal-to-earth contact. Furnishings should be placed out of the path of nearby irrigation systems.

Planting:

Removal and Replanting:

A large majority of the plants around the historic structures have died and/or been replaced with inappropriate species. Many of the large specimen plantings are mature and will require replacement in the future. There have been many documented references to the native vegetation. Most of the native vegetation has also declined or died, without replacement.

Age and disease may cause old trees to decline and die, sometimes over a long period of time. The standard should be to remove a tree when the majority of its crown has died or been removed. Old trees with significance should be fully documented before removal, and then replaced with the largest specimen the budget and availability will allow. The selected specimens should match in species, character and structure. For example, multi-trunk trees should not be replaced with a standard trunk.

Pruning:

It would be in the best interest of the Ranch to consult with professional arborists, due to the importance of this unusual and valuable botanical collection, especially in the area of subtropical plant material, cactus, succulents and palms.

All trees, shrubs, vines and perennials should be pruned to enhance their natural form and habit of growth. The pruning should maintain and preserve the natural shape and structure on a continual operation schedule, but not when the plants are in flower. Branches should be cut individually. Cuts should be inside the outline of foliage, and plants should be thinned out periodically. Mass shearing or limb stubbing should not be allowed. Gradual heading back to reduce size should be the preferred operation to maintain the natural outline and preserve the plant's structure.



Pepper tree

Size:

The reduction in size of plant materials should be done in phases, so as not to completely strip the plants of vegetation at any one time.

Weeding/Mulching:

Weeds, including bermuda grass, shall be removed from beds, completely and regularly, no less than once a month, and should be done either chemically or manually. Bermuda grass and other noxious weeds should not be allowed to become established. Pre-emergent herbicides are preferred for control, but post-emergent herbicides are acceptable, if necessary. The area around shrubs should be kept completely clear of groundcovers and excess soil. All weeds and debris should be regularly removed from the premises.

In certain planting beds, an organic mulch should be applied to conserve water, reduce weed growth, and enrich the soil. This mulch should be a non-contemporary composted garden refuse or leaf mold, rather than a commercial type products, such as shredded bark.

Disease and Pest Control:

A reasonable control of insects and diseases, using the San Diego County Department of Agriculture approved methods and materials, should be utilized. The insect and disease control program will require constant attention, and a combination of chemical spray programs and integrated pest management techniques.

This integrated pest management system will require a thorough understanding of the cultural and environmental factors that present insect and disease problems. This program is also recommended because of the close proximity of the residential neighborhood and the opportunity to serve as an example of environmentally sound maintenance practices.

The use of certain chemical sprays will be necessary to control some problems. Spraying should be done only when the air is still, preferably early in the morning.

Irrigation:

Equipment:

All controllers, valve boxes, heads, and other equipment should be as inconspicuous as possible. If equipment cannot be hidden from view, their color should blend with the surrounding plant materials. All sprinkler heads should be a pop-up type. Heads on risers should not be permitted.

Scheduling:

Controllers should be programmed to operate between midnight and 6 a.m., except for drip irrigation systems. Irrigation should not be permitted during visiting hours.

Water Use:

All irrigation should be kept to a minimum. The use of controllers, mulches, moisture sensors, bubblers and drip systems, and the scheduling of irrigating during non-peak hours are good conservative practices. The use of vertical aeration and deep watering tubes around large specimen trees should also be considered.

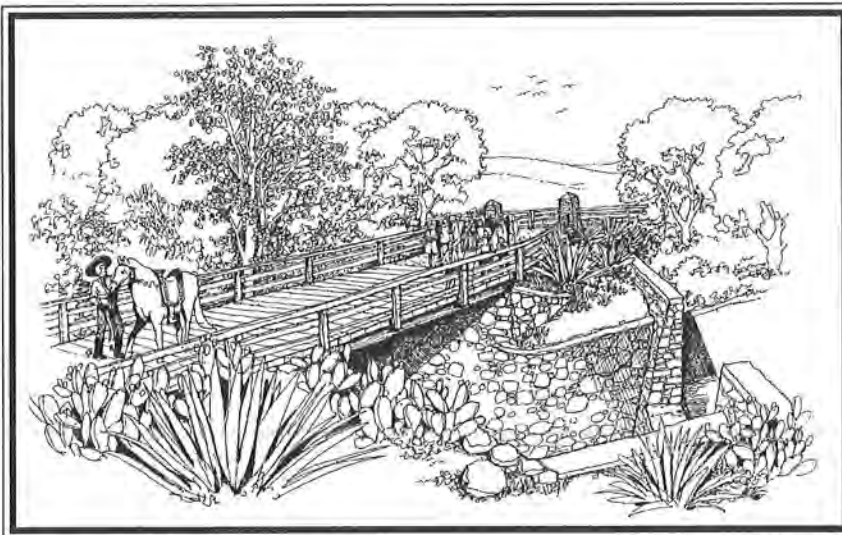
The watering of slow growing or drought tolerant plant material should be monitored to discourage their susceptibility to disease and pests.

**4.5 Historic Structures & Architecture
Recommendations & Guidelines:**

Site Restoration Features

Bridge to Deedie's House

The existing non-historic bridge to Deedie's House needs to be replaced with a new bridge to maintain the historic integrity of the Ranch. The bridge should be of wood construction with large, 2 inch thick wood planks at random width, and "tree limb type" wood guardrails. Simple steel bolts should be used as fasteners, and should be hidden where possible.



Bridge at Entryway

The concrete bridge at the main entryway should be retrofitted to reflect the original historic bridge. The side of the bridge should receive picket fencing and an automobile curb. The design should reflect the picket fence seen in the historic photograph. The existing concrete bridge surface should be covered with wood planks to reflect the original bridge.

Historic Structures

The proposed uses for the existing historic structures, along with their requirements for fire protection, are shown on Table 4-7.

A more detailed Interpretive Plan for the site will need to be investigated in collaboration with the future curatorial staff of the Ranch.

Main House / Hacienda

The Main House / Hacienda will be the focal point for both docent and self-guided tours. It represents not only an example of California architectural and cultural heritage, but the true ideals of Leo Carrillo during his residence at the Ranch (see Figures 2-7 and 2-8).

The house will replicate the life and times of Leo Carrillo as it would have looked during the period of historical significance. Each room would represent the furnishings and personal effects of the Carrillo family. Since there are so many stories to tell regarding Leo Carrillo's life, the rooms will not contain static displays and new interpretations of the rooms will be ongoing (see Figure 2-9).

Wash House

The Wash House will remain as is to help service the site. It will continue to have storage facilities and clothes washer and dryer. The interior of the Wash House will not be included with docent or self-guided tours.

Deedie's House

Deedie's House will be used as an art and cultural center to display Native American, Spanish, Mexican and "Cartoon Art." Hands-on arts and crafts may be conducted with visitors as part of the docent tour such as adobe bricks, face painting, basket-weaving, Native American jewelry, and cooking tortillas.

The porch area will be used for caricature drawings by local artists. The outdoor oven may be used for baking bread. The bathroom within the house will be used as an auxiliary storage area (see Figure 2-10).

Table 4-7 • Summary of Proposed Uses for Historic Structures

STRUCTURE / HISTORIC USE	RECOMMENDED USE	FIRE SPRINKLERS
Main House / Hacienda	Museum/Leo Carrillo's Life	Phase 2
Wash House	Wash House	N/A
Deedie's House	Art Shop	Phase 2
Feed Storage and Tack Shed	Storage and Tack Shed	Phase 1
Carriage House	Carriage House	Phase 2
Cantina	Cantina	Phase 2
Stable / Bunkroom	Stable / Bunkroom	Phase 1
Wood Barn	Theater	Phase 1
Caretaker's House	Interpretive Center/Docent Building/Gift Shop	Phase 2
Caretaker's Garage	Public Restrooms	N/A
Swimming Pool and Cabaña	New Restrooms Behind Cabaña	N/A
Foundry	Foundry	N/A
Equipment Shed	New Caretaker's House	N/A
Storage Shed	Storage	N/A
Chicken Coop (New Structure)	New Restrooms	N/A
Water Tank	Water Tank	N/A

Feed Storage and Tack Shed

The Feed Storage will continue to be used as a storage facility. The Tack Shed will contain interpretive tack and saddles to help define the story of a “working ranch” during the life and times of Leo Carrillo. The area will be part of the docent tour and self-guided tour (see Figure 2-11).

Carriage House

The Carriage House will display large ranch artifacts such as tractors, carriages, or Leo’s 1948 Bullhead Chrysler. The area will be part of the docent tour and self-guided tour (see Figure 2-11).

Cantina

The Cantina will replicate the furnishings and artifacts as present during the time of Carrillo when the ranch workers were active at the site. The area will be included as part of the docent tour as well as for self-guided tours (see Figure 2-11).

Stable / Bunkroom

The stable will be used to house farm animals such as horses and sheep. The Bunkhouse will be used to display furnishings and artifacts used by the ranch workers during Carrillo’s stay at the Ranch. The area will be included as part of the docent tour as well as self-guided tour (see Figures 2-12 and 2-13).

Wood Barn

The wooden barn will be converted to a theater. The first floor will house a multi-purpose area for theatrical work, movies, “vaudeville” shows by local theater groups, lectures, and a meeting hall for special events. Also included on the first floor is a utility room, storage room for chairs, food preparation area, and a unisex restroom. The second floor includes a storage area, an audio/visual room, and office space (see Figures 2-14 and 4-19).

Caretaker’s House

The Caretaker’s House will be rehabilitated into a Visitor’s Center, Gift Shop and Caretaker/Docent offices. Within the Visitors Center will be various interpretive displays and exhibits of Leo Carrillo’s Mexican-American lineage. Visitors will be given the opportunity to take a self-guided tour of the Ranch or take a tour provided by a docent (see Figures 4-17 and 4-18).

A gift store will also be located within the Caretaker’s House and will enable the visitor to return to the Visitors Center prior to the departure from the park and purchase various memorabilia from their visit to the Ranch. Items vary from Native American and Spanish/Mexican art, photos/postcards of Leo Carrillo and the Ranch, key chains, books, clothing, and other paraphernalia.

Caretaker’s Garage

The Caretaker’s Garage will be converted to provide public restroom facilities for both visitors and staff. A small janitor’s storage area will also be included (see Figure 4-17).

Swimming Pool and Cabaña

The swimming pool will not be utilized although the pool will be filled with water to a depth of two (2) feet. The Cabaña will be furnished to simulate how Carrillo entertained his guests. New restrooms will be introduced behind the Cabaña for public use (see Figure 4-17).

Foundry

The Foundry will display equipment artifacts as used in a real working ranch. Demonstrations may be conducted for school tours and docent tours showing the repair of farm implements, wagon wheels, and the shoeing of horses.

Equipment Shed

The equipment shed will be converted to house the ranch's caretaker and will include two (2) bedrooms, a kitchen, bathroom, and living room. This will be a completely new structure within the existing equipment shed.

Storage Shed

The storage shed will remain as a storage shed for use by the curatorial staff to house artifacts for possible use in the museum and archival materials not currently on display. The storage shed should be temperature controlled and be provided with adequate shelves.

Chicken Coop (New Structure)

The Chicken Coop will be reintroduced to the ranch site as a public restroom facility with modern plumbing and a janitorial storage area. The exterior of the Chicken Coop will replicate the original facades as shown in the historical photographs (see Figure 4-20).

Water Tank

The Water Tank will be utilized as a permanent display for self-guided tours and docent tours. The roof will be replaced but the tank will not hold water.

Exterior Building Restoration Features

Wrought Iron Gateways

Several wrought iron gateways exist around the hacienda and caretaker's house. The gateways contain the original Flying 'LC' brand and should be restored. The hinges are beginning to rust and are pulling loose from the adobe walls. These wonderfully sculptured wrought iron gateways, with their lacy design, should be restored and put into their original working order.

Horseshoes

Horseshoes and their images are found throughout the ranch site. Some horseshoes are cast into the concrete walkways, while others are used for scalping mud from the bottom of boots. Several horseshoes are also hung over the doorways for "good luck". The images of horseshoes were pressed into the wet concrete and are found around the bunkhouse. All loose horseshoes should be firmly fastened or secured to prevent theft or vandalism.

Bull's Head and Skull

Leo Carrillo loved to joke and placed several bull's head skulls with light bulbs coming out of the eye sockets as whimsical delights for

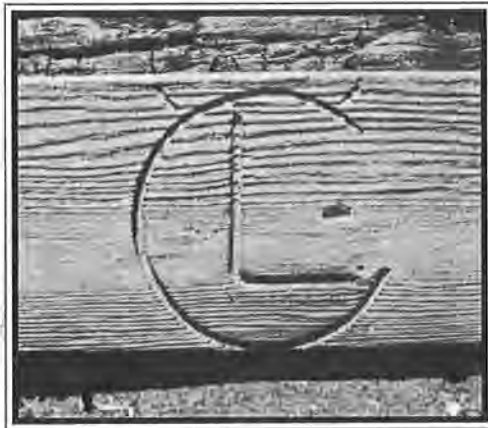
his visitors. He located one over the door at Deedie's house, and also over the entry door to the cantina and the granary (now missing). The bull's head at Deedie's house has disintegrated and needs to be replaced. The large bull's head at the hacienda can be seen in early photos and is currently in good to fair condition with the ears and portions of the nose missing. The hair is also coming loose and the head needs to be repaired.

Light Fixtures

The exterior light fixtures at the hacienda, stables, and caretaker's house are unique examples of early Spanish design. The light fixtures originally contained colored light bulbs to give a romantic feeling around the Ranch at night. All of these hanging and wall sconce light fixtures should be removed, reviewed for safety, restored, and reinstalled back in place. All of the glass should be salvaged, even if cracked or missing small pieces. Only if the glass is missing, should it be replaced in-kind.

Flying "LC" Brands

More than 50 Flying "LC" brands are found all over the Ranch site, in every imaginable material and location. The Flying "LC" brand is found in the wrought iron gates; as a wrought iron "LC" hung from the chimneys; on the gate posts; cast into the concrete walkways, steps and adobe walls; used as a brand on wood and on leather door pulls; formed of wood in the bunkhouse; and scribed in the plaster. Visitors to the Ranch are constantly discovering these wonderful little brands that serve as a reminder that Leo Carrillo's Ranch was a working ranch where cattle were actually branded as a historical part of the old west. Several of the small brands, such as those found on the leather door pulls and hardware, should be permanently fastened, or removed, stored safely and replaced by replicas.



"LC" logo on wood gate

Interior Restoration Features

Door Hardware

The door hardware in the hacienda is very special and all handmade. The hardware consists of small leather door pulls with the Flying "LC" brand, cast metal or wrought iron door latches, also having the brand, and forged hardware security latches, hinges and sliding bolts. The other buildings on the Ranch have old 1930s era porcelain knobs, ball-tipped hinges, key latches, large sliding bolts (at the stable area) and many unique "gadgets" of metal used for the doors and windows. Most of the hardware is in poor condition and needs to be removed, restored, and reinstalled. The black painted hardware, when restored, should receive powder-coated paint.

Light Fixtures

The design of the interior light fixtures is varied. Several of the hanging fixtures are of Spanish design and have ornate metal work, scrolls and old glass. The master bathroom contains art deco fixtures, typical for the modern 1930s) and there was no attempt to make this facility reflect "Spanish" design. These fixtures are unique and need to be preserved. The large chandeliers of the master bedroom and living room are very romantic and provide a diffused light within the hacienda at night. Most of these fixtures are in good condition, but should be removed for safety, restored, and reinstalled during the interpretive work.

4.6 Security and Safety Recommendations & Guidelines:

Project Planning:

It is important that protection planning for the Leo Carrillo Ranch be coordinated in a site "security master plan". This plan will include the needs and concerns of a wide variety of people, including security advisors, police, fire marshal, site staff, users and volunteers. The plans should address efficiency, cost-effectiveness and compatibility with project objectives. It is recommended that the security master plan be undertaken prior to the first phase of the project so that the findings can be incorporated into the initial development, if applicable.



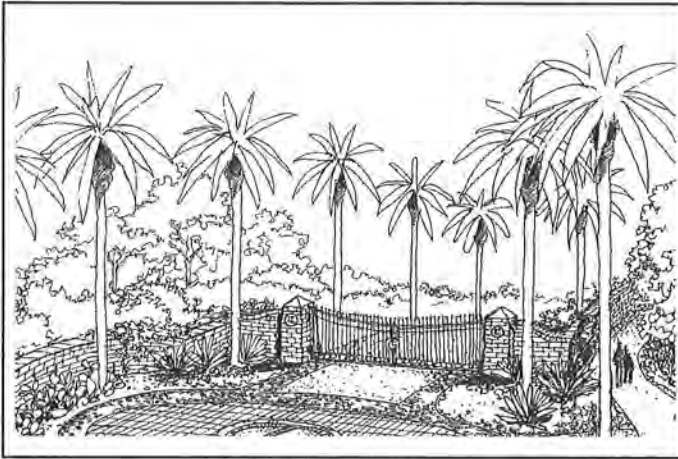
General Approach:

The Ranch is a significant cultural and historical site, hosting architecturally sensitive structures and artifacts. Threats may come from natural, as well as manmade sources. Fire, flooding, earthquake, vandals, criminals and other trespassers will be the predominant threats. Incidents may also occur during public or private function times. The buildings constructed of adobe brick and wood are not inherently fireproof, nor are they reasonably resistant to intrusion or vandalism. The structures are intended to publicly house and display artifacts and collections owned by Leo Carrillo, his friends, relatives and other contributors. These artifacts, whether of a large or small intrinsic historic value, must be held safe and secure at all times. Special security measures must be undertaken, including audio, visual and electronic measures. However, to effectively display the life of Leo and to maintain the historic integrity of the site, security measures should not intrude upon the display of artifacts or facilities. Protection of the park, buildings, contents, staff and visitors will require appropriate, cost-effective measures. While the facility will be open to the public during the day, some after-hours events may occur. To maximize on-site security during night and off-time hours, an on-site, live-in caretaker who resides on the property is recommended.

The Ranch Staff should be trained to manage onsite personnel problems and to resolve minor issues. Opportunities for surveillance by either docents, staff, electronic and other technological systems need to be developed. An overall onsite contingency plan should be developed to protect personnel and facilities. However, given the potential that the Ranch's popularity and use will increase over time, the safety of the Ranch and public will need to be constantly reevaluated, at least on an annual basis. Any necessary improvements must be made without effecting the historic character of the ranch.

Site Perimeter Protection:

A nominal six foot high solid adobe type wall will surround most of the property that faces the general public, with openings for vehicles, pedestrians, maintenance and emergency access (see site features). These entrances will be controlled, and will be closed during non-public hours and left open during scheduled visitor hours. The western open space portion of the property be the only area fenced. The fence will provide basic protection from trespassers, while allowing small wildlife to pass through.



Main Ranch entry

It is understood that a wall, without intrusion sensors, will only act as a property identification boundary. The intense and heavy planting of thorny or prickly plants will provide additional deterrence to trespassers, as well as enhance the natural beauty of the site.

A large, movable and lockable vehicular gate will secure the main ranch entry which is located off of Carrillo Way. A secondary and lockable maintenance gate will be accessible off the community trail by City maintenance personnel and emergency vehicles.

All of the pedestrian trail access points will be gated, and closed and locked during non-public hours.

Site Interior Protection:

It appears that general open space protection, over and above the perimeter walls, may not be needed at this time. However, this future requirement should be factored into the equipment sizing and types. There will be a need for protection of staff and visitors during hours of darkness and other personal emergency situations. On-site communications should be immediately available to staff and visitors to summon assistance during public, as well as non-public hours. Two-way radios, other signaling devices and remote, fixed emergency call buttons will meet these needs.

There will also be a need for emergency on-site response to individual illnesses and accidents. Staff should be trained and prepared in advanced first-aid, with appropriate on-site emergency equipment. Drinking water locations at reasonable distances should be available for staff and visitors, and may be co-located, where appropriate, with restroom facilities. If on-site refreshment facilities are anticipated, they will also require appropriate protection features.

Lighting security and protection should include personal protection provisions for those hours of darkness, especially in the winter, when the public and staff may be on-site, participating in activities, or accessing the parking area.

Facilities and Contents Protection:

Security System

All structures should have the capability to contain protective security devices, both electronic and physical. The value of the structure and its contents will determine the need and degree of protection. All facilities, at a minimum, should have the capability for protection to be contained within the building's structure and hidden from view. Some construction details of the buildings may need to be modified. As security is upgraded in the future this advance capability will be cost effective.

Currently there are no security systems found within the buildings. A security system will be installed that is electronically connected to a central distribution center in order to increase the safety of the objects housed within the buildings from potential removal.

A second level of security would protect areas that are essentially non-public, but contain objects located in work spaces and offices. These spaces would be alarmed when they are not in use and during the Ranch's operating hours when visitors are present. The spaces will be accessed only by staff through a coded sentry (push-button type) or a single key.

Artifacts of uniqueness or intrinsic value will receive special and specific protection. The protection, however, should not detract from the visual integrity of the artifact.

The integration of security and protective measures should be located in a protected onsite facility that can be readily monitored by either transient or resident staff, or could be directly monitored by other Carlsbad City security forces or facilities. Present state of the art technology can provide appropriate protection with minimum staffing requirements or risk.

Other available objects not suitable for the Ranch could be stored outside the Ranch in City-owned secure warehouses or available for view by the general public at the Safety Center. Extremely valuable objects could be duplicated and placed at the Ranch for the visitors' enjoyment.

Fire Protection

Fire protection of the buildings should be given high consideration. Although the site, once the development has been completed, will not be as prime to fire-storms several of the buildings will remain at a high fire risk. Based on a discussion with the City of Carlsbad Fire Department, the following recommendations are made:

- Fire hydrants should be installed at least 100 feet away from the structure they are to serve so that hoses can be hooked up in safety in case the structure is on fire. It appears that three (3) fire hydrants should be installed.
- The real threat to a wood roof would be a brush fire. Following the development of the surrounding area, this threat would diminish. However, there is still fire risk if the building has a natural "source of ignition" (electrical outlets, stoves, fireplaces etc.). Therefore it is recommended that the occupied wood structure buildings be fire sprinkled from the domestic water source.
- Each building should be installed with a smoke detector or heat detectors. Heat detectors have a fixed temperature scale and notes rate-of-rise in the ambient temperature. All the rooms of all the buildings are to receive heat detectors tied into the fire alarm system. Due to the high level of dust and air-borne pollutants at the site, smoke detectors would not be as effective.
- For interior fire sprinklers, 1500 gallons per minute on-site source of water would be required.
- Do not store trash cans within the structure. Trash cans for parks facilities have been a source of fire in Carlsbad.

- Access to the site by fire trucks require a 20 foot wide road and 10% maximum grade. This condition may be modified by the Carlsbad Fire Department if the buildings are fire-sprinkled. A route of travel and tour of the site prior to its full development should be made in consultation with the Fire Department.

Security/ Communication Systems:

All on-site personnel and staff members should be equipped with state-of-the-art communication devices, such as short wave radios or beepers. These devices will assist coordination efforts and increase the effectiveness and productivity of an efficient, reduced staff.

Public telephones should also be located on-site, with locations at the visitor center, hacienda area, and near the barn or stables.

Lighting:

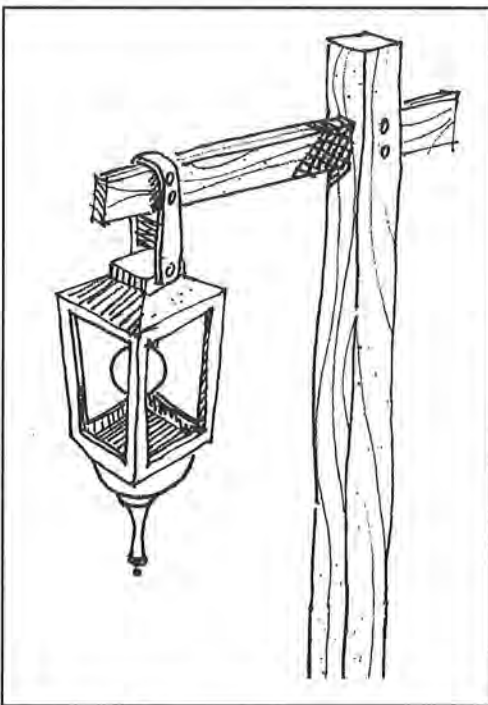
A detailed lighting plan will need further study by an electrical engineer. However, for the purposes of this document, there are three types of lighting proposed:

- 1) Area or Safety/Security lighting - Illumination of entry/exit gates, gateways, parking lot, driveways, walkways and maintenance areas.
- 2) Garden lighting - Minimal garden illumination using hidden or discreet pathway lights and indirect lighting of certain specimen plantings.
- 3) Event lighting - Illumination through the use of temporary lighting at all event areas.

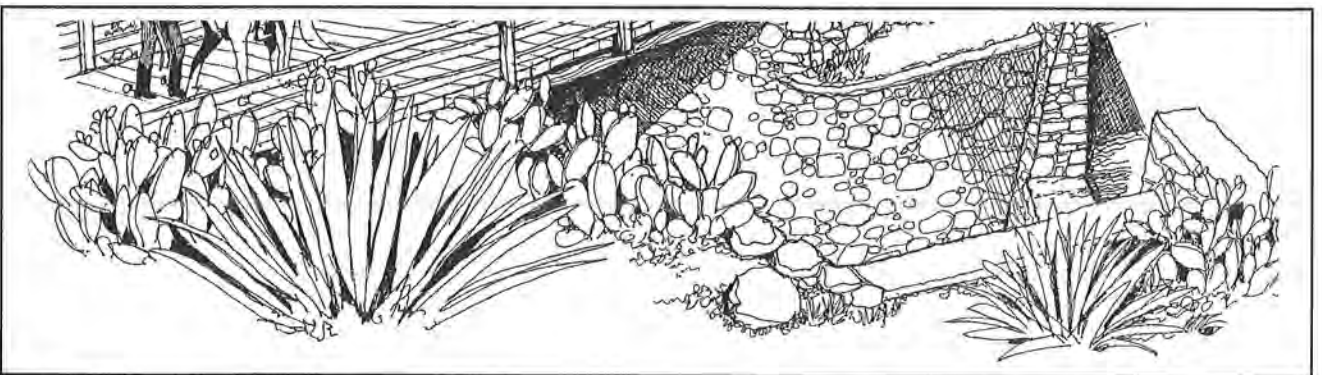
All lights should be controlled from a central control panel, with flexibility for multiple systems of operation. Ranch personnel and future lighting designers should experiment with temporary or portable light fixtures to analyze which levels of lighting and fixture types are most effective. All lighting should be of authentic character and quality, out of respect for the Ranch's history, with a sensitivity to the residential neighbors.

Barrier Landscapes:

The landscaping proposed around the perimeter and at the base of the Ranch perimeter walls should utilize a variety of thorny or prickly type vegetation. This natural barrier of planting would provide another level of security, and discourage uninvited guests and vandals. The landscape maintenance should be encouraged in augmenting



Lighting detail



Barrier landscape

this type of planting palette through replacement and /or adding of additional materials, as necessary. A number of attractive plants are available to achieve this purpose. All plants should be of authentic character and quality, in keeping with the Ranch's historic theme. Refer to the landscape guidelines for recommended types of plant materials.

4.7 Programming
Programs, Events and Activities

The interpretive plan provides a strong sense of purpose and identity for the Rancho de los Quiotes. The theme and categories outlined in the interpretive plan should be used for the majority of the public programming and events in order to continually strengthen the site's image and identity. These programs and special events create a positive marketing image that will substantially increase the audience and fund-raising opportunities for the Ranch. They can solicit local and corporate support, and help bridge community connections.

The majority of the site should be utilized as much as possible for programming. The proposed open lawn areas could be utilized for additional demonstration areas and public events. The open space/pasture area where the old corrals are located should be utilized for appropriate events and programs. The wood barn/theater will greatly enhance the Ranch's ability to host lectures or audio-visual presentations for groups of fifty.



Examples of Programmed Special Events for Year 1

School Tours: (Student Day at the Ranch)

- Allocate 2 or 3 days per month with a morning and afternoon shift

Festive Community Events such as: Leo Carrillo Day at The Ranch

- 1 or 2 major events the first year

Weddings at The Ranch

- A good revenue source and may have to be capped at only 12 -15 for first year

Corporate Retreats/Parties

- 4 during the first year
- Venue could include square dancing, rodeo, western barbecue

The ongoing programs/events options are still being developed, based on examples from the City of Carlsbad public workshops, along with activities occurring at Rancho Los Alamitos, Rancho Los Cerritos, Rancho Buena Vista and other similar project operations.

Special events could be held at Carrillo Ranch in conjunction with the Carlsbad Visitors Bureau. The Visitors Bureau has discussed opportunities with the Four Seasons Hotel and La Costa Resort for types of appropriate corporate retreats, along with income expected per event.



Additional examples of special events or regular activities include, but are not limited to:

- Chuck Wagon Barbecues, Rodeos, Vaquero Riding Demonstrations
- Famous Cowboy Days
- Leo Carrillo Day
- Ongoing (weekly/monthly) Western Period Movies
- Weddings
- Western Craft Classes (weekly/monthly)
- Business Retreats
- Day Conference Center
- Corporate Parties
- Student Day at the Ranch
- Western Cartoonist Day/Comic Book Fair
- Boy Scout/Girl Scout Campouts
- Carrillo Ranch Motion Picture/Vaudeville Days
- Period California Landscape and National Wildlife Studies
- Period Automobile (trains & planes) Day
- Native American & Archaeological Studies and Events (Quarterly)
- Pioneer Days and the Spanish American Period
- Art Events at the Ranch
- Leo Carrillo Talent Show

Arts Program

“We say a person is ‘simpatico’ if he is in sympathy and close accord with those of us who have tried to maintain the ideals and heritage of both our civilizations.” The “California Spirit”, as defined by Leo Carrillo, should be the continuing focus of the Flying L C. From the beginning, it was Carrillo’s intention to “get an old adobe which was forgotten, but not too late to save, and rebuild it and put it back where it was 100 years ago”.

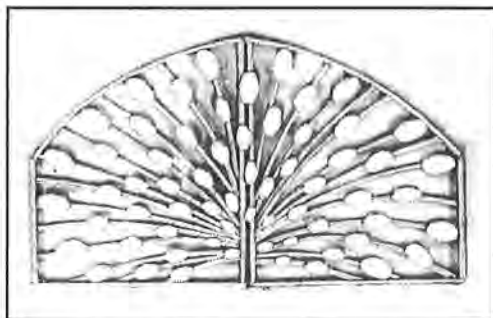
It is critical that the art component for this master plan reflect the California spirit and continue to represent Carrillo’s dream. All historic, educational, recreational and artistic programming for the Ranch should be developed to portray Carrillo’s interest in California history, of which he and his family have played such a prodigious part.

With his philosophy as a benchmark, three components will make up the art program for the ranch: public art, an artists-in-residence program, and an on going visual and performing arts program.

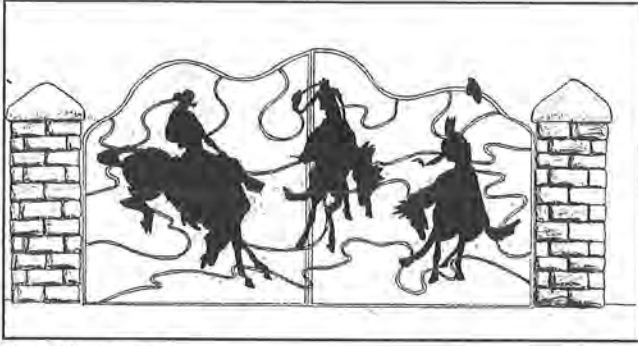
Public Art

Because the ranch will be a public space, it will be necessary to expand the infrastructure and make other adjustments with regard to safety, security and accessibility requirements. This will produce opportunities to incorporate art in proposed infrastructure elements, such as fences, gates, ramps and benches.

For example, a wrought iron security gate could also be a metaphorical sculpture that is celebratory of a subject relative to the ranch, such as the famous peacocks. The use of wrought iron, which has historically been used on the Ranch, would be in keeping with the master plan goal to emulate the past. Further, a story about an important aspect of the history of the Ranch is celebrated and preserved.



Peacock gate



Caballeros gate

Another gate could be comprised of metal cutout silhouettes of Carrillo's life long friend's, Ed Borein, cowboy action drawings. These drawings, which include cowboys on bucking broncos, would be reminiscent of the activities on the working Ranch. They would also celebrate Rancheros Visitadores, the famous Santa Barbara trail ride that Carrillo helped found. The Visitadores got together for five days in May every year to celebrate the old California custom, Los Pastores, which included a procession and visits to ranchos to keep alive the spirit of Christmas time. This ended during Spring roundup with a rodeo. Carrillo credits Ed Borein for creating the Rancheros Visitadores event, but shared with him the

vision that such an event would "provide a perfect opportunity to revitalize and recreate the true California spirit."

Benches will be necessary along the tour route, as well as at other public areas around the ranch. Their design should reflect the past Ranch, and offer further opportunities to expand the art program, while adhering to the goal of historical correctness. Horseshoe shaped benches would be an obvious and appropriate metaphor from which to base a bench design. Others could depict the Carrillo Family Coat of Arms etched or formed into their surfaces, while still others could incorporate the names of all the films, stage plays and television serials he appeared in.

Because of the change in grade, an accessible ramp will be necessary between the parking lot and entrance to the ranch. The ramp will require a retaining wall, which will be an appropriate place for additional artwork. The wall could be formed concrete depicting elements related to the ranch, or simply a creative rock pattern using material found on site. It could also be a place to create a "guest list" of all who visited the ranch during Carrillo's time there.

An herb garden is on the list of possible elements to be included in the Ranch master plan. It has been suggested that it be sited in a clearing north of the swimming pool. As this area is visible from aircraft landing at nearby Palomar Airport, the garden could be planted in the shape of the Ranch brand, the Flying L C. This is in keeping with the feeling of discovery, implied or not by Carrillo, by the many representations of the brand, both large and small, found all over the Ranch.

Coordinating the art component with the infrastructure of the Ranch will help offset the cost for individual art works. Budgets for selected infrastructure elements could be augmented with grants from public and private funding sources. The Carlsbad Arts Office could provide information on possible appropriate funding sources, as well as assist in grant writing. The result could be a collection of creative and unique art works related to Leo Carrillo, and sited all over the ranch.



Artist-in-Residence Program

"She (Deedie) had learned some of the Indian arts, how to weave baskets and to make jewelry and these gave her hours of pleasure..." Leo Carrillo.

"...would never be used for any other purpose except for the benefit of the citizens and the education of children..." Leo Carrillo

In keeping with Leo and Deedie Carrillo's strong connection with the visual arts, studio space on the ranch could provide educational opportunities for area school children, as well as other citizens.

An artist-in-residence program could offer art classes that would include Deedie's preferred art mediums: basket weaving, jewelry making and painting. The City of Carlsbad Arts Office could facilitate the program, coordinating artist selection, and technical and logistical issues.

The following outline for the artist-in-residence program for Carrillo Ranch is derived in part from the Individual Artist Residency Guidelines of the California Arts Council (CAC).

The artist-in-residence program for the ranch will emphasize long-term, in depth interaction between the Arts Office, professional artists, and an ongoing group of participants through workshops and classes.

The program may engage participants in a broad range of art and culture activities, all of which must be united by a single philosophy, vision, purpose or theme that directly relates to Carrillo Ranch.

The program will provide a creative, hands-on experience for participants that develop artistic abilities and creativity, and promote the use of arts and culture as a learning tool. Participating artists will perform a community service by sharing skills and techniques, while encouraging creative thinking and problem solving. The enthusiasm and commitment of the artists hired are key to a successful program.

Eligibility

Guidelines for artist selection could include professional experience in the artistic discipline to be taught for at least the preceding three years. The artist may be required to have some prior experience in managing an arts program, and a willingness to work with a variety of age groups.

Visual and Performing Arts Exhibition Programs

Visual Art Exhibition Program

In his book, Carrillo mentions many memorable experiences with his friend, the famous California cowboy artist, Ed Borein. He even suggests that he influenced Borein to be an artist. Carrillo was himself an accomplished artist, having studied under the California Master William Keith, and subsequently working in the art department of the *San Francisco Examiner*.



Painting of Donner Pass by William Keith

With regard for his long association with some of the prominent (premier) visual artists of his time and his own aspirations to paint, it would be appropriate to provide gallery space somewhere on the Ranch for work by cowboy and California landscape artists. The Ranch could be a new venue in North County, offering the optimum setting for traveling, as well as curated exhibitions.

Due to Deedie's keen interest in "...bringing back the ideas of beauty..." in Native American art, a collaboration with the San Diego Museum of Man and the Natural History Museum featuring exhibitions of Native American arts and crafts, would also be appropriate for the Ranch. Luiseño Indians were early inhabitants of the area and renowned for their rock art and basket designs. They would be an ideal subject for a natural history exhibition.

There are a tremendous amount of photographs of Carrillo's guests enjoying themselves at the Ranch. Hollywood celebrities, such as W.C. Fields, Jane Withers and John Wayne, visited the Ranch, and Gable and Lombard spent part of their honeymoon there. Writers, like Irvin S. Cobb, and journalists, like Ed Ainsworth, along with visual artists, such as Joe De Young and Clyde Forsythe, were all Carrillo's guests at the ranch.

The City's photographic collection documents Carrillo's rich and diverse life. It is a unique archive and a valuable tool for studying the history of Hollywood, Vaudeville and the New York stage. A partnership with the Friends of Carrillo Ranch, Carlsbad Historical Society and the Carlsbad Library should be established. Selected photographs and archival material should be on permanent display, exhibited inside appropriate Ranch buildings that are accessible to the public.

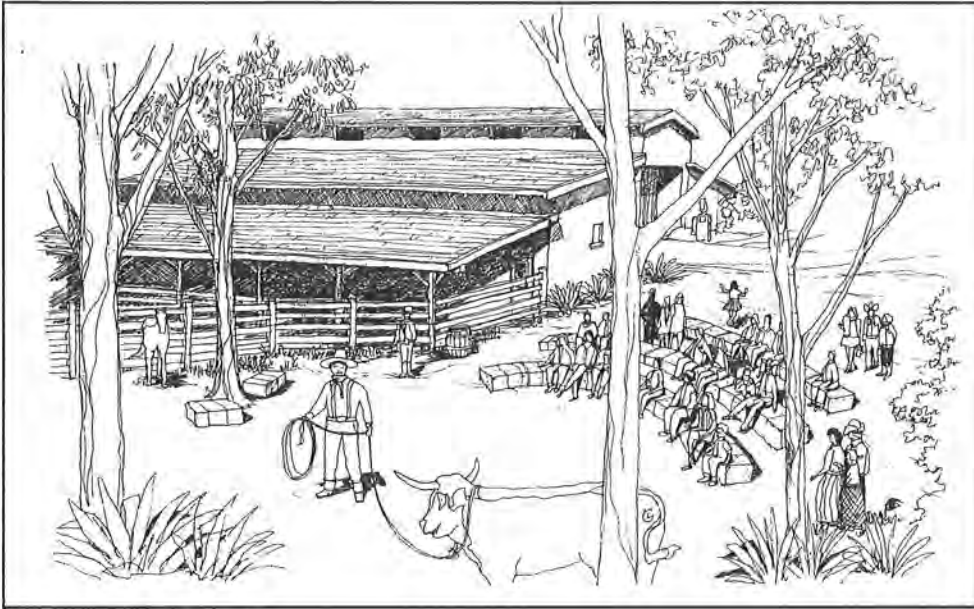
The photographic collection could also be exhibited off-site at the Carlsbad Public Library and City Hall. A curated exhibition could be proposed for the San Diego Museum of Photographic Arts (MOPA).

A program between other California historic sites, such as the Will Rogers Museum and the Phineas Banning House in Wilmington, could exchange site exhibits. A program involving interagency collaboration of historic sites should be developed and promoted through the various tourism bureaus. Historic site tours are becoming increasingly popular for tourists, both foreign and domestic, and can help generate revenues that can be cycled back into the Ranch.

Performing Arts Program

Carrillo's life was greatly affected by the performing arts. His career began in Vaudeville and the legitimate theater, and his work in film and on television is legendary.

A performing arts program could celebrate and prolong this legacy, while providing a needed venue for area performing arts groups, such as the Carlsbad Dance Ensemble and the Playreaders of the Carlsbad Playhouse, as well as area school performances.



Proposed amphitheater

A small outdoor amphitheater/gathering area would be a tremendous asset to the Ranch and the place for story-telling or performance events, as well as for uses envisioned for the interpretive program proposed for the Ranch. Further, the area could be designed by an artist which would provide an opportunity to expand the public art program for the Ranch.

The gathering area could take advantage of and conform to the shaded sloping topography south of the stable and wood

barn. It could be a stabilized earthwork shape carved into the slope, consisting of terraces used as informal hay bale seating areas. The terraces would be stabilized with jute matting or straw, as required, to minimize erosion. Blankets could be provided, creating a relaxed picnic-like setting from which to view performances and other events.

Carrillo was king of the malaprops and well known for his love of story telling. A story telling or cowboy poetry reading festival, similar to the annual Elko Nevada event, could be part of the Gymkhana proposed in the master plan. This event could take place in the amphitheater and would enhance the historic context of the ranch.

The art component for Carrillo Ranch that includes public art, an artist in residence program, and an ongoing visual and performing arts program, will enhance the Ranch by focusing on Carrillo's ideals, "In the Spirit of California". It will inform visitors about this extremely influential personality in California history while fulfilling his dream that the ranch be used for the benefit of others.

Artifacts & Collections

As mentioned earlier, Rancho de los Quiotes has a number of unacquired artifacts. It is recommended to arrange for inter-museum loans of Leo Carrillo's artifacts and memorabilia to enhance exhibit opportunities for the public's enjoyment. Known museum pieces include:

- *Imperial Palace Casino and Car Museum* in Las Vegas has Leo's 1948 Chrysler "woodie" convertible.
- *Santa Barbara Historical Society* has Barbierri paintings of Leo's ancestors.
- *Museum of Man* in San Diego has some of Deedie's Native American artifacts.
- *Seeley Stable in Old Town State Park, San Diego* has Leo's saddles (one is his Rose Parade favorite).

The expectations are that once the ranch is open, a number of these collections will be donated. However, it would still be wise to develop a storage area for acquiring new materials and restoring them in order to have a historically significant site. This will require staff or professionals to select and the acquire the materials and provide an interim storage and preparation area.

Besides the interpretive exhibit areas, there could be a need for storage on-site of the artifacts. This space should be approximately 500-600 square feet of floor space, with a climate stabilization system similar to that required of all the structures being utilized. There could be an off-site storage area, however this would be less ideal and more difficult to control if a non-profit organization was in operation.

There may also be a need for future on-site storage requirements and research use. The question is whether the Ranch wishes to assume the professional and financial responsibilities absorbed in continual collection storage, cataloguing and accommodation of researchers.

4.8 Implementation

Phasing

The ideal approach, if the financial resources are available, would be to build the entire Ranch plan at once. However, due to funding limitations, both for capital improvements and maintenance and operations, a phased development is proposed.

The best formula for phasing is to build specific parts of the master plan throughout, and not concentrate on one area only. The priority should be placed on orienting the visitor to the Ranch.

The phasing proposed for Rancho de los Kiotos is recommended in three phases. Refer to the Appendices for detailed estimates and phasing. A cost summary is provided on Table 4-8. The general sequence is summarized as follows:

Phase 1

- Installation of six foot high perimeter adobe wall/pilasters and fencing with associated landscaping and irrigation
- Limited seismic rehabilitation and fire protection of the historic structures.

Phase 2

- Circulation improvements including a new park entry, driveway, parking lot area and disabled access ramp systems
- Installation of site infrastructure (water, sewer, utilities, lighting)
- Interior restoration of visitor center, hacienda, wash house, cabaña, partial wood barn, new caretaker's house, and Deedie's house
- Construction of new restroom building at cabaña
- Alarm systems
- Exterior improvements of the hardscape areas associated with Phase 2 improvements (paving, site furnishings)
- Development and fabrication of the interpretive signage
- Installation of landscaping and irrigation associated with Phase 2 improvements (streetscapes, new entry, parking lot and orchard)

Table 4-8 • Cost Estimate Summary

PHASE I IMPLEMENTATION		Line Item Cost
I. CONSTRUCTION PHASE		
A. Site Work		
Perimiter Wall, Pilasters & Fencing		\$260,500
Utilities & Grading		\$44,000
Landscaping & Irrigation		\$50,000
B. Historical Buildings/Restoration		\$145,000
D. Contingency	20%	\$99,900
SUB TOTAL		\$599,400
II. SOFT COSTS		
A. Design	8%	\$47,952
Architect, Landscape Architect		
Civil Engineer, Soils		
B. Inspection/Admin/Testing	8%	\$47,952
SUB TOTAL		\$95,904
PHASE I TOTAL		\$695,304
PHASE II IMPLEMENTATION		Line Item Cost
I. CONSTRUCTION PHASE		
A. Infrastructure/Parking		\$725,245
Utilities & Grading		
B. Historical Buildings/New Const.		\$503,000
C. Hardscape/Furnishings		\$1,072,575
D. Landscape & Irrigation		\$331,202
F. Contingency	20%	\$526,404
SUB TOTAL		\$3,158,426
II. SOFT COSTS		
A. Design	10%	\$315,843
Architect, Landscape Architect		
Civil Engineer, Soils		
B. Inspection/Admin/Testing	8%	\$252,674
SUB TOTAL		\$568,517
PHASE II TOTAL		\$3,726,943
PHASE III IMPLEMENTATION		Line Item Cost
I. CONSTRUCTION PHASE		
A. Historical Buildings/New Const.		\$466,580
B. Hardscape/Furnishings		\$371,410
C. Landscaping & Irrigation		\$295,693
D. Contingency	20%	\$226,737
SUB TOTAL		\$1,360,420
II. SOFT COSTS		
A. Design	10%	\$136,042
Architect, Landscape Architect		
Civil Engineer, Soils		
B. Inspection/Admin/Testing	8%	\$108,834
SUB TOTAL		\$244,876
PHASE III TOTAL		\$1,605,295
GRAND TOTAL (PHASES I, II & III)		\$6,027,542

Phase 3

- Interior restoration of cantina, carriage house, feed storage, stables, water tank, foundry, storage shed, and completion of wood barn/theater
- Construction of new restroom building at chicken house
- Construction of the City-wide and community trail linkages by the City and the adjacent development
- Restoration of original old entry bridge
- Restoration of the original corral fencing
- Restoration of arbors at the visitor center, and between the hacienda and the cantina
- Exterior improvements of the hardscape areas associated with Phase 3 improvements (paving, site furnishings, barbecue, fish pond)
- Creation of the botanical garden
- Installation of landscaping and irrigation associated with Phase 3 improvements

Fabrication Contracting Recommendations

New Buildings/Interpretive Elements

Separate contractors will be used to construct any of the new buildings and proposed interpretive elements. It is recommended that the contracts for fabrication of the interpretive elements, such as fencing, lighting, etc., be negotiated with a single qualified fabricator, rather than through competitive bidding. This is a very specialized field in the fabrication of furniture, architectural elements and graphics. Few firms have the broad range of skills necessary to be able to deliver on time and budget.

Contracts for construction of the interpretive elements should go through the Ranch foundation (if established), rather than as a sub-contract to another contractor. Experience proves that this provides more control and balance over the interpretive content and site priorities.

Required Staff and Responsibilities

The development and operations plan provides many examples of staff responsibilities and tasks that will need to be completed or performed everyday at full operation. A strong core of experienced staff should be considered in implementing the interpretive plan.

Curator

It is recommended that a full-time, academically and professionally qualified curator/director be hired for the implementation of the master plan. The duties of the curator should include, but not be limited to: the creation and management of interpretive programs; supervision and coordination of architectural and exhibit design consultants; scheduling and supervising use by lessors for special occasions; planning of fundraising events; pursuit of grants, applications and recruiting; training and scheduling of docents; scheduling and supervision of tour groups, especially from schools; acquisition of artifacts and memorabilia, and subsequent collection management; photographic research and acquisition; security oversight; preparation of proposed budgets; liaison with the City of Carlsbad on preservation matters; and effective interfacing with the on-site caretaker and those providing maintenance.



Support Staff

The support staff should include two administrative assistants, an on-site custodian and/or caretaker, gift shop operator and docents.

The docent program will be a very valuable and ongoing process at Rancho de los Kiotes. The docents will perform many functions, such as education and touring; event planning and execution; giftstore management; and community outreach. A training program of all docents will need to be planned and implemented to support the interpretive plan. The message, stories and themes will need to be immediately incorporated into the docent program. As in any museum, a vigorous program for docent recruitment, training and review must begin. This program should be overseen by the curator or Ranch staff person responsible for planning the training to help implement and oversee the docent activities.

The types and lengths of tours will need to be established, with the goal to suit many needs in a one hour tour. These would include convention groups, school children, disabled access circulation patterns, tours for the sight and hearing impaired, and special language tours. Special theme tours could be developed for special interest groups, such as for school curriculums. It is important to provide rest or seating accommodations for any tours over one hour.

Staff Offices/Gift Shop

In order to cultivate the illusion of a living and working ranch, it is recommended that the staff offices be established in the caretaker's cottage (visitor orientation center). The presence of staff will provide a feeling of activity that will provide the life and spirit of the place.

The gift shop/store will also be set up in the caretaker's cottage. There should be guidelines developed for the administration and use of revenues generated by the gift shop, so as to maintain a low profile and not distract from the Ranch theme. The store size and inventory should be kept modest enough to be managed by docent volunteers or eventually one full-time manager. The ranch has plenty of inventory themes to draw from, such as: flora and fauna, regional history, California ranchos, adobe architecture and historic photo collections. The establishment of a small bookstore would be a great source for teachers, incorporating educational books and story cassettes showing period history (There are samples of these available on California Indians, farm animals, etc.). There also could be some mementos available such as Leo key chains, arrowheads and Indian jewelry created by local artisans.



4.9 Development Operation Plan Options

The following is a brief summary of conventional options in operating Carrillo Ranch after the approved Master Plan Phase II construction is complete and the facility is open to the public. These are only options at this point in time and it is anticipated that a more detailed analysis will be completed prior to the completion of Phase II construction.

The following are three basic options the City of Carlsbad will have for operation. Table 4-9 shows a comparison of the operations budget for each of the options.

1.) City of Carlsbad Operated Facility

Example:

City of Vista: Rancho Bueno Vista Adobe

Basic concept is for Carrillo Ranch to be managed and operated with the City of Carlsbad personnel and volunteers.

Advantages:

- Ability to expand services if demand dictates on an annualized basis without renegotiating leaseholds or private management agreements.

Disadvantages:

- Any profits could be diverted to general fund and not be used for Carrillo Ranch purposes.
- Might restrict an aggressive and creative expansion of community oriented events.
- The annualized funding might remain constant, especially if the facility continues to operate at significant deficits, limiting new program opportunities, additional staffing for grant work, etc.
- Carrillo Ranch would be competing with other city parks for funding.

2.) Management Contract

Combination of public/private operations.

- Management - City of Carlsbad
- Operations - Contract
- Maintenance - Contract

Could be used after initial year of operations until a non-profit foundation is put in place.

Advantages:

- A more specialized staff would allow the Ranch to expand operational income venues and initiate grants and donations.

3.) Non Profit Foundation

Example:

Long Beach: Rancho Los Alamitos

Basic concept is to turn over the management and operations of Carrillo Ranch to a non profit foundation.

Table 4-9 • Estimated Operations Budget - Initial Few Years of Operation

	City of Carlsbad Per Year	Mgmt. Contract Per Year	Private Foundation Per Year
I. UTILITIES			
• Water/Sewer/Elec/Gas	\$12,000	\$12,000	\$12,000
• Trash Pick Up (1)	\$12,000	\$12,000	\$12,000
• Phones	\$1,200	\$1,800	\$3,600
• Cable	N/A	N/A	N/A
Sub Total	\$25,200	\$25,800	\$27,600
II. REGULAR MAINTENANCE			
	City	Contract	Private
A. Cleaning			
• Buildings (Office, Concessions)	\$20,000	\$15,000	\$25,000
• Parking Area	\$5,000	\$4,000	\$6,000
• Toilets	\$8,000	\$6,000	\$8,000
B. Landscape Maintenance	\$75,000	\$60,000	\$60,000
C. Leo's Artifacts, Pictures, Furn., Upkeep	\$1,000	\$1,000	\$3,000
D. Pest Control	\$3,500	\$3,500	\$3,500
E. Heating & A/C Scheduled	\$3,600	\$3,600	\$3,600
F. Pools & Fountains	\$3,500	\$2,500	\$2,500
Sub Total (2)	\$119,600	\$95,600 (2)	\$111,600 (2)
III. STAFFING			
			(CEO Position)
• Curator/Director (3)	\$40,000	\$48,000	\$60,000
• Administrative Assistant (4)	N/A	\$18,000	\$22,000
• Volunteer Expenses (Docent Training)	\$5,000	\$5,000	\$5,000
• On Site Resident (Caretaker) (5)	\$35,000	\$42,000	\$42,000
• Training/Benefits (3)	\$500	\$6,000	\$10,000
Sub Total	\$80,500	\$119,000	\$139,000

(continued on next page)

- (1) Includes offsite removal
- (2) Includes increased use and historical nature of facility
- (3) Includes benefits, overhead, etc. (based on \$40,000/year).
- (4) No Administrative Assistant is allocated by the City of Carlsbad in the initial years of operation (existing clerical assistance may be utilized).
- (5) It is assumed that the non profit foundation will have a much higher utilization of the Ranch requiring more annualized regular maintenance.

Table 4-9 • Estimated Operations Budget, continued

	City of Carlsbad Per Year	Mgmt. Contract Per Year	Private Foundation Per Year
IV. SUPPLIES			
• Office/Mailing/Stationary/Computer	\$1,500	\$3,000	\$5,000
• Carrillo Ranch Literature	\$2,500	\$2,500	\$2,500
Sub Total	\$4,000	\$5,500	\$7,500
V. SECURITY (Contract Service)			
• Monitoring	\$2,000	\$2,000	\$2,000
• Events (6)	\$0	\$0	\$0
Sub Total	\$2,000	\$2,000	\$2,000
VI. DEFERRED MAINTENANCE			
• Site Work (Parking, Grounds)	\$10,000	\$10,000	\$12,000
• Buildings	\$20,000	\$20,000	\$30,000
• Furniture/Equipment (Table, Chairs, Linens)	\$1,000	\$1,000	\$3,600
• Graffiti/Vandalism/Repairs	\$2,000	\$2,000	\$2,400
• Pool & Pond	\$1,000	\$1,000	\$1,000
Sub Total	\$34,000	\$34,000	\$49,000
VII. INSURANCE			
• Liability (7)	City	City	\$10,000
• Property/Fire	\$0	\$0	\$0
• Special Events (8)	\$0	\$0	\$0
Sub Total	\$0	\$0	\$10,000
VIII.	-	-	-
IX.	\$15,000	\$15,000	\$30,000
ESTIMATED TOTAL	\$280,300	\$296,900	\$376,700

(6) Paid for by event.

(7) N/A; comes out of City "pool" policy and won't change with development of Carrillo Ranch.

(8) Charged to each event.

Advantages:

- City will not be required to operate a specialized facility with public works personnel.
- The non profit foundation will have a Board of Directors to oversee and approve the annualized business plan. The City of Carlsbad may serve on the board of directors in order to monitor annualized plan.
- The City of Carlsbad can approve each annualized business plan and budget.
- The foundation can hire and supervise specialized personnel from the private sector.
- The annualized plan would be submitted for City of Carlsbad approval and can be implemented with fewer municipal constraints, a more efficient and more specialized operational expertise could be directed at income opportunities from grants, donations, special events, etc.
- Future capitalized projects will not have to comply with the Public Contracts Code (i.e., lowest bidder requirements and change orders).

Disadvantages:

- The City of Carlsbad will rely on the abilities of non profit foundation performing.
- Non performance could create community concerns aimed at the City of Carlsbad.

In summary, after the initial Phase 3 buildout, it is expected that Carrillo Ranch will be able to continue an ongoing phased improvement program that will augment and continue the qualitative restoration, depending on available revenues through grants, City of Carlsbad funds, special events revenue and other community based funding. Revenue projections are shown on Table 4-10.

Looking at other operational historical ranches, it would seem prudent to develop an operational strategy which simplifies the City of Carlsbad's involvement over the long term. Given that Carrillo Ranch will be a new public facility after being closed for so many years, it is recommended to initiate a City of Carlsbad operated facility for approximately the first 2-3 years. A City run facility has the advantages of defining fixed expenses and slowly adding public/private events over time as the opportunities evolve. The long-term strategy could allow a non profit foundation to operate Carrillo Ranch on a leasehold basis. The foundation approach can evolve into a greater commitment to ongoing qualitative restoration and further expansion of community and tourism oriented special events.

It is recommended for the first year of public use of Carrillo Ranch that a defined manageable mix of activities open to public viewing, community based private events and tourist/business based private events be conducted.

 Section 4 - Master Plan Recommendations

Table 4-10 • Income Estimate at Year 3 - Initial Stabilized Operations

Revenue Projections		City	Management	Private
• Memberships	(1)	\$6,000	\$8,000	\$15,000
• Gift Shop		\$5,000	\$10,000	\$15,000
• Donations		\$5,000	\$10,000	\$25,000
• Grants		\$30,000	\$35,000	\$75,000
• School Events	(2)	\$13,500	\$13,500	\$13,500
• Special Events				
Weddings (10-15/Year)		\$10,000	\$20,000	\$30,000
Corporate Retreats/Seminars (10-15/Year)	(3)	\$12,000	\$40,000	\$50,000
Leo Carrillo Day		1 Event	2-3 Events	4-5 Events
		\$3,000	\$5,000	\$7,000
TOTAL INCOME		\$84,500	\$141,500	\$230,500
TOTAL EXPENSES		\$280,300	\$296,900	\$376,700
City Contribution		\$195,800	\$155,400	\$146,200

- (1) Memberships based on \$30/year.
- (2) Assumes 50 schools with 3 classes averaging 30 children/class at \$3.00 per pupil.
- (3) Carlsbad Visitors Bureau projects \$100 - \$150 per person income for a Ranch venue of a steak cookout dinner, music, drinks, etc. Expenses for special events will have to take into account; insurance, staffing, food/drinks, entertainment and security.

In order to define a first year operational budget, it will be assumed that the City of Carlsbad will manage the facility with the following operational assumptions:

Hours Open to Public

Open to the public 5 days a week for approximately 36 hours/week with a modified Summer schedule.

SUMMER HOURS (Example):

	Hours/Week	Daily Hours
Wednesday	9:00 a.m. - 6:00 p.m.	9.0
Thursday	9:00 a.m. - 6:00 p.m.	9.0
Friday	9:00 a.m. - 6:00 p.m.	9.0
Saturday	8:00 a.m. - 6:00 p.m.	10.0
Sunday	11:00 a.m. - 6:00 p.m.	<u>7.0</u>
TOTAL HOURS		44.0

FALL, SPRING, WINTER HOURS (Example):

	Hours/Week	Daily Hours
Wednesday	9:00 a.m. - 4:00 p.m.	7.0
Thursday	9:00 a.m. - 4:00 p.m.	7.0
Friday	9:00 a.m. - 5:00 p.m.	8.0
Saturday	9:00 a.m. - 5:00 p.m.	8.0
Sunday	11:00 a.m. 5:00 p.m.	<u>6.0</u>
TOTAL HOURS		36.0

Gift Shop/Store

Same hours as public and special events.



SECTION FIVE
APPENDICES



SECTION FIVE • APPENDICES

5.1 Cost Estimates

Table 5-1 • Detailed Cost Estimate

Phasing of Budget Items				2-Dec-97	
*All costs are for preliminary purposes only. Items may also fluctuate w/ project phasing, inflation, scope change and /or length of project, etc... .			Categories: A.=Architecture B.=Infrastructure C.=Hardscape D.=Exterior Furnishings E.=Landscaping F.= Artwork		
PHASE 1					
ITEMS	QUANTITY	UNIT	UNIT COST	TOTAL COST	
Perimeter Wall/Restoration/Utilities					
B. Rough Grading for Wall Constr.	1	LS	\$19,000.00	\$19,000	
C. 6' Perimeter Wall & Pilasters	4,100	LF	\$60.00	\$246,000	
C. 6' Black Vin. Chain Link Fence	725	LF	\$20.00	\$14,500	
E. Irrigation for Landscape	1	LS	\$30,000.00	\$30,000	
E. Barrier Landscape along Wall	1	LS	\$20,000.00	\$20,000	
B. Elec. Trench/Conduit & Wire	1	LS	\$25,000.00	\$25,000	
A. Bldg Stabilization/Fire Protec.	1	LS	\$145,000.00	\$145,000	
SUBTOTAL				\$499,500	
Misc./20% Contingency				\$99,900	
PHASE 1 TOTAL				\$599,400	

PHASE 2					
ITEMS	QUANTITY	UNIT	UNIT COST	TOTAL COST	
Infrastructure/Parking					
B. Demolition/Removal	2	AC	\$800.00	\$1,200	
B. Rough Grading	15,200	CY	\$3.90	\$59,280	
B. Sanitary Sewer (4" PVC Pipe)	700	LF	\$35.00	\$24,500	
B. Sanitary Sewer (6" PVC Pipe)	300	LF	\$45.00	\$13,500	
B. Manholes-Sewer Laterals	3	EA	\$550.00	\$1,650	
B. Manholes-Sewer Clean outs	7	EA	\$500.00	\$3,500	
B. Water Dist.-8" PVC Pipe	1,320	LF	\$42.00	\$55,440	
B. 8" Valve Assembly	3	EA	\$1,700.00	\$5,100	
B. 2" Reclaimed Water Meter	1	EA	\$19,200.00	\$19,200	
B. 1" Potable Water Meter	4	EA	\$8,000.00	\$32,000	
B. Fire Hydrant	3	EA	\$3,000.00	\$9,000	
B. Air/Vac Release	3	EA	\$2,100.00	\$6,300	
B. Storm Drain-18" Main Line	500	LF	\$80.00	\$40,000	
B. Catch Basin(Brow Ditch/Grate)	8	EA	\$3,500.00	\$28,000	
B. Manholes- Standard	1	EA	\$3,610.00	\$3,610	
B. Headwall/Wing Wall	3	EA	\$3,780.00	\$11,340	
B. Conc. Entry Drive w/ Reinf.	19,333	SF	\$5.00	\$96,665	
B. Parking Lot(Rd Oyle.)w/ Base	33,300	SF	\$4.00	\$133,200	
B. Phone Service (2 total)	1	LS	\$7,500.00	\$7,500	
B. 5' Conc. Brow Ditch	3,220	LF	\$8.00	\$25,760	
B. Street/Parking Lot Lighting	11	EA	\$3,500.00	\$38,500	
B. Enhanced Paving By Dev. (NIC)	9,100	SF	\$0.00	\$0	
B. Landscape & Path Lighting	200	EA	\$500.00	\$100,000	
B. Erosion Control	1	LS	\$10,000.00	\$10,000	
SUBTOTAL				\$725,245	

PHASE 2 (continued)					
ITEMS	QUANTITY	UNIT	UNIT COST	TOTAL COST	
Historical Bldgs/New Construction					
A. New Restroom Fac./Caretakers	1	LS	\$72,000.00	\$72,000	
A. CareTakers Cot./Seismic/Restoration	1	LS	\$40,000.00	\$40,000	
A. Hacienda Restoration	1	LS	\$60,000.00	\$60,000	
A. Wash House/Seismic/Restoration	1	LS	\$6,000.00	\$6,000	
A. Cabana/Seismic/Restoration	1	LS	\$12,000.00	\$12,000	
A. New Restroom Fac./Cabana	1	LS	\$52,000.00	\$52,000	
A. Wood Barn Restoration (Partial)	1	LS	\$30,000.00	\$30,000	
A. New Caretaker House(1200 sf)	1	LS	\$96,000.00	\$96,000	
A. Alarm at Buildings	1	LS	\$90,000.00	\$90,000	
A. Alarm at Perimeter Fencing	1	LS	\$30,000.00	\$30,000	
A. Deedie's House Restoration	1	LS	\$15,000.00	\$15,000	
SUBTOTAL					\$503,000
Hardscape/Furnishings					
C. New Entry Wall w/ Pilasters	1	LS	\$15,000.00	\$15,000	
C. Main Entry w/ Gates & Pilasters	1	LS	\$200,000.00	\$200,000	
C. Signage Fabrication & Installation	1	LS	\$200,000.00	\$200,000	
C. Restore Flagstone Ctyd. Areas	19,715	SF	\$15.00	\$295,725	
C. Perimeter Gates	6	EA	\$1,500.00	\$9,000	
C. Concrete Rampway @ Deedie's	4,410	SF	\$4.00	\$17,640	
C. Concrete Ramp to Caretaker's	4,790	SF	\$4.00	\$19,160	
C. 18" Low Ret. Wall along Ramps	1,300	SF	\$20.00	\$26,000	
C. Restore Interior Ranch Fencing	1,500	LF	\$40.00	\$60,000	
C. Misc. Access Ramp Modifications	1	LS	\$25,000.00	\$25,000	
C. Regrade Ex. Dirt Road/Ctyd.	63,000	SF	\$0.30	\$18,900	
C. DG Surface - Main Ctyd.	5,300	SF	\$2.00	\$10,600	
C. Entry Dr. Trail (Sand Fin. Conc.)	10,500	SF	\$3.50	\$36,750	
C. Pedestrian Bridges	3	EA	\$12,000.00	\$36,000	
D. Old Style Drinking Fountain	3	EA	\$3,000.00	\$9,000	
A. Pool/Water Feature	1	LS	\$75,000.00	\$75,000	
D. Wood Trash Receptacles	12	EA	\$900.00	\$10,800	
D. Trash Dumpster/ Enclosure	1	EA	\$8,000.00	\$8,000	
SUBTOTAL					\$1,072,575
Landscape (Irrigation included)					
E. Canary Island Palms (15 B.T.)	6	EA	\$4,500.00	\$27,000	
E. Queen Palms (10 B.T.)	38	EA	\$850.00	\$32,300	
E. Trees: 36" Box	40	EA	\$500.00	\$20,000	
E. Trees: 24" Box	40	EA	\$250.00	\$10,000	
E. Trees: 15 Gal.	100	EA	\$110.00	\$11,000	
E. Trees:15 Gal. (Orchard Trees)	70	EA	\$125.00	\$8,750	
E. Carrillo Way Streetscape Planting	6,075	SF	\$2.00	\$12,150	
E. New Entry Drive Planting	23,000	SF	\$2.50	\$57,500	
E. Restore Promenade Drive Planting	18,500	SF	\$1.00	\$18,500	
E. Parking Lot Planting	10,330	SF	\$2.00	\$20,660	
E. Planter Areas at Bldgs	25,500	SF	\$3.00	\$76,500	
E. Bark Mulch (3" layer)	25,500	SF	\$0.30	\$7,650	
E. Ph 2 Soil Prep./Fine Grad.	83,405	SF	\$0.25	\$20,851	
E. Ph. 2 Clean/Maint. (90 days)	83,405	SF	\$0.10	\$8,341	
SUBTOTAL					\$331,202
Contingency (20%)					\$526,404
PHASE TWO TOTAL					\$3,158,426

PHASE THREE				
ITEMS	QUANTITY	UNIT	UNIT COST	TOTAL COST
Historical Bldgs/New Construction				
A. Cantina Restoration	1	LS	\$5,500.00	\$5,500
A. Carriage House Restoration	1	LS	\$7,500.00	\$7,500
A. Feed Storage Fire Protection	1	LS	\$5,000.00	\$5,000
A. Stables Fire Protection/Restoration	1	LS	\$40,000.00	\$40,000
A. New Restroom Fac./Chicken Hou.	1	LS	\$96,000.00	\$96,000
A. Foundry Restoration	1	LS	\$15,000.00	\$15,000
A. Restored Water Tank	1	LS	\$10,000.00	\$10,000
A. Storage Shed	1	LS	\$2,500.00	\$2,500
A. Wood Barn Restoration/New Theatre	1	LS	\$220,000.00	\$220,000
A. Equipment Shed	1	LS	\$25,000.00	\$25,000
A. City Wide Community Trail	1,670	LF	\$24.00	\$40,080
SUBTOTAL				\$466,580
Hardscape/Furnishings				
C. Concrete Stairs/Railing	400	SF	\$30.00	\$12,000
C. Amphitheatre	1	LS	\$5,000.00	\$5,000
C. Restore Original Old Bridge	1	EA	\$35,000.00	\$35,000
C. Meadow/Bot. Trail (Rd. Oyle)	11,370	SF	\$3.00	\$34,110
C. Restore Interior Ranch Fencing	3,300	LF	\$40.00	\$132,000
C. Restore Fish Pond	1	LS	\$8,000.00	\$8,000
C. Restore Cabana Conc Paving Areas	7,900	SF	\$3.00	\$23,700
C. Restore Vis. Ctr. Tile Paving Areas	3,000	SF	\$6.00	\$18,000
C. Restored Arbor 10'x90'	1	LS	\$20,000.00	\$20,000
C. Restored Arbor 10'x50'	1	LS	\$5,000.00	\$5,000
C. Restore Ex. Barbeque/Paving	1	LS	\$20,000.00	\$20,000
D. Wood Hitching Post	4	EA	\$1,200.00	\$4,800
D. Wood Benches	8	EA	\$800.00	\$6,400
D. Wood Picnic Tables	8	EA	\$1,500.00	\$12,000
D. DG Picnic Table Pads	800	SF	\$3.00	\$2,400
D. Botanical Garden Signage	1	LS	\$5,000.00	\$5,000
D. Patio Chairs & Tables (Cabana)	1	LS	\$20,000.00	\$20,000
D. Umbrellas (Cabana)	1	LS	\$8,000.00	\$8,000
SUBTOTAL				\$371,410
Landscape (Irrigation included)				
E. Botanical Garden Area	15,250	SF	\$2.00	\$30,500
E. Upper Lawn Area (Hydroseed)	43,671	SF	\$0.85	\$37,120
E. Lower Lawn Area (Hydroseed)	39,300	SF	\$0.85	\$33,405
E. Slope Areas around Ramps	72,600	SF	\$1.00	\$72,600
E. West Meadow Area (Hydroseed)	61,400	SF	\$0.20	\$12,280
E. Ph 3 Soil Prep./Fine Grad.	170,821	SF	\$0.25	\$42,705
E. Ph 3 Clean/Maint. (90 days)	170,821	SF	\$0.10	\$17,082
F. Public Art Elements	1	LS	\$50,000.00	\$50,000
SUBTOTAL				\$295,693
Contingency (20%)				\$226,737
PHASE THREE TOTAL				\$1,360,419
GRAND TOTAL (Phases 1, 2, 3 - does not include soft costs)				\$5,118,245

5.2 California Department of Parks & Recreation Museum Operations Manual

5.2.1 Policies

INTERPRETIVE PUBLICATIONS 1330.61

It is the policy of the Department of Parks and Recreation to encourage the cooperating association affiliated with units of the State Park System to develop or cause to be developed interpretive narrative material concerning their respective parks. This material must be submitted to the Regional Director for approval. The region will forward a printed copy to Publications for information.

Such material may be published and distributed by Publications, Office of Public Relations, to the extent of available funding. However, participation in this publications program by the cooperating associations through their own funding structure is especially encouraged, as a supplement to the Departmental effort.

LIVING HISTORY 1330.7

Living history is an interpretive activity in which accurate activities, costumes, and/or objects are used to create a setting in which visitors can gain insight into the history of a particular site and/or period. Living history activities demand a dedication to accuracy and detail. Care must be taken to give the visitor and understanding of how the demonstration, scenario, or re-enactment fits into the larger historic picture. Living history activities should be used to interpret the unit's interpretive themes and not detract from them.

ENVIRONMENTAL LIVING 1330.8

An Environmental Living Program is designed to create an actual living, overnight experience for children that takes place at any cultural, historic, or prehistoric site where the interaction and interdependency of man and his environment are presented. The basic concept of the program is survival. Looking into the past, students gather information on how a particular culture survived in the area where they now live. They use this information to prepare for their own survival for a day, re-creating that culture or era they have studied.

INTERPRETIVE COLLECTIONS 1340

A major resource held and administered by the California Department of Parks and Recreation is that of cultural and natural history objects. This resource consists of over 7,000,000 artifacts and objects that document, illuminate, and enrich the cultural and natural heritage of California. The Department's resource of cultural and natural history objects is used for house museum displays and formal exhibits; for interpretive programs (such as interpretive demonstration and environmental living

programs); for scholarly research by archeologists, historians, museum curators, interpreters, planners, and students; and for information requested by a vast array of departments, agencies, institutions, and the general public. The Department of Parks and Recreation collects, records, studies, preserves, and exhibits cultural and natural history objects in order to increase public understanding of California's history.

MANAGEMENT POLICIES 1340.1

The document titled "California State Park System - Management Policies for Preserving Cultural and Natural History Objects" provides the direction and guidelines for the management of the Department's Interpretive Collections.

1. **ACCESSIONING: ACQUIRING CULTURAL AND NATURAL HISTORY OBJECTS**
 - a. The Department of Parks and Recreation is authorized, by Government Code Section 11005 and the Public Resources Code Sections 5005 and 5013 to acquire cultural and natural history objects. Objects acquired for the collections shall be relevant to and consistent with the goals and purposes of the State Park System, and shall be managed in keeping with the Department's collections management standards in order to ensure their availability for research and interpretation, both now and for future generations.
 - b. No object will be acquired if its possession by the Department of Parks and Recreation is legitimately objectionable to the people whose culture it represents.
 - c. Gifts of personal property accepted by State Park Cooperating Associations shall not be stored or displayed on State Park property without the written approval of the District Superintendent. Transactions involving objects to be used for interpretive display will comply with Department procedures and will be accepted by the Department as a gift or loan, accompanied by the proper documentation.
 - d. All acquisitions, regardless of significance, shall be forwarded through appropriate review levels for approval by the Director, Department of Parks and Recreation, or a designee of the Director. All acquisitions valued at \$5,000 or more must also be approved by the Director, Department of Finance. No acquisition may be accepted in the name of the Department by a volunteer, member of an advisory committee, member of a cooperating association, or private citizen, without the prior written approval of the Director, Department of Parks and Recreation. The following criteria shall be considered for each acquisition.

- (1) Significant benefit to the public
 - (2) Tangible benefit to the State Park System
 - (3) Identified plan for use
 - (4) Acceptable impact on Department in terms of maintenance costs
 - (5) Possible loss to future generations
- e. Title to all objects acquired by gift or purchase for the collection shall be obtained free and clear, without restrictions as to use or future disposition. A legal instrument of conveyance setting forth an adequate description of the objects involved and the precise conditions of the acquisition shall accompany all gifts and purchases, and shall be permanently retained in the Department's files.
- f. Registration records shall be made and permanently retained for all cultural and natural history objects.
- g. Because of potential conflicts of interest, Department personnel shall not appraise cultural and natural history objects for the benefit of donors. Any deviation from this statement required the express written approval of the Director, Department of Parks and Recreation. Any appraisal must be made by a qualified appraiser, and must include a written report indicating the valuation and how it was made.
- h. Any deviation from this policy requires the written approval of the Director, Department of Parks and Recreation.

2. ACCEPTING THE LOAN OF CULTURAL AND NATURAL HISTORY OBJECTS

- a. In keeping with the Department's collections management standards, only cultural and natural history objects with exceptional importance to the interpretive, research, or presentation needs of the State Park System will be accepted as a loan.
- b. Each loan offer shall be forwarded through appropriate review levels for approval by the Director, Department of Parks and Recreation, or a designee of the Director. The following criteria shall be considered for each loan offer:
- (1) Significant benefit to the public
 - (2) Tangible benefit to the State Park System
 - (3) Identified plan for use

- (4) Specified conditions for use
 - (5) Specified term of loan
 - (6) Lender's agreement to Department's conditions for loan
 - (7) Acceptable impact on Department's program in terms of cost and staff time
- c. A legal instrument of conveyance, setting forth an adequate description of the objects involved and the precise conditions of the agreement, shall accompany all loans, and should be permanently retained in the Department's files.
- d. Registration records shall be made and permanently retained for all cultural and natural history object accepted on loan.
- e. Any deviation from this policy requires the written approval of the Director, Department of Parks and Recreation.

3. LOANING CULTURAL & NATURAL HISTORY OBJECTS

- a. In keeping with the Department's collections management standards and in recognition of serving the public beyond its internal program, the Department of Parks and Recreation is authorized to loan cultural and natural history objects to public institutions. Loans made to private institutions or individuals require the written approval of the Director, Department of Parks and Recreation. Loans shall be made for specific purposes, and shall be recorded by an instrument of conveyance.
- b. The Department of Parks and Recreation will consider each loan request on an individual basis in light of the following statement:
- "The cultural and natural object resource is established and maintained to provide for the needs of the State Park System and these needs take precedence over any use identified by an outside entity."
- c. Each loan request shall be forwarded through appropriate review levels for approval by the Director, Department of Parks and Recreation, or by a designee of the Director. The following criteria shall be considered for each loan request:
- (1) Significant benefit to the public
 - (2) Tangible benefit to the State Park System

- (3) Specific purpose
 - (4) Specific term of loan
 - (5) Borrower's agreement and ability to conform to Department's condition for loans
 - (6) Ability of staff to process loan
- d. All objects on loan to the Department of Parks and Recreation must have written approval from the owner and the Director, Department of Parks and Recreation, or a designee of the Director, before being loaned to a third party.
 - e. The use of cultural and natural history objects for any commercial purpose (whether the object itself or any reproduction of the object by photography, duplication, or other means) is allowed only after authorization is first obtained in writing from the Director, Department of Parks and Recreation. The use or reproduction of any item on loan to the Department requires, in addition to the Director's approval, the written permission of the item's owner or the owner's agent.
 - f. Any deviation from this policy requires the written approval of the Director, Department of Parks and Recreation.

4. DE-ACCESSIONING: PERMANENTLY REMOVING CULTURAL AND NATURAL HISTORY OBJECTS FROM COLLECTIONS

- a. It is intended that cultural and natural history objects shall have permanency in the collections as long as they retain their physical integrity, their identity, and their authenticity, and as long as they remain useful for the purposes of the State Park Systems or other appropriate programs in State government. Removing objects may be considered only when the above conditions no longer prevail.
- b. The Department of Parks and Recreation shall consider each removal case on an individual basis, in light of the following statement:

Each decision to remove cultural and natural history objects will be in keeping with the best interests of the Department of Parks and Recreation, the public it serves, and the public trust it represents.

- c. Each removal case shall be forwarded through appropriate review levels for approval by the Director, Department of Parks and Recreation. Removal of any object requires the written approval of the Director.

- d. A permanent record of the conditions and circumstances under which cultural and natural history object are removed shall be made and retained in Department's files.
- e. Any deviation from this policy requires the written approval of the Director, Department of Parks and Recreation.

5. USE OF OBJECTS IN "HANDS-ON" INTERPRETATION

The Department of Parks and Recreation recognizes its responsibility to preserve the cultural and natural history objects within its care, and to maintain appropriate historical, archeological and natural history study collections, insofar as they directly contribute to an understanding and appreciation of California's cultural and natural history as it exists within the State Park System. At the same time, the Department also recognizes its responsibility to interpret the State's history and natural resources to State Park visitors.

In fulfilling this interpretive responsibility, it is often desirable to involve visitors directly with interpretive objects to impart a deeper comprehension of a concept, historical event, or activity. In such cases, interactive interpretive methods such as living history, environmental living programs, historical reenactments and participatory demonstrations are used. These methods involve the direct use of objects by interpreters and visitors. Intensive use such as this can result in damage to, or even the destruction of, the objects used.

Ideally, reproduction objects or modern equivalent objects, ones manufactured today with the same or similar appearance as their original counterparts, should be used. However, in many cases the use of reproductions or modern equivalent objects may not be possible, or even appropriate. Adequate contemporary substitutions are often unavailable; moreover, the use of an object with no historical association to the event or activity being interpreted may result in a significant loss in interpretive impact. In the case of natural history interpretation, the use of reproductions is often impractical.

In order to fulfill the Department's responsibility to preserve significant objects, and to use objects for interactive interpretation, the following guidelines are to be applied:

a. Natural History Interpretation

When conducting natural history interpretation, objects are to be used only when the use is not in conflict with a preservation ethic. For example, rare or endangered species may be displayed but not used in hands-on demonstrations.

b. Cultural History Interpretation

- (1) Whenever possible, historical reproductions and modern equivalent objects are to be used.
- (2) When reproductions or modern equivalent objects are inappropriate or unavailable, purchased "typical" objects of the period interpreted are to be used. Typical objects are defined as readily available, durable, comparatively inexpensive objects with no known historically significant provenience.
- (3) When reproductions, modern equivalents and purchased typical objects are not available and the importance of the program dictates the need for original objects, then donated objects may be used, provided 1) there are no restrictions placed on the gift by the owner, 2) there is sufficient quantity of similar objects to allow for loss over time (in the case of ethnographic material, this may require the judgment of a trained archeologist).

c. Under no circumstances will objects of significant value, either because of their historical association, rarity, or value as part of a study collection, be used.

RESPONSIBILITY 1340.2

Responsibility for the proper management of the interpretive collections is shared by various levels in the Department as indicated below:

1. Office of Interpretive Services - Interpretive Collections Section

The role of the Interpretive Collections Section is to: (1) ensure the preservation and protection of the Department's cultural and natural history objects; (2) record and control the accountability and provenance of the Department's Interpretive collections; and (3) make cultural and natural history objects available for optimum use in a timely manner.

In carrying out the above role, the Interpretive Collections Section focuses on the following major responsibilities:

a. Planning and developing house museums and period room displays, and assisting with the development of formal exhibits involving major use of historical objects and/or natural history objects. A house museum is an association of interrelated features, including architectural elements, furniture, and other objects, consolidated into an accurate setting for the historical interpretation of a person, event, place, or era.

These responsibilities include:

- (1) Preparing furnishing plans, object search lists, and object analysis reports.
- (2) Identifying, evaluating, selecting, and acquiring objects.
- (3) Inventorying, cataloging, and photographing object.
- (4) Preparing objects using appropriate conservation techniques.
- (5) Installing objects into interpretive settings.
- (6) Providing technical guidance on the appropriate architectural elements of house museum interiors.
- (7) Providing technical guidance on appropriate fire suppressant, anti-intrusion, and environmental systems for house museums and formal exhibits.
- (8) Providing technical guidance and training to field personnel who are responsible for the Interpretation and maintenance of house museums, and monitoring results.

b. Supervising and directing the Department's State-wide Interpretive Collections Management Program. This responsibility includes:

- (1) Writing statewide policies, standards, and procedures for the proper management of all interpretive objects and coordinating with all levels of the Operations staff to ensure the orderly and systematic implementation of the Interpretive Collections Management Program.
- (2) Reviewing, recommending, and/or approving per delegation by Director and Chief, Office of Interpretive Services, all gifts/loans of objects for use in the Department's Interpretive program.

- (3) Making historical objects and natural history objects available for approved non-major capital outlay interpretive projects.
- (4) Reviewing, recommending or approving, and coordinating all interpretive object requests from outside agencies and institutions.
- (5) Reviewing, recommending or approving, and coordinating all requests for de-accessioning interpretive objects.
- (6) Approving and coordinating the permanent transfer of interpretive objects between State Park field and headquarters units.
- (7) Providing technical information, assistance and training to all personnel who are responsible for the management of the interpretive collections and monitoring the results.
- (8) Maintaining permanent records for the Department's interpretive collections.

c. Operating the Central Collections Storage Facility

2. The Regions are responsible for implementing and carrying out the interpretive collections program in the field units as recommended by the Office of Interpretive Services, Interpretive Collection Section.
 - a. The Regional Director of each Region is responsible for ensuring that the Interpretive Collections Management Program prescribed by the Office of Interpretive Services, Interpretive Collections Section, is implemented and carried out.
 - b. The Regional Interpretive Specialist and/or Regional Historian are responsible for implementing, directing, and coordinating the acquisition and registration programs of the Districts. Working cooperatively with the Regional Maintenance Specialist, he/she also provides direction and guidance in the conservation/maintenance, security, and proper handling of interpretive objects.
 - c. District Superintendents have the basic responsibility for carrying out the Interpretive Collections Management Program which include (1) the acceptance within delegated limits of artifacts offered to their Districts; (2) the annual inventorying of all interpretive objects on exhibit or in storage; (3) the registration of the interpretive collection in their custody; and (4) the conservation/maintenance and security of all interpretive objects in their custody.

**INTERPRETIVE COLLECTIONS
MANAGEMENT PLAN 1340.3**

The goals and policies of the State Park System state that the Department shall "ensure the adequate and proper management and protection of resources within all units of the State Park System." The interpretive collections are a valuable and significant resource. In order to ensure direction and continuity to preservation of the interpretive collections resource, each State Park unit having an interpretive collection shall prepare and implement a written Interpretive Collections Management Plan. Each plan will outline what is required for satisfactory management of each park's interpretive collections. The following elements shall be included in each written plan:

1. Scope of Collection Statement - This statement is required for each park unit to clearly define the needs and limits of its interpretive collection.
2. Preservation Program - Each park unit should implement a two-phase program in order to ensure the continual survival of its interpretive collections with minimal deterioration. The two phases include registration and preservation of the interpretive collections.
3. Security Program - Including, fire, theft, flood/water damage
4. Utilization Program - Containing guidelines for use of original and reproduction objects for specific types of interpretation conducted within units (e.g., house museums, exhibits, living history, ELP programs, etc.)

EVALUATION OF OFFERED GIFTS & LOANS 1340.4

The District Superintendent, or designee, is responsible for receiving items and initiating the evaluation procedure for all personal property offered to the Department as a gift or loan. This responsibility includes making an initial evaluation of the item(s) at the time it is offered; providing the owner with a temporary receipt for items tentatively accepted, and initiating the paperwork necessary for full evaluation of the offer. The specific procedures for processing offered gifts and loans are described in the following section. The District Superintendent is responsible for seeing that the process is completed and final action taken within 30 days of the original offer.

Offers of gifts or loans made at locations other than the District Office may be tentatively accepted by any permanent staff member and immediately transmitted to the nearest District Office for standard evaluating and

processing. The management policies, 1) Accessioning: Acquiring Cultural and Natural History Objects, and 2) Accepting the Loan of Cultural and Natural History Objects, shall be applied to every acquisition offer (see Section 1340.1). District Superintendents may accept and approve gifts of personal property when the object(s) offered: are valued less than \$5,000, conform to the interpretive purpose of the District, have an intended use within the District, and can be preserved and stored with the resources available in the District. In all other cases, the District Superintendent may tentatively accept objects while contacting Regional and/or Headquarters staff for assistance in determining proper disposition.

Regional Directors may accept and approve gifts of personal property which satisfy a Regional need not associated with any single District, subject to the conditions as described above.

The Registrar of Interpretive Collections, Office of Interpretive Services, may accept and approve gifts or loans of personal property which satisfy a current or anticipated need, subject to the Department's general acquisition policies.

Director of Department of Finance approval for gifts of interpretive objects valued over \$5,000 will be initiated and coordinated by the Office of Interpretive Services, Interpretive Collection Section.

GIFT OR LOAN OF PERSONAL PROPERTY, DPR FORM 414 1340.41

Use Gift or Loan of Personal Property, DPR 414 (Sample 1340.41) for accepting a gift or loan of personal property in accordance with the following procedure:

Responsibility District Superintendent

Actions

1. Refuses, accepts, or tentatively accepts offered item(s).
2. If item(s) are refused, they are returned to owner.
3. If item(s) are tentatively accepted, the owner is given a temporary receipt. All loans must be justified in a memorandum by the District Superintendent through the Region to the Office of Interpretive Services.

4. If item(s) are accepted:

- a. Completes four copies of form DPR 414, Gift or Loan of Personal Property (DPR 414s shall be typed).

Note: The original signature of the donor/lender must appear on each copy.

- b. The fourth copy of the form is given as a receipt to the owner of the item (mailed to the owner if the item was not offered at the District Office).
- c. Item(s) are accessioned, following procedures outlined in the current Museum Collections Management Handbook.
- d. The original of the DPR 414 is forwarded to the Office of Interpretive Services, Interpretive Collection Section for filing. An information copy is forwarded to the Regional Office. A file copy is retained at the District.
- e. Sends letter of appreciation to donor.

Responsibility Regional Director

Actions

5. Reviews documents, considering the value and (or Designee) operational problems (if any) surrounding the acceptance of the item(s)
6. Assists District Superintendent as needed in determining Regional needs for gifts tentatively accepted.

Responsibility Registrar of Interpretive

Actions

7. Makes Departmental determination on Collections, Office of acceptance of loaned material. Assists Interpretive Services Districts and Regions as required in determining statewide need for gifts tentatively accepted.
8. Reviews and makes recommendations to the Director for the disposition of gifts valued in excess of \$5,000. These gifts require the approval of the Director and the Department of Finance (see Section 1340.4). Disapproved forms are returned through channels.
9. When the tentatively accepted item(s) are fully approved, the completed forms are distributed as follows:

- a. The original is filled in the permanent Statewide Interpretive Collections File, Office of Interpretive Services.
- b. Copies are returned via the Region to the donor and to the District for placement into the Accession Catalog File.

Responsibility District Superintendent

Actions

- 10. Refused items are returned to the owner, who (or Designee) signs the District copy of the temporary receipt, acknowledging return of the item(s).
- 11. Accepted items are cataloged in accordance with current procedures outline in the current Museum Collections Management Handbook.
- 12. If cataloging necessitates making a permanent mark on a loaned item, written permission must be obtained from the owner first.
- 13. If the item is later transferred from the District to another location, follow instructions in Section 1340.6

RETURN OF LOANS 1340.42

Loaned items will be returned upon the request of the owner or the owner's agent. The owner or agent must be properly identified before the items may be released.

Responsibility District Superintendent

Actions

- 1. When the items are returned, the owner completes the "Acknowledgment of Loaned Items Released to Owner" section of both the District's copy and the owner's copy of the DPR 414 form. The District retains its own copy and forwards the owner's surrendered copy to the interpretive Collections Section.

APPRAISALS OF ARTIFACTS 1340.5

See Section 1340.1 for policy concerning appraisals for benefit of a donor.

When field personnel have any valid need for an appraisal or estimate of the value of an interpretive object (e.g., to complete a report on its theft, damage, or loss), the person completing the report may telephone the Interpretive Collections Section directly and request an appraisal. Such requests need no special or additional authorizations.

TRANSFER OF INTERPRETIVE OBJECTS 1340.6

A DPR 521, Release of Interpretive Objects - State Property, must be used to record a transfer of interpretive objects from one State Park unit to another. All objects must be properly cataloged and the transfer approved by the Regional Director(s) and the Supervisor, Interpretive Collections Section before the object(s) are transferred.

The types of transfers possible are described below:

- 1. Permanent Transfer - The permanent release of objects from one unit to another unit, from one unit to the central storage facility in Sacramento, or from the central storage facility to a unit. Examples listed below.
 - a. House museum or formal exhibit purposes in another State Park Unit.
 - b. Extended storage in Central Storage Facility due to the fragility of the object.
- 2. Temporary Transfer - The temporary release of objects from one unit to another, to the Interpretive Collections Section in Sacramento, or from the Interpretive Collections Section to a unit. Examples of this type of transfer are listed as follows:
 - a. Hand-held objects for interpretive programs in another State Park Unit.
 - b. Objects requiring conservation treatment or repair.
 - c. Objects for loan to an outside agency, institution, or individual.

RELEASE OF INTERPRETIVE OBJECTS-STATE PROPERTY, DPR FORM 521 1340.61

Use Release of Interpretive Objects, State Property, DPR 521 (Sample 1340, 61A) for temporary or permanent transfer of interpretive objects in accordance with the following procedure:

Responsibility Requesting Region

Actions

Prepares a memo to the Regional Director of the transferring Region requesting the object be transferred. Includes approval blocks on the memo for the transferring Regional Director and the Supervisor, Interpretive Collections. Sends the memo to the transferring Region.

Responsibility Transferring Region

Actions

Reviews the request with the District Superintendent of the transferring District and either approves the request and forwards the memo to the Supervisor, Interpretive Collections, or denies the request and returns the memo to the requesting Region. The Supervisor of Interpretive Collections reviews the request and either denies the request and sends it back to the requesting Region or approves the request and forwards it to the transferring District.

Responsibility Transferring District

Actions

1. Prepares an original and three copies of DPR Form 521.
2. Records transaction in accession book.
- *3. Makes appropriate notations in Block No's. 10 and 11 on white copy of DPR 4448, Catalog Card (See Sample 1340.61B).
- *4. Prepares the object for transfer. The following items shall be sent with it:
 - *a. Copies of all material in catalog folder.
 - *b. Buff copy of DPR 444B with Block No's. 10 and 11 completed to show transfer date.
 - *c. Copy of donor card.
 - d. Original and two copies of DPR 521.

Note: The unit which originally accessioned the object(s) retains the complete original catalog folder and donor card.

Responsibility Receiving District

Actions

1. Ensures that all times listed on DPR 521 are present.
2. Enters transaction in the accession book.
- *3. Prepares a new white copy of DPR 444B and retains it at the District.
- *4. Notes new location on buff and white copies of DPR 444B's in Block 12.
5. Signs and returns original DPR 521 to the transferring District and forwards a copy of DPR 521 to the Interpretive Collections Section.

6. Files the following at the park unit:

- *a. The donor card
- *b. Catalog folder
- *c. Buff copy of DPR 444B, copy of DPR 521.

*Note: Not required for a temporary transfer of an interpretive object.

**DE-ACCESSIONING INTERPRETIVE OBJECTS
1340.7**

De-accessioning refers to the permanent removal of an object from the interpretive collection (See Section 1341 for management policy). Major reasons for removal are as follows: (1) theft, (2) loss, (3) deterioration, (4) return to lender, (5) any other special reason.

All requests to de-accession an interpretive object(s) should be made in writing by the District Superintendent via the Regional Director to the Chief, Office of Interpretive Services. The written request must include a list of objects with corresponding catalog numbers and the reason for requesting their de-accessioning.

**INVENTORY OF INTERPRETIVE OBJECTS
1340.8**

Each District Superintendent should ensure that an annual inventory is made of all interpretive objects within the District. This annual inventory has proven to be an effective tool for proper security of the interpretive collections. The annual inventory shall be prepared on Form DPR 445, Interpretive Collections Inventory (Sample 1340.8).

THEFT OF INTERPRETIVE OBJECTS 1340.9

All thefts of interpretive objects must be reported as soon as possible to the appropriate supervisor, local law enforcement agencies, and Audit's Office in Sacramento. However, if an employee is a suspect in the incident, local law enforcement agencies will not be notified pending Departmental management decision. See Departmental Administrative Manual, Chapter 0600.

A Crime Report, DPR 383A, must be completed for each incident of theft in accordance with DOM, Chapter 0600. The District Superintendent will ensure that a copy of any report involving theft of interpretive object(s) is forwarded as soon as possible directly in the interpretive Collections Section.

Requests for interpretive objects to replace stolen items may be submitted to the Interpretive Collections Section on a form DPR 38, Interpretive Work Request.

INTERPRETIVE WORK REQUESTS 1350

RESPONSIBILITY 1350.1

The Headquarters staff, though the Chief, Office of Interpretive Services, will consult with and advise the Regional and District personnel responsible for the use and care of interpretive exhibits, displays, and collections. They will also furnish, when and where possible, information and materials needed for interpretive purposes. Such consultation will include the use, care, and protection of interpretive materials and artifacts. District personnel will consult with the Regional Interpretive Specialist in all matters concerning interpretive exhibits and facilities located within park units and may offer recommendations for their development or change.

EXHIBITS AND DISPLAYS 1350.2

Exhibits, displays, and collections are important tools used for presenting and interpreting natural, recreational, and historic values to the visiting public. They serve as an important means by which to stimulate and encourage visitors to enjoy the primary object of their visit, the park itself. Such exhibits and displays are generally housed in visitor centers (indoor or outdoor), museums, or in house exhibits located in historic structures. Refer to Section 1350.6 for information on the operation of visitor centers, museums, and house exhibits.

REQUESTING INTERPRETIVE OBJECTS 1350.3

Requests for interpretive objects should be submitted on the DPR 38, Interpretive Work Request. Requests that require research, purchase, or significant time must be forwarded to the Office of Interpretive Services by May 1 for work to be done in the following fiscal year.

MAINTENANCE OF EXHIBITS AND DISPLAYS 1350.4

All park Districts or units having interpretive exhibits, displays, or other interpretive installations, shall develop a maintenance schedule. The schedule shall outline daily, weekly, monthly, and periodical housekeeping and maintenance tasks. For the development of the maintenance schedules, see DOM Chapter 08. The Office of Interpretive Services will help develop the housekeeping and maintenance schedules, but such assistance should be requested through channels. Specialized or unusual maintenance tasks should not be undertaken

without consultation with and approval by the Office of Interpretive Services. In most cases, these kinds of maintenance tasks will be done by or under the direction of the appropriate section of the Office of Interpretive Services.

DEVELOPING, MAINTAINING, AND CHANGING EXHIBITS AND HOUSE MUSEUM DISPLAYS 1350.5

Any work which results in the development, alteration, or removal of interpretive exhibits and/or collections must be requested on a DPR 38, Interpretive Work Request.

Districts can submit DPR 38s to Regions anytime during the year, but Regions must receive them by February 1 for any work to be done in the following fiscal year. DPR 38s must be received by the Office of Interpretive Services no later than May 1 for work to be done by OIS in the following fiscal year.

Proposals for work which will be done by park staff, volunteers, or contractors must also be submitted on a DPR 38 for conceptual approval.

A DPR 38, Interpretive Work Request, shall be used to request the Office of Interpretive Services to maintain, refurbish, or replace existing interpretive exhibits, displays, or other interpretive installations for Category I, Category II, and minor capital outlay funded projects. Category II projects must also be budgeted on DPR 503F (See DOM Chapter 08) and minor capital outlay on DPR 13.

Districts should review tentatively approved Budget Year I projects to identify, Category I, Category II interpretive projects for the development of DPR 38's.

5.2.2 Care of Collections

The primary obligation of museum collections management is ensuring that the collections are passed on to future generations in as good and safe a condition as practical. The District Superintendent is responsible for the adequate care of the museum collections under his/her jurisdiction according to prevailing professional standards. In those cases where the current level of care is substandard, the District Superintendent, in consultation with a museum curator, should establish priorities for bringing the level of care to the desired standard, and take measures to ensure that the prioritized steps are implemented.

1. Adequate care for museum collections includes:
2. Provision for a proper environment, including mitigations for temperature, humidity and light.
3. Protection from natural threats, including pests, extremes of weather, fire, flood, and earthquake.
4. Protection from unintentional human threats, including improper handling and accidents.
5. Protection from intentional human threats, including vandalism, theft, and embezzlement.
6. Anticipation of and preparation for emergencies, including natural disasters and civil disturbance.
7. Provision of regular housekeeping and maintenance, including professional conservation treatments when necessary.
8. Documentation of movements and physical changes, including regularly scheduled inventories and notation of changes in condition.

5.2.3 Security

Museum objects should be protected against theft and vandalism in display, in storage, and in work areas. Physical access to the objects should be controlled for both the public and staff. The means of protection selected should take into account the following factors:

1. The ability to control the perimeter of the area (locks, burglar alarms).
2. The ability to secure objects within a restricted area (exhibit cases, locked cabinets).
3. The ability to limit opportunities for unobserved access.
4. The means for identifying breaches of security if or when they occur (electronic logs, daily visual inspection).
5. Significance or rarity of the objects.
6. Value of the objects as souvenirs, collectibles, or sources or ready cash.
7. Whether the protected objects can be easily identified as DPR property (photographs, current inventories)

8. The intrusiveness of the security mitigations on the visitors' experience of the site or the objects.

The Collection Manager, in consultation with the District's Chief Ranger, should compile a confidential listing of each facility housing museum objects which:

1. Identifies the security measure in place.
2. Identifies levels of physical access for both public and staff.
3. Identifies by name and position staff who have keys and security codes to restricted areas.

This listing should be reviewed by the District Superintendent, needed changes or improvement identified, and priorities established for their implementation. A copy of the listing signed by the District Superintendent should be retained permanently in a secured location with the museum collections records of the park housing the objects.

5.2.4 Individual Public Access to Museum Collections

Individual requests for access to specific museum objects or specimen groups in storage, to objects on exhibition for closer examination, and to museum records, should be granted when possible. It is the responsibility of the District Superintendent to ensure that this access is both regulated and reasonable based on the nature of the individual park's collections and operations.

Each park with museum collections should have written site-specific policies and procedures for individual access to museum objects and/or records which:

1. Are not arbitrary or discriminatory.
2. Recognize the research and educational potential for the greater common good, as well as individual interests.
3. Recognize the need for Native American religious leaders and craft persons to consult certain museum objects for the continuation or renewal of their traditions.
4. Do not jeopardize the security of the objects requested or surrounding objects.
5. Protect records from alterations or deletions, or unethical use.

6. Takes into account that museum records are sometimes inaccurate, incomplete, and/or misleading.
7. Takes into account the redirection of staff time away from the care of the collections and/or provision of other public service, towards the accommodation of a single user.

Public Law 101-601 grants specific rights of access to culturally-affiliated Native American groups for museum collections containing Native American human remains and cultural objects. Access to museum collections related to repatriation consultations or claims shall be coordinated and directed by the repatriation program coordinator designated by the Chief of Park Stewardship.

5.2.5 Restrictions

Although much of museum collection documentation is subject to public information requirements for access, some information can and should be restricted and kept confidential, including the following:

1. The exact storage location of museum objects beyond park or unit identification (e.g. shelf number), and their appraised market value, should not be released to researchers for security reasons.
2. In conformance with the California Office of Historic Preservation and Archeological Information Centers, the exact location of an archeological site from which museum objects were collected beyond the site name and/or trinomial, should not be released except to *bona fide* scholars and culturally-affiliated Native American groups in order to protect the site from illegal collecting activities and vandalism.
3. Personal information about donors (e.g. phone numbers, family relationships) should not be released to protect the privacy of individuals.
4. Access to Native American human remains and cultural objects which are subject to Public Law 101-601, may be restricted at the request of the culturally-affiliated group. Restrictions will be identified during the consultation process, and will be communicated to the park in written form by DPR's repatriation coordinator.

5.2.6 Intellectual Properties

Museum objects, archival materials, photographs and other cultural properties held by DPR have intellectual properties associated with them. Intellectual properties include trademarks, copyrights, and licenses for replication or adaptation. It is the responsibility of the Superintendent, in consultation with a museum curator or other person(s) knowledgeable in the legal status of such properties, to ensure that intellectual properties associated with the museum objects under his or her jurisdiction are protected, and are used in concert with the mission of DPR, the purpose of the park holding the objects, and any applicable laws.

Each park with museum collections should have written policies and procedures for the use of intellectual properties which:

1. Are not arbitrary or discriminatory.
2. Recognize the potential for furthering the education goals of DPR or the park through products and services offered by non-DPR sources.
3. Do not jeopardize the security of the object(s) to be photographed, imaged, or replicated.
4. Take into account the quality and accuracy of the product or service for which the use is requested.
5. Take into account the redirection of staff time away from the care of the collections and/or other public service, towards the accommodation of the use request.
6. Take into account the financial value of a use of an intellectual property in a for-profit product or service.
7. Protect the public image of DPR.
8. Require acknowledgment of DPR as the copyright holder.

5.3 American Association for State and Local History Code of Professional Ethics

5.3.1 Introduction

The American Association for State and Local History is a membership organization comprised of individuals, agencies, and organizations acting in the public trust, engaged in the practice of history, and representing a variety of disciplines and professions. The Association expects its members to abide by the ethical and performance standards adopted by the appropriate discipline-based and professional organizations. (A bibliography of organizational standards can be obtained from the Association.) In addition, Members of the Association shall meet the following ethical standards. Demonstrated failure to meet these standards may result in suspension or loss of membership in the Association.

5.3.2 Collections

Historical collections, including structures, are the bedrock upon which the practice of history rests. Association members shall always act to preserve the physical and intellectual integrity of their collections.

- A. Institutions shall maintain and abide by comprehensive collections policies officially adopted by their governing authorities.
- B. Priority shall be given to the care and management of collections.
- C. Collections shall not be capitalized or treated as financial assets.
- D. Collections shall not be deaccessioned or disposed of in order to provide financial support for institutional operations, facilities maintenance, or any reason other than the preservation or acquisition of collections.
- E. Collections shall be acquired, cared for, and interpreted with sensitivity to their cultural origins.

5.3.3 Interpretation

Historical interpretation may be presented in a variety of formats.

- A. All interpretation must be based upon sound scholarship and must accurately reflect the facts as they have been documented.
- B. Interpretation must take special care not to dilute or ignore historical accuracy and inclusiveness for the sake of public entertainment and popularity.
- C. Interpretation must accurately reflect the cultural context of the subject matter.
- D. No interpretation shall use collections in a consumptive manner except as categorically delineated and specifically allowed within the collections policy.

5.3.4 Management

The primary responsibility for governance, institutional policies, financial stability, and legal accountability of a historical organization rests with the governing authority. Operational responsibility rests with the staff. Individuals employed in the practice of history deserve respect, pay, and benefits commensurate to their training, dedication, and contribution to society. Volunteers deserve the same consideration as their paid colleagues.

- A. All institutions must have a personnel policy, adopted by the governing authority, which is distributed to all staff, documenting the terms of employment.
- B. All institutions have the responsibility to engage personnel, including volunteers, who have appropriate training and expertise and to provide them with opportunities for additional training necessary to continue to meet their responsibilities.
- C. If the governing authority employs an administrator, that person alone is responsible for the employment, discipline, and release of all other staff, subject to established personnel policies.
- D. All historical institutions shall maintain financial records from which accurate information can be generated to manage the organization in a fiscally sound manner of public trust.

5.3.5 Revenue Producing Activities

Activities that involve the marketing and sale of products, programs, services, and facilities are acceptable ways to produce support revenues and increase public awareness of and participation in historical activities. No such activities shall be undertaken that violate or compromise the integrity of an institution's mission, the ability of an institution or individual to meet professional standards, or an institution's not-for-profit status. Control of a product (e.g., exhibition, publication, program) shall neither be delegated nor abrogated to outside parties in order to obtain financial support.

5.3.6 Conflict of Interest

Historical organizations and agencies exist to serve the public interest and must always act in such a way as to maintain public confidence and trust.

- A. All governing authority members, administrators, volunteers, and staff members shall avoid carefully the reality and the appearance of using their positions or the information and access gained from their positions for personal gain.
- B. Board members, volunteers, and staff shall refrain from personal collecting in any manner that conflicts with the interests or credibility of the institution. Institutions are encouraged to obtain statements of personal collecting interests before individuals become associated with the institution.

- C. Collections shall not be made available to any individual on any basis for personal use, either on or off the premises, or for any other purpose contrary to the adopted collections policies.

5.3.7 Social Responsibility

All members of the Association shall ensure actively that the variety of American cultural experiences in all programmatic and operational activities is represented accurately. The Association expects its members to assist the field in becoming more representative of our diverse society through equity in staffing, training, collecting, programming, and marketing. All professional activities, programs, products, and services shall be provided in such a way as to maximize access to all people.

5.3.8 Intellectual Freedom

Historical scholarship and interpretation demand intellectual freedom, with no qualification. Members shall refrain from any activity that willfully restricts or discredits free and open exploration and interpretation of the human experience.

**5.4 Community Workshop Questionnaire
October 12, 1996**

HISTORICAL

1. What is the most significant time period of this site that the master plan design Team should interpret?
2. Should all structures, site elements, botanical specimens be preserved, protected and/or restored? ..what shouldn't be preserved?
3. What are other accounts of the life and times prior to the Ranch that are important?

ARCHIVES/ EDUCATION

1. What kinds of Tour programs and Visitor experiences for children can you think of?
2. Should all guides, ranch hands, docents and gardeners be required to wear period attire while onsite?
3. Would the children benefit by interaction with animals like horses, cows, chickens and peacocks?
4. Can you think of any displays that could educate the public on what kinds of activities, vegetation or building technology that people would encounter while at Carrillo Ranch?
5. Should new Building structures be allowed onsite ?

ARTS AND CULTURE

1. Should the site interpret more than just Leo Carrillo's character, status as an Actor, TV star, Horseman, Public Stewardship, Ambassador, Host and his love of Art? ...name some others ?
2. Should designated areas for Theme Art pieces be located onsite?
3. Would an Outdoor Amphitheater for performing Art Groups, local Art Exhibits Lectures and Classrooms be used?

ARBORETUM

1. Should all botanical specimens on the Ranch be preserved?
2. Should plant materials be identified & located by signage?
3. Would a demonstration herb garden be of interest for their ornamental and medicinal qualities?
4. Do you think local nurseries would be interested in donating plant replacements?
5. Should only Plant materials of documented Historical authenticity shall be used?

RECREATION

1. Should farm animals be kept onsite for demonstration and recapture the robustness and fun of life on the ranch?
2. Should Campfires be allowed on the range at night?
3. Should the City trail system flow allow pedestrians into the Park?

OPEN SPACE

1. Should the surrounding proposed developments be screened from view?
2. Should the designers try to make the site feel like it is still 1935 ?..or what year is significant ?

OPERATIONS/ SECURITY

1. Should the Ranch be provided onsite security or a High-Tech security system to protect structures and their furnishings?
2. Is a perimeter wall necessary for protection?
3. How are buildings are to be viewed; public access allowed via self-guided tours, or by trained volunteer docents only ?
4. How should the Disabled and Elderly access be developed ?

CIRCULATION /TRAFFIC

1. Should Public traffic be allowed w/in the Ranch area?
2. What is Adequate Parking for Automobiles, Buses & Location?
3. Will Offstreet Parking be acceptable during Special events?
4. How will the residents like the Programs & Events occurring during their weekends?

PRIVATIZATION

1. Should Commercial uses be allowed within the Park? and what kind, if any?
2. What kind of special events could take place?.

MISCELLANEOUS/COMMENTS

1. Feel free to add comments on the back

Please mail this questionnaire back to KTU+A , Attention: Kurt Carlson

5.5 Workshop Agendas and Notes

**5.5.1 Community Workshop
October 12, 1996**

AGENDA

A. Historic Orientation & Tour of Site

1. Introduction by City Of Carlsbad - Mark Steyaert
8:30-8:45 am
2. Summary of Work & Schedule - Michael Theilacker
8:45-8:55 am
3. Historic Orientation - Alan Kindle & Joan Kindle
8:55-9:20 am
4. Bus Shuttle to Site - Mark Steyaert
9:20 -9:45 am
5. Site Tour (Tour Guides: Keith Beverly, Joan Kindle,
Wayne Donaldson, Eileen Magno)
9:45 - 10:45 am

B. Community Workshop

1. Introduction - Mark Steyaert
10:45 am-10:50 am
2. Workshop Objective & Goals - Michael Theilacker
10:50 am -11:00 am
3. Site Opportunity & Constraint Maps - Kurt Carlson/
O'Day
11:00 am -11:30 am
4. Historic Opportunity & Constraints - Wayne
Donaldson
11:30 am - 12:00 pm
5. Lunch at Site - Provided by City
12:00 -1:00 pm
6. Small Group Workshops - Michael Theilacker
1:00 pm - 2:00 pm
7. Community Group Discussion of Categories
- Michael Theilacker/Wayne Donaldson
2:00 pm - 3:30 pm
8. Epilogue / Bus Shuttle back to Safety Center
Mark Steyaert
3:30 pm - 4:00 pm

*Times are approximate

**COMMUNITY WORKSHOP ONE - NOTES
IDEAS**

- Retain Original Entry
- Do walls at New Entry only, Graffiti concerns
- Security Important (Chain-link vs. Walls)
- Arboretum Possible
- Screen Development out!!
- Maintain Original Landscape
- Equestrian Trail
- No new Structures Onsite (w/in historic area)
- Revenue Enhancement - (Gift shop, Programs)
- Funding Mechanisms
- Festive Facilities (Weddings, Special Events)
- No Entry Fee
- Educational Programs - Funding Source
- Time Period to Interpret? (His Life vs. Early California)
- Self-sufficiency of Ranch
- Animals - Maintenance?
- Children's Events to be part of Ranch
- Hide-a-way for Leo
- Manning Adobe/ Dancing/ Jumping in Straw
- Artistic & Culture Center to Show Art

WORKSHOP GROUPS

GREEN TEAM (Michael)

Presenter: Lori

"THE VISION OF THE PARK"

- Like Los Alamitos Park, Will Rogers - Live Museums
- Children Participation
Grinding Corn
Making Adobe
Milking Cows
Dancing
Jumping in Straw
- Event Area 1 (Courtyard) - Animal Events, Western days - Trick Roping
- Event Area 2 (adj. Barn) - Artist Crafts, etc..
- Event Area 3 (adj. Hacienda) - Social Events, Weddings, etc..
- Western Days/ Cinco de Mayo
- Parking/Bus Drop-off at Pre-Determined Driveway w/ Secured Entry and emergency and service Access
- Relocate Conquistador - High point
- Maintain Original Visitor Entry Per Leo!
- No Pool - Make Dance Stage/Reflecting Pond
- Restrooms/ Refreshments
- Seating & Rest Area
- Deedie's House - Art Ctr. & Museum, Provide Handicap access
- Provide Botanical Garden off Historic Promenade

Summary (by Green Team):

People to maintain the animals, the Ranch (on site) , \$700,000.00 a year Budget - Los Alamitos Artistic Center - Schools - Watercolor class - Enough room to show art - Gift shop - Showing films - Film workshop - Dress up? - Preserve Historical Character - Proximity to vistas - Keep the unobstructed view - Try to acquire more land - Concerned about buffer - More secluded - Retain what's left - Community connection - Annualized dollars Connected with Community - AVIARA - New development tied with Cultural opportunities - Western days - Trick Roping - Music - Cinco de Mayo - Want to keep the Charm of the area - Designated Historical - Parking - School Bus - Old Spanish Style - Adobe- No Luau - Rural- Boy Scout- Jamborees - Leo Carrillo Parade Days - No Theme Park - Educate - 50 years ago - Retain the look - Clean the creek - Jewel - Preserve what we've got - Need Perimeter security - Briar on real fence- No trails through - Houses - Road security is vital - Accessible to animals - Never had a park of this type - Start Small - Run on profitable basis - Not to go to Commercial - How to pay people to pay for Masterplan - Ultimate idea - Resident caretaker - City needs to know how to run it- Docents - Have to raise half the money to run the park - What is the timespan of getting it running? - Educational facility - (unintelligible) on for the Children - Theater - Vaudeville for the Kids to be in - Entrance fees? - Alternate ways to fund - Learn from existing adobe historical sites - Masterplan has to be all inclusive - Includes programming, how it will be phased in - Need to know our vision - food -catering? - Bring food - Policing of area.

BLUE TEAM (Wayne)

Presenter: Steve

- Relocate Conquistador - High point
- Areas for Horses/ Equestrian Activity adj. Water Tower
- Melrose Unacceptable!!
- Restore Pool or Reflecting Pond
- Use School Parking Lot as 1st Choice
- More Green Than Leo's Day
- Hacienda - Culture Exhibits
- Events Important Funding Source
- Mtg. Area for Offsite Hotels, Seminars, Social Events, Weddings, etc..
- Kindle Theater - Barn
- Bring Car from Las Vegas, Store Vintage Cars @ Garage
- Deedie's - Art Ctr./Quiet Retreat
- New Structure's Bathrooms OK.
- No Fly Zone! -Airport
- School Field Trips/ Hollywood Plays
- No 'Real' Branding Parties

- Restore Citrus Groves
- Provide Spanish Cultural Ctr. @ Hacienda
- Restore Ramada
- Stable Sleep-overs
- Horseshoe Demo @ Blacksmith Bldg.
- Control the Fowls
- Events like Cinco de Mayo, Fiestas, Christmas
- Arts & Cultural Ctr. of Old CA.
- School Field Trips
Grinding Corn
Making Adobe
Milking Cows /Homing Pigeons
Dancing

YELLOW TEAM (Paul)

Presenter: Bill

- No Disneyland
- Funding Important
- New Structures built outside of Historical Area
- Equestrian Important
- Relocate Conquistador - Meditative Area w/ View Corridor in Spirit of original Site.
- All Generated Funds to Carrillo Ranch.
- School - Need Buffer/ Security
- Use Cactus Buffers
- Use Indigenous Plant Materials during Leo's Time
- Deedie's House- Provide Security
- Bread Baking, Pony Rides
- Kids Day Camp - Scout Use
- Outdoor Movies (Side of Barn) - Period Movies
- Logos with Stories
- ADA Access/ Safer Walkways
- Animal Feeding Machines
- Gymkhana Rodeo - Great Fund Raiser! (BBQ's etc..)
- Games on Horseback/ Horse Barrel Rides or Races
- Hollywood Connection-Film Festival, Gable-Lombard, Will Rodgers, Leo's Movies @ New Barn or show Movies Outside on side of Barn.
- Provide Secured Linkage to City Trail System
- Set up Public/Private Fund as Los Alamitos

PINK TEAM (Simon)

Presenter: Ed

- No Pool - Insurance and Liability Issue
- Time Period - Kelly Family Important
- Docent Costumes Important
- Animals Important - Kids
- Education - No New Bldgs.
- Plants Identified/ Herb Gardens Important
- No Camp Fires - Protect Surrounding Hillsides
- Groups By Invitation Only
- Open Space - 1940 Period
- Security - Manpower & High Tech/ Use Boug. on High Walls

- Guided Tours Only
- No Public Traffic
- No Commercialism
- Tile Floors

WORKSHOP WRAP-UP

PROGRAMMING ISSUES

Facilitator: Michael

- Parking Onsite - 1st Choice
- Gates Reflect Leo's Theme with Location at Carrillo Way.
- How much Parking? ...95 Stalls at Rancho Los Alamitos
- Quiet Meditative Area needed.
- Need Auxiliary Access for Emergency/ Service/ Garbage
- Protect Riparian Area
- Original Pool Outvoted by Group not to rebuild - 20 to 10
- Retain Open Feeling at Hacienda
- Weddings/ Social Events/ Picnic Areas are important!
- Use Open Ctyd for Animal Events
- Gift Shop at End of Visit or near Exit - Where?
- Animals to be kept in Stables.
- Put Picnic Areas in Open Space
- Provide Botanical Garden (Per Leo's Theme) throughout Ranch
- Hold Vintage Film Festival once a year.
- Amphitheater (Locate in Small Outdoor Area)
- No Restaurant Onsite/ Snack Bar acceptable
- Food during Events is important - Tortillas Cooking Like Old Town
- Owl Barn/ Theater - For Children
- Art - Provide Water Color Classes/ Exhibits to be Shown at Deedie's - Small but Larger area

5.5.2 Friends Workshop 1

October 16, 1996

- Exactly like it was - Open to Public/ Rural 1935
- Historically Correct / Architecture exact/ Animals OK. (for kids)
- The Ranch is the "Pride of the City" - People don't know it exists.
- Keep Hidden with Tall (Euc.) trees/ Seclusion is key (illusion)
- Buffer Noise & Objectionable Developments w/trees
- Commercial Free? Gift Shop/ Special Events - Food OK
- See the Past as it was before.
- Archaeological Finds - for kids. Provide Exhibits
- Small Snack Klosks would be acceptable.
- Weddings are Lucrative - Fund Raiser / Receptions
- Educational Primary Importance!! Place for Schools (3rd & 4th Grade)
- Taped Stories, Need to see and hear, Post Pictures up of original Ranch. (Museum?)
- Botanical Specimens/ Provide Description of Land, or Docents will know.
- Provide Self Guided Tours & Docents for Small Groups
- Buildings used as Media Center to give Information. Historic Orientation to take place at Caretaker's Building.
- Restore Bldgs. Furnishings as before. Museum Feeling? (No) Remain as Leo lived there.
- Ranch should have Token Animals - 1 cow, 1 horse represented. Restore Original Corrals.
- Cater to Schools - History, Show how tacos are made
- Liability - Beware Insurance
- Buy items related to Ranch (small items) Gift
- Tours by Docent / Better Security.
- Fencing very Necessary
- Leo's Fantasy not workable - Working Ranch? Hollywood-like set up - A retreat it should be?
- Events of Branding, things that happened. (Colonial Williamsburg e.g....)
- What Happens on a Ranch
- Accessible for the other Tourists from Legoland.
- Build up Vegetation around Perimeter.
- Security should be addressed - Souvenirs would help reduce thieves
- Slide shows would be good orientation like Roy Rogers, Gene Autry
- How do you recognize the different cultures?
- Leo was into fan - fiestas, parades, Horse Roping, BBQ's, Dancing (Gaiety!!!)
- Make Ranch feel like Leo actually lives here.
- Provide Sound Stations
- Care Takers - Intro. to Site.
- Artist Studios - Artist in Residence (Daily Basis Only) Work on specific type projects.

- Art Shows / Museum of Indian Artifacts. Deedie's - a Museum
- Restore Orange Grove / Pool & Sand Beach
- Pool enclosure may be an issue (Why is Hearst Castle OK?)
- Provide Parking onsite / Bus Access & Drop-off.
- Senior & Handicap Access via drop-off/ shuttle, golf cart
- Designated Picnic Areas - Bring your own - Lower 2 acres or above Old Orange Grove?
- Senior Tours of 50 or more
- Riding Ponies / Milking Cows-Good for Kids.
- Self Guided Tours vs. Docents Only
- Tortilla making/ Basket Weaving / Events
- Having a Curator is a must / Operational issue.
- Vegetation to be lush around Ranch.
- Conquistador relocated on site (High Point)
- Site Security - Fencing a must/ Secure Entry.
- Plant Mat!! - Cactus massing for Backup Fencing
- Sense of Place at Gate/ Ranch - like Original Entry.
- Provide Carriage Rides & Hay wagon Ride
- Publicity & Marketing very Important - Hollywood Contacts or Support (????) Brochures, TV, Leo look-a-like Days
- Pool may be restored in future/ Design Accordingly. Utilize as Dance area-part of Entertainment area.
- Provide Day Conference Ctr. for Businesses at Ranch - Funding
- Farm Equip. Display & Restoration next to Barn.

**5.5.3 Children's Workshop
December 18, 1996**

Kyle Aaron Kirchmeier, 4th grade student
Beaumont Elementary School
550 Beaumont Drive
Vista, CA 92084-6321
Ph. 619/726-4040
Ms. Margarito Betancourt - Teacher

1. For grand opening a spotlight of Leo's Logo the flying "LC".
2. Gift shop with bandannas with Leo's Logo, postcards of the ranch, wood with LC Logo branded on.
3. Low tree house for kids.
4. Have mini-theatre to watch "Cisco Kid" and "Pancho".
5. Face painting of the flying "LC".
6. Have dance presentations.
7. Have an observatory.

Chanel Bulleit, 6th grade student
Mission Estancia Elementary School
3330 Calle Barcelona
Carlsbad, CA 92009
Ph. 619/ 943-2004
Mrs. Kathie Jenuine - Teacher

1. Horses, cows, chickens.
2. Do adobe craft making.
3. Summer camp, with use of pool.
4. Parade car (Let Kathie Jenuine be the hood ornament)
5. Gift shop (T-shirts, hats, pins, etc.)
6. Fix pool and dog beach.
7. Horse rides.
8. Horse buggy rides.
9. Have a guy dress up as Leo Carrillo.
10. Show "Cisco Kid" movies.
11. Tours.
12. Class field trips.
13. Hay rides.

Elise Lissner, 4th grade student
Mission Estancia Elementary School
3330 Calle Barcelona
Carlsbad, CA 92009
Ph. 619/ 943-2004
Mr. Dean Jensen - Teacher

1. Peacocks.
2. Horses.
3. Pigs.
4. Cows.
5. Adobe craft making.
6. Summer camp.
7. Hay rides around the ranch.
8. Sheep.
9. Horse back riding.
10. Who can find the most Flying Leo logos.
11. Have the beach and pool back.
12. Barrel racing
13. Food.
14. Fix house to have furniture.
15. Dogs.
16. Cats.

Bethany Bentley, student
Jefferson Elementary School
3743 Jefferson Street
Carlsbad, CA 92008-3336
Ph. 619/434-0693
Mr. Stephen Ahle - Principal, Mrs. Cynthia Vasquez - Teacher

1. Original furniture in buildings.
2. Horse rides.
3. Projects in buildings.
4. Gift shop.
5. Contest with ribbons to find the Leo logo.
6. Maps to park.
7. Tours.
8. Branding.
9. Movie theatre for slide shows.
10. Not a lot of modern buildings, mostly original ones.

Emily McAuliffe, 4th grade student

Christa McAuliffe Elementary School
3701 Kelton Drive
Oceanside, CA. 92056-6310
Ph. 619/722-8357

Ms. Carol Motes - Principal, Mrs. Babette Salmon - Teacher

1. You get a prize for finding the most Flying Leo logos.
2. Rides.
3. Picnic areas on a good viewing spot.
4. Special picture taking area.
5. Make forts.
6. Have a special place to spend the night. Overnight stay in the stable.
7. Orchards.
8. Make a kitchen.
9. BBQ ovens.
10. Dress up in western clothes and take pictures.
11. Face painting.
12. Special passes.
13. Make a beach like the old one.
14. Have a light show for Christmas.
15. Tour inside the houses, on top of roofs.
16. Indian Center.
17. Petting animal corral.
18. Build another pool.
19. Have a pond with fish.
20. Western show place.
21. Horses, pigs, hens, pigeons.

Lauren Ruge, 5th grade student

Olivenhain Pioneer Elementary School
8000 Calle Acervo
Carlsbad, CA 92009
Ph. 619/943-2000

Ms. Merrilee Morgan, Ms. Light - Teacher

1. Tour on horses.
2. Learn how to tack up horses and brush them.
3. Horse riding lessons.
4. Gift shop (postcards).
5. Petting zoo.
6. Have games like hide-and-go-seek.

7. Spot to grind corn.
8. Food.
9. Have contest to see if you can find the most Flying Leo logos.

Jordan Ahle, student

Hope Elementary School
3010 Tamarack Avenue
Carlsbad, CA. 92008
Ph. 619/ 434-0672

Mrs. Linda Livingston - Teacher

1. Reward place for treasure hunt.
2. Arts and Crafts Center.
3. Walk through museum.
4. Horseback rides.
5. Barn.
6. Gift shop.
7. Play Center.
8. Data Center.
9. Chaparral.
10. Parking area.

Caitlin Cahill, student

Hope Elementary School, Carlsbad
Mrs. Linda Livingston - Teacher

1. Real horses in the stable.
2. More parking.
3. Furniture in Deedie's house.

Teacher's List

1. Outdoor cooking demonstration (matata).
2. Deedie's house:
 - Candle making
 - Craft making
 - Wood work/ Carving
 - Weaving
 - Leather
 - Needle Work
 - Dying of cloth-Indian Methods
3. Adopted animals for Petting Zoo
4. Indian usage of land and materials (thread from cactus plants).
5. Design individual brands.
6. Herbs - Benefits & use (make bags).
7. Make adobe bricks onsite.
8. Roping demonstration
9. Caring of farm animals instruction (fish pond)
10. Day camps, 6th grade.
11. Owl pellets (for building skeletons).

5.5.4 Meeting Notes for Teacher Education Element

May 5, 1997

City of Carlsbad
Community Services Department
1200 Carlsbad Village Drive
Carlsbad, CA 92008-1989

Attention: Mr. Mark Steyaert
Park Development Coordinator

Project: Leo Carrillo Ranch Master Plan - Carlsbad, CA.
Regarding: Meeting Notes for Teacher/Education Element (5/1/97)

Dear Mark:
Please find our meeting notes for above.

Attendees:

- | | |
|--------------------|--------------------|
| 1. Mark Steyaert | City of Carlsbad |
| 2. Joan Kindle | Volunteer Curator |
| 3. Merrilie Morgan | Olivenhain Pioneer |
| 4. Kathie Delgado | Jefferson School |
| 5. Kurt Carlson | KTU+A |
| 6. Paul Hobson | Artist / KTU+A |

Questions asked of Teacher Group:

- How can a Historic Site like Leo Carrillo Ranch be incorporated into your School Curriculum?
- What form and information should be in the educational element of the master plan?

Ideas for discussion:

1. Living Laboratory, actual experience of learning
2. Native American, Spanish, Mexican & Anglo cultures
3. Botanical Specimens
4. Variety of Animal Life - Horses, cows, chickens, peacocks, pigs
5. Various Flora & Fauna
6. Food, Crops and Gardening
7. Adobe Architecture & Elements/ Make actual Adobe bricks
8. Working Tools/Displays used during typical Ranch Life - Saddles, carts, whips,
9. Touring the Ranch
10. Life of Leo Carrillo-His story and how it relates to California History
11. Arts and Crafts Center.

Review of Existing Programs

1. Olivas Adobe Learning Packet
2. Appendix by Regine B. Moras
3. Adobe Days at Rancho Buena Vista

Items discussed:

1. KTU+A received ideas from Children's workshop held in Dec, 96. (see notes).
2. A lot of agencies such as County Water Authority will sponsor activities or programs for school children that explain how the water shed is part of our lives...Merrilee.
3. Olivenhain Water District - Rangers lead guided tours...Merrilee.
4. "Service Learning Programs" - Gets children involved to provide community services and assists education at the same time which fulfills Science and Social Studies curriculum (ie..Tree Planting Programs)...Merrilee.
5. Master plan should indicate History of Leo & Ranch (Bibliography Necessary)...Kathie
6. Master plan should indicate timeline on development of Ranch & Leo's life relating to society (Leo's Life - W.W.I),... Kathie.
7. Children enjoy field trips / Using the senses important - Touching, smelling, seeing, etc..... Merrilee.
 - Botanical Plants - Hand out small Jade cuttings in pots to children.
 - Animals - Great for children, horses, cows, chickens
 - Observe thickness of Adobe walls (show in window)
 - Adobe making examples....Kids make bricks
 - Check out displays for flora & fauna - at Audobon or Natural History Museum
1. Schedule all tours of Ranch first and then break into groups for activities. Activities should relate to the Grades such as Local History for 3rd Grade (Famous People) California History for 4th Grade... Merrilee.
2. Develop ways to keep children's interest during tours such as: Costumes for kids - to wear during tour, (similar to Old Town Tour), given names of characters. Chinese Cook, Ranchhands, Deedie, Leo, Caretaker, Blacksmith, Vaqueros, Mendozas Bros., Visitors (Gable & Lombard) and have them observe where their character would be. Another idea - find the most Leo logos!
3. See Jefferson Elementary - Good example of Leo Carrillo Mural!!
4. Gift shops would be good source for Indian Jewelry or Arrowheads.
5. A Book store would be a great source for teachers, such as the Cabrillo Monument (good example of store teachers like).
6. Read & Color Educational Books or Cassettes showing History (Series available on California Indians, Horses,). Also should look for Educational Activity or Learning Workbooks.

7. Obtain Good Collection of photos (good sources: TI and SD Title companies, Wells Fargo).
8. San Diego Historical Society - good examples of Historical Photos (Make Posters)
9. Put animals/ insects on displays (Gopher snakes).

Prepared by :
Kurt W. Carlson

**5.5.6 Teachers Input at Children's Workshop
December 18, 1996**

How can a Historic Site be incorporated into your School Curriculum?

Ideas

1. Living Laboratory, actual experience of learning
2. Native American, Spanish, Mexican & Anglo cultures
3. Botanical Specimens
4. Variety of Animal Life - Horses, cows, chickens, peacocks, pigs
5. Various Flora & Fauna
6. Food, Crops and Gardening
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6. Herbs - Benefits & use (make bags).
7. Make adobe bricks onsite.
8. Roping demonstration
9. Caring of farm animals instruction (fish pond)
10. Day camps, 6th grade.
11. Owl pellets (for building skeletons).

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