

ARROYO LA COSTA

MASTER PLAN

Prepared for:

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TABLE OF CONTENTS

I.	<u>Introduction</u>	Page
	A. Purpose	1
	B. Project Description	4
	C. Master Applications	6
	D. Master Plan Goals	9
	E. Relation to the La Costa Master Plan	9
II.	<u>General Plan and Land Use Provisions</u>	12
	A. General Plan	12
	B. Zoning	12
	C. Legal Description	14
	D. Land Uses	14
	1. Residential	14
	a. Type of Housing	14
	b. Multiple Family Housing	14
	c. Affordable Housing	15
	2. Open Space	16
	3. Schools	18
	E. General Provisions	18
	1. Maximum Number of Units	18
	2. Recordation	18
	3. Nonvesting of Rights	18
	4. Mitigation Monitoring	18
	5. Growth Management	20
	6. Condition Validity	20
	7. Dedications	20
	8. Availability of Public Services	20
	9. Public Facilities	20
	10. Zoning	21
	11. Fiscal Impacts	21
	12. Hillside Development Ordinance	21
	13. Location of Improvements	21
	14. Trail System	21
	15. Landscaping	21

TABLE OF CONTENTS CONTINUED

	<u>Page</u>
16. Oak Trees	22
17. Architectural Review Board	22
18. Room Additions	22
19. Master Plan Map	22
20. Transfer of Units	22
a. Within Master Plan Area	22
b. Outside Master Plan Area	23
21. Master Homeowners' Association	23
22. Recreational Vehicle Storage	24
23. Development of Public Facility Phasing	25
III. <u>Development Review Process</u>	33
A. Master Plan	33
B. Tentative Map/Planned Development Permits	33
C. Site Development Plans	33
D. Public Facility Phasing	34
E. Master Plan Amendments	34
1. Major	34
2. Minor	35
F. Master Plan Review and Update	36
G. Tentative Map/Planned Development Amendments	36
1. Major	36
2. Minor	36
H. Site Development Plan Amendments	37
1. Major	37
2. Minor	37

TABLE OF CONTENTS CONTINUED

	<u>Page</u>
IV. <u>General Community Development Standards</u>	38
A. Resource Preservation	38
B. Grading	38
C. Architecture	41
D. Setback Standards	50
E. Landscape Guidelines	53
1. Community Landscape Character	53
2. Tentative Tree Selections	55
3. Landscape and Irrigation Standards	58
4. Maintenance	58
5. Streetscape Landscaping	58
6. Plant Sizes	58
7. Landscaping Zones	58
8. Plant Materials	65
F. Entries	66-a
G. Fencing	69
1. Community Wall	69
2. Village Walls	73
3. Production Fencing	73
H. Views	73
I. Signage	80
1. Temporary	80
2. Permanent	80
J. Lighting	80
V. <u>Open Space</u>	86
A. Introduction	86
B. Bicycle/Pedestrian Trails	91
C. Maintenance	98

TABLE OF CONTENTS CONTINUED

	<u>Page</u>
VI. <u>Public Facilities</u>	99
A. Introduction	99
B. City Administrative Facilities	99
C. Library Facilities	102
D. Wastewater Treatment Capacity	106
E. Parks	106
F. Drainage Facilities	109-a
G. Circulation Facilities	112
H. Fire	117
I. Open Space	117
J. Schools	118
K. Sewer Facilities	118
L. Water Facilities	119
VII. <u>Village and Open Space Area Development Standards</u>	127
VIII. <u>Appendices</u>	233
A. Historical Summary	
B. Resolutions of Approval (to be added after hearings)	

LIST OF EXHIBITS

<u>Exhibit No.</u>	<u>Title</u>	<u>Page</u>
Chptr. I-1	Proposed Zoning	2
2	Master Plan Land Use	3
3	Location Map	5
4	Significant Grading	7
5	La Costa Master Plan	11
Chptr. II-6	Proposed General Plan	13
7	Open Space Maintenance	17
8	Land Use Summary Table	19
9	Phasing	26
Chptr. IV-10	Grading Guidelines	40
11	Single Story Building Edge	42
12	Building Perimeter	43
13	Building Planes	44
14	Side yard Setback	46
15	Garage Doors	47
16	Roof Planes	48
17	Architectural Styles	49
18	Setbacks	51
19	Lot Coverage	52
20	Community Landscape Concept	54
21	Permanent Slope Landscaping	56
22	Landscape Character Zones	59
23	Calle Barcelona Street Scape	60
24	Collector Street Scape	61
25	Village Street Scape	62
26	Fire Control Landscaping	64
27	Walls/Fences Plan	67
28	Primary Project Entry	68
29	Village Entries	70
30	Community Theme Walls	71
31	Village Pilasters	72
32	Village Theme Walls	74
33	Production Fencing	75
34	Coordination of Fence Heights	76
35	View Corridor Enhancement	77
36	View Control	78
37	Screening Techniques	79
38	Sign Plan	81
39	Permanent Signs	82
40	Temporary Signs	83
41	Sign Illumination	85
Chptr. V-42	Master Plan Open Space	87
43	Recreation Center	89

LIST OF EXHIBITS (continued)

<u>Exhibit No.</u>	<u>Title</u>	<u>Page</u>
Chptr. V-44	Open Space Lot Alternatives	90
45	Open Space Table	92
46	Trails and Recreation Plan	93
47	Trails Sections	94
48	Walk/Trails Treatment	95
49	Pedestrian Bridge	97
Chptr. VI-50	Watershed Area Boundaries	110
51	Circulation Element Roadways	113
52-57	Financing Matrices	121-126
Chptr. VII-58	Village B-Design Criteria	133
59	Village B-Wall/Fence Location	134
60	Village C-Design Criteria	137
61	Village C-Wall/Fence Location	138
62	Village D-Design Criteria	141
63	Village D-Wall/Fence Location	142
64	Open Space Easement	143
65	Village E-Design Criteria	146
66	Village E-Wall/Fence Location	147
67	Open Space Easement	148
68	Village F-Design Criteria	150
69	Village F-Wall/Fence Location	151
70	Village G-Design Criteria	154
71	Village G-Wall/Fence Location	155
72	Village H-Design Criteria	158
73	Village H-Wall/Fence Location	159
74	Village I-Design Criteria	163
75	Village I-Wall/Fence Location	164
76	Village J-Design Criteria	167
77	Village J-Wall/Fence Location	168
78	Village K-Design Criteria	171
79	Village K-Wall/Fence Location	172
80	Village L-Design Criteria	175
81	Village L-Wall/Fence Location	176
82	Village M-Design Criteria	179
83	Village M-Wall/Fence Location	180
84	Village N-Design Criteria	183
85	Village N-Wall/Fence Location	184
86	Village O-Design Criteria	187
87	Village O-Wall/Fence Location	188
88	Village P-Design Criteria	191
89	Village P-Wall/Fence Location	192
90	Village Q-Design Criteria	195
91	Village Q-Wall/Fence Location	196

LIST OF EXHIBITS (continued)

<u>Exhibit No.</u>	<u>Title</u>	<u>Page</u>
Chptr. VII-92	Village R-Design Criteria	199
93	Village R-Wall/Fence Location	200
94	Village S-Design Criteria	203
95	Village S-Wall/Fence Location	204
96	Open Space Area OS-2 - Design Criteria	207
97	Open Space Area OS-2 - Wall/Fence Location	208
98	Open Space Area OS-3 - Design Criteria	210
99	Open Space Area OS-3 - Wall/Fence Location	211
100	Open Space Area OS-4 - Design Criteria	213
101	Open Space Area OS-4 - Wall/Fence Location	214
102	Open Space Area OS-5 - Design Criteria	217
103	Open Space Area OS-5 - Wall/Fence Location	218
104	Open Space Area OS-6 - Design Criteria	220
105	Open Space Area OS-6 - Wall/Fence Location	221
106	Open Space Area OS-7 - Design Criteria	223
107	Open Space Area OS-7 - Wall/Fence Location	224
108	Open Space Area OS-8 - Design Criteria	227
109	Open Space Area OS-8 - Wall/Fence Location	228
110	Open Space Area OS-9 - Design Criteria	231
111	Open Space Area OS-9 - Wall/Fence Location	232

I. INTRODUCTION

This introduction outlines the legal basis and scope of the Arroyo La Costa Master Plan. A project description and statement of goals are also provided.

A. PURPOSE

The Arroyo La Costa Master Plan constitutes the zoning for the Southwest portion of the La Costa Master Plan (Exhibit 1, page 2).

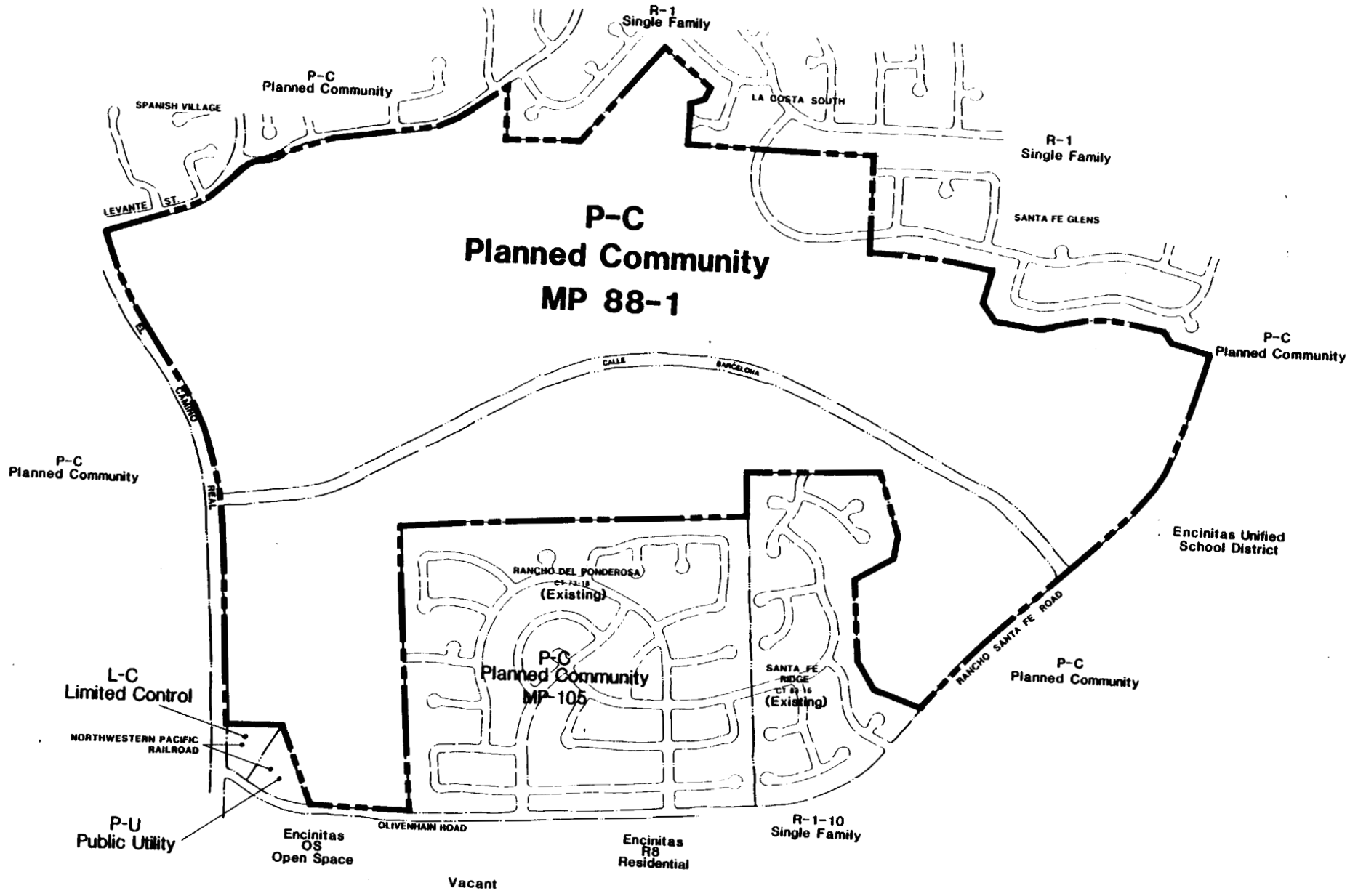
The Master Plan map (Exhibit 2, page 3) delineates specific neighborhoods within the Master Plan Area. The Master Plan text defines the allowable type and intensity of land uses in each neighborhood and provides detailed development and design standards, requirements, development phasing and timing, and the method by which the Arroyo La Costa Master Plan will be implemented. Adoption of the Arroyo La Costa Master Plan by the Carlsbad City Council, pursuant to Chapter 21.38 of the Carlsbad Municipal Code, will establish the zoning and development standards applicable to the project as a whole as well as with respect to the permissible type and intensity of development by planning area. Approval of the Arroyo La Costa Master Plan, however, does not vest development rights for the Master Plan Area. Construction of a portion of the Master Plan Area pursuant to this Master Plan shall not vest any right to construct the balance of the plan.

Land use and development within the Arroyo La Costa Master Plan shall be subject to all present and future plans, policies or ordinances adopted by the City Council.

Development within the Arroyo La Costa Master Plan Area shall fulfill all requirements established by the Citywide Facilities and Improvement Plan and the applicable Local Facilities Management Plan for Zone 12, pursuant to Carlsbad Municipal Code Chapter 21.90.

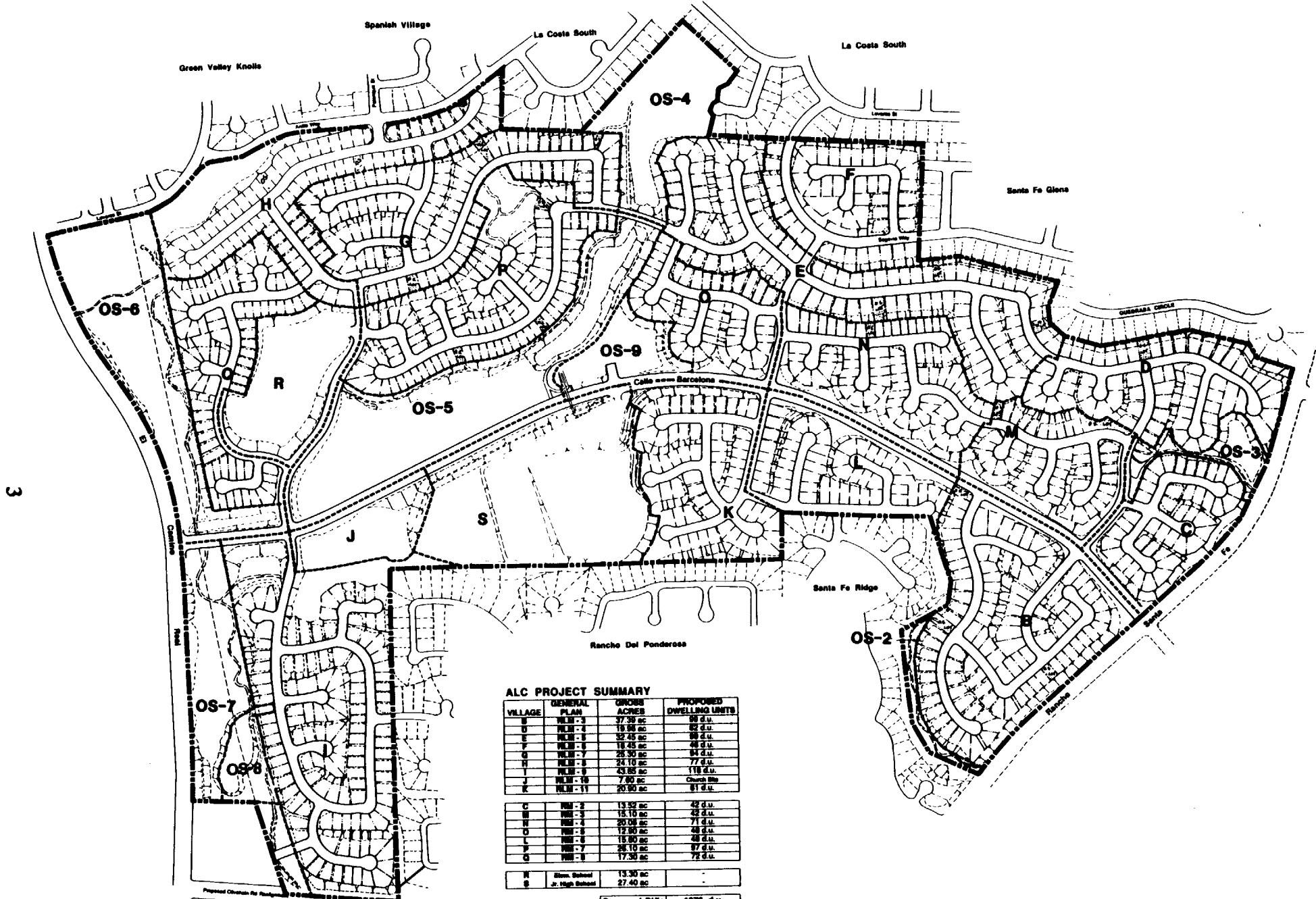
Development within the Master Plan shall be subject to all present and future Growth Management plans, policies or ordinances adopted by the City Council or by citizen vote including but not limited to Chapter 21.90 of the Carlsbad Municipal Code (Growth Management). The residential development potential for the Master Plan area has been established by applying the density ranges and the "control points" of the General Plan Land Use designations which were applicable to the property. The net density of 2.69 du/net acre of the entire Master Plan (including the existing Santa Fe Ridge Development) complies with the Growth Control Point of the underlying General Plan density of 3.2 du/net acre for RLM areas and 6 du/net acre for RM areas.

Amendments to the Master Plan are permitted pursuant to the procedure established in Chapter 21.38 of the Carlsbad Municipal Code (P-C Zone) and Chapter III of the Master Plan. The Master Plan defines the phased development of the Arroyo La Costa Master Plan Area that assures all phases of development are consistent with the requirements of the Local Facilities Management Plan for Zone 12.



Proposed Zoning
ARROYO LA COSTA





ALC PROJECT SUMMARY

VILLAGE	GENERAL PLAN	GROSS ACRES	PROPOSED DWELLING UNITS
B	NLM-3	37.39 ac	86 d.u.
D	NLM-4	18.94 ac	67 d.u.
E	NLM-5	32.25 ac	88 d.u.
F	NLM-6	18.25 ac	48 d.u.
G	NLM-7	25.30 ac	84 d.u.
H	NLM-8	24.10 ac	77 d.u.
I	NLM-9	43.85 ac	118 d.u.
J	NLM-10	7.80 ac	Church Site
K	NLM-11	20.90 ac	61 d.u.
C	NM-2	15.32 ac	42 d.u.
B	NM-3	15.10 ac	42 d.u.
H	NM-4	20.06 ac	71 d.u.
D	NM-5	12.30 ac	48 d.u.
L	NM-6	15.80 ac	48 d.u.
F	NM-7	26.10 ac	87 d.u.
G	NM-8	17.30 ac	72 d.u.
H	Elem. School	15.30 ac	-
S	Jr. High School	27.40 ac	-

Proposed DUs: 1079 d.u.

THE
VILLAGES OF
LA COSTA

Master Plan Land Use
ARROYO LA COSTA



EXHIBIT

The Master Plan implements the City of Carlsbad's General Plan and Municipal Code by providing guidelines and standards for the full development of all phases of the project; by requiring facilities and services consistent with the regulations and ordinances of the City's Local Facilities Management Plan for Zone 12; and by ensuring that all City standards and requirements will be met in a consistent and uniform manner. Unless specifically discussed in this Master Plan, all City policies and ordinances apply to the Arroyo La Costa Master Plan Area as they would apply to any property in the City of Carlsbad. The Master Plan requires conformance with all applicable City development standards and requirements.

No person shall use or develop any property covered by this Master Plan in a manner which is contrary to the Master Plan as established by the City Council. All developers within the Master Plan shall be subject to all terms and conditions of the Arroyo La Costa Master Plan.

Prior to the sale of any undeveloped property within the Master Plan area, an agreement which satisfies the provision of 21.38.030 (b) of the Carlsbad Municipal Code shall be presented to the City Council for approval.

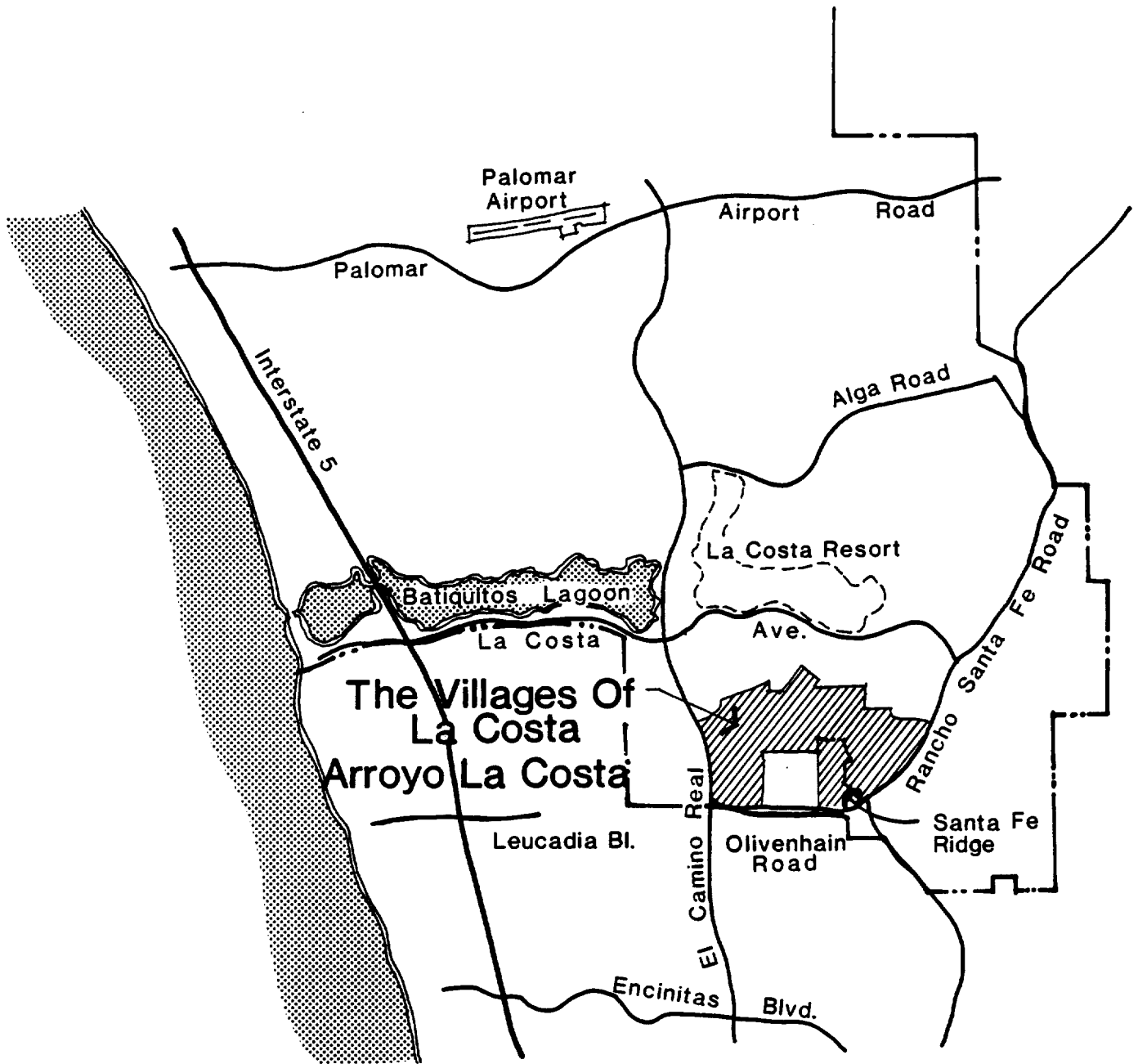
An amendment to the Zone 12 Local Facilities Management Plan in conformance with the Arroyo La Costa Master Plan has been processed concurrently with the Master Plan. The amendment to the Zone 12 Local Facilities Management Plan was prepared pursuant to the City's Growth Management Program, Title 21, Chapter 21.90 of the Carlsbad Municipal Code. The contents of the plan follow the outline established by Section 21.90.110 of the Growth Management Ordinance. The Zone 12 Plan is consistent with the Citywide Facilities and Improvements Plan, and it implements the Citywide Plan adopted September 23, 1986.

The Zone 12 Plan provides a detailed description and analysis of how Zone 12 will develop from its current status to build out. The Plan also demonstrates how and when each facility and improvement will be constructed in order to accommodate development within the Zone (phasing). The Plan also provides a complete description of how each facility and improvement will be financed when mitigation is necessary.

B. PROJECT DESCRIPTION

The Arroyo La Costa Master Plan includes 528.78 acres located in the southeast portion of Carlsbad. Exhibit 3 on page 5 indicates the location of the project which is bounded to the west by El Camino Real, to the south by Olivenhain Road and the existing Rancho Ponderosa subdivision, to the east by Rancho Santa Fe Road and existing single family development to the north within the City of Carlsbad. The major circulation system and land uses are illustrated by Exhibit 2, page 3.

The above-mentioned acreage also includes the 43.2 acres covered by the existing 170 unit Santa Fe Ridge Project. Since this project was a part of the original La Costa Master Plan, it has been included in the Arroyo La Costa Master Plan. Santa



Location Map
ARROYO LA COSTA



Fe Ridge has an existing Homeowners' Association which has the option of requesting annexation to the Arroyo La Costa Master Homeowners' Association, but shall not be required to join.

The Master Plan consists of 16 residential Villages, 9 Open Space Planning Areas, a recreation/daycare center, 2 school sites, and a church site. When built out, the Arroyo La Costa Master Plan will consist of a maximum 1,145 future single family homes (i.e. excluding existing). These residences will be located on lots that range from 5,000 to over 23,000 square feet in size with the majority of the lots over 7,500 square feet in size. The minimum size of the flat, usable portion of each lot will be 5,000, 6,000 or 7,000 square feet depending upon the village in which it is located.

Features of the Arroyo La Costa Master Plan include a pedestrian/bike trail which will be used to provide access from the various neighborhoods to a centrally located common recreation/day care facility. Passive recreational lots will be located in most of the villages to provide open space as well as access to the trail system. A pedestrian/bike bridge will span Calle Barcelona from a common recreation/day care center to the nearby junior high school. The trail system has been designed to provide links to other portions of Carlsbad as well as provide bicyclist and pedestrian circulation within the Master Plan area.

The Master Plan has been designed to preserve the environmental resources located on the site. These include an existing riparian habitat at the central, western area of the property and an oak grove located at the northern central area of the property. A portion of the pedestrian/bicycle trail system will be constructed along each side of the enhanced riparian corridor. The existing oak grove will be incorporated into the design of the adjacent village as a natural, passive recreation area.

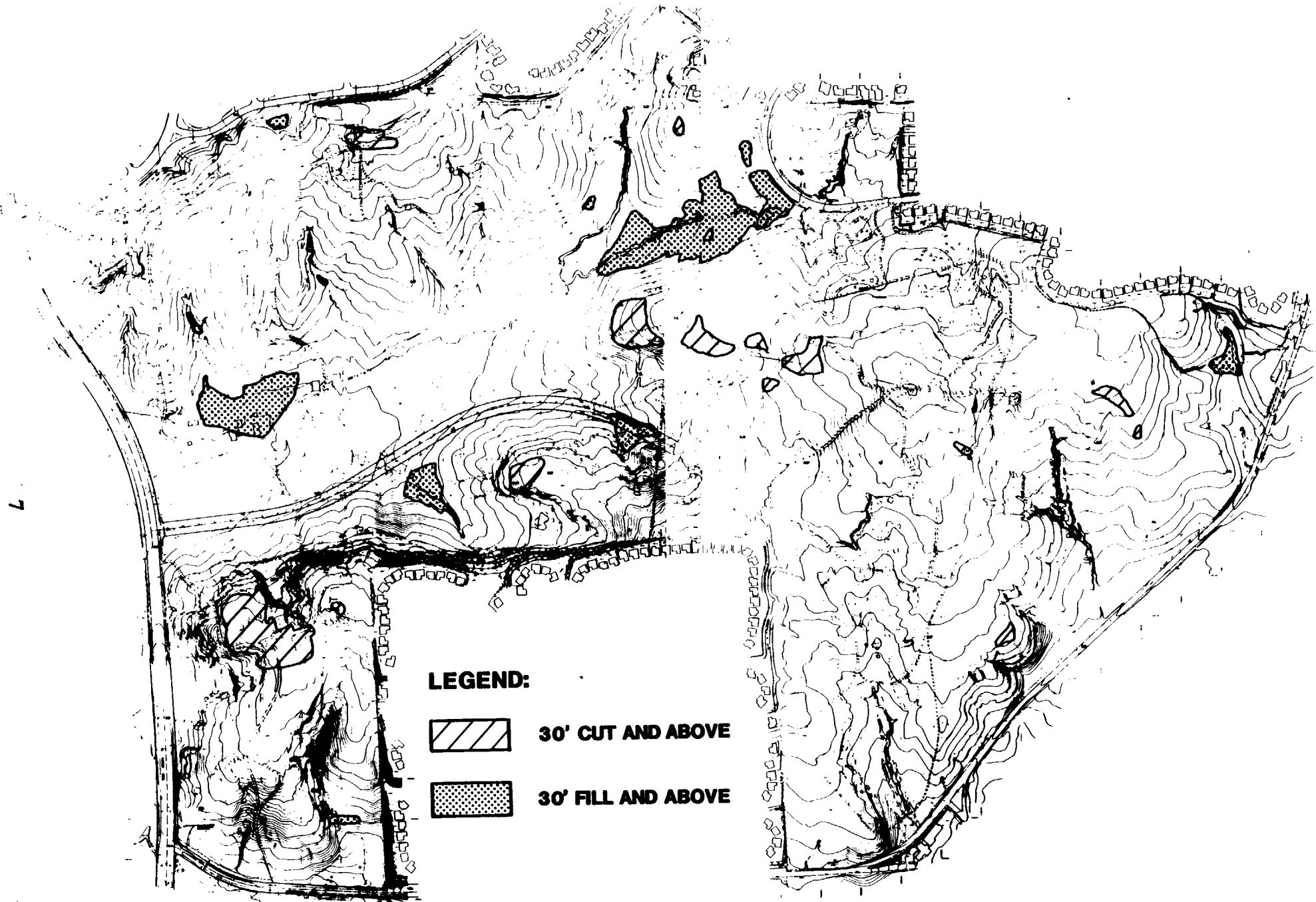
A common active recreation area will be located in the center of the project and will consist of a junior olympic pool, tennis courts, recreational building, day care center and outdoor play areas. Additional, large, passive recreation areas will be located in the north central and the westerly portion of the Master Plan. Both of these areas will be linked to the central recreation area through a trail system.

A uniform wall, fence, and sign program will be incorporated into the project area to foster a sense of community.



C. ARROYO LA COSTA MASTER APPLICATIONS

The following applications are being processed concurrently with this Master Plan:

1. **General Plan Amendment** to revise land use designations within the Master Plan area. The existing General Plan designations do not accurately reflect existing topography or constraints of this site. The proposed revision will have two main results: 1) Changing small areas of residential land uses from multiple family to single family for better compatibility with surrounding,



LEGEND:

-  **30' CUT AND ABOVE**
-  **30' FILL AND ABOVE**

existing development; and 2) Changing open space boundaries to result in larger, more contiguous open space areas that protect the more valuable biological resources on the site.

2. **Local Facilities Management Plan Amendment** to address the revised land use designations. Per the requirements of the Carlsbad Growth Management Program, the Zone 12 Local Facilities Management Plan must be updated to be consistent with the General Plan Land Uses proposed in this Master Plan. This Local Facilities Management Plan Amendment addresses existing and future projected adequacy of public facilities through build out of the Master Plan to City build out.
3. **Certification of an Environmental Impact Report** addressing all of the discretionary approvals being requested with this Master Plan. This Environmental Impact Report constitutes all environmental review required for approval of this Master Plan and all other discretionary approvals being granted at this time.
4. **Master Plan Amendment** to the existing La Costa Master Plan to delete all portions of it that refer to the area previously known as La Costa Southwest (Arroyo La Costa).
5. **Zone Change** from R-1 to P-C for approximately 8.42 acres at the northern edge of the Arroyo La Costa Master Plan area to incorporate it into the Master Plan area. This parcel was created as a remainder parcel when the subdivision to the north was created in the 1970's. Due to the existing development and surrounding topography it can only be accessed from the south through the master plan area. It is being incorporated as General Plan Open Space in the proposed Master Plan.
6. **A 1076 unit Tentative Tract Map, Planned Development and Hillside Development Permit** for the undeveloped area covered by the Arroyo La Costa Master Plan. This tentative map includes the area that was covered by the previously approved tentative map CT 85-6/PUD 80.
7. **A Site Development Plan** for the common recreation/daycare facility. The Site Development Plan includes a 6,400 square foot recreation building which houses a meeting room and offices, and a 6,400 square foot daycare facility. In addition, a swimming pool, tennis courts and play area are proposed. This site development plan is being processed as an independent application from the planned unit development to allow for modifications without amendment to the entire tentative map and planned development permit.
8. **A Special Use Permit** for alteration of the 100-year flood plain. In order to provide adequate access to the northern portion of the project and allow for construction of a circulation element roadway, the 100-year floodplain of the small drainage basin within the Arroyo La Costa Master Plan must be altered.

The applicant has provided detailed HEC II hydrological studies showing the proposed modification to the 100-year floodplain will have no adverse impacts onsite or downstream from the project site.

9. **A Special Use Permit to demonstrate compliance with the El Camino Real Corridor Standards.**

D. MASTER PLAN GOALS

The Arroyo La Costa Master Plan has been developed based on the following goals. All development within the Master Plan shall conform to these goals:

1. **Preserve the environmental resources and existing topographic character of the Master Plan Area.**
2. **Ensure that development within the Master Plan is compatible with internal development as well as compatible with surrounding development.**
3. **Create and maintain an open space network (i.e., pedestrian/bicycle trails) which links neighborhoods within the Master Plan and the Master Plan community to surrounding land uses.**
4. **Create a variety of single family neighborhoods focused on common recreation areas.**
5. **Conform to all aspects of Carlsbad's General Plan, Zone 12 Local Facilities Management Plan and all applicable City ordinances, regulations and policies.**
6. **Ensure that public facilities and services that serve the Master Planned community meet or exceed applicable City standards and requirements prior to, or concurrent with development.**
7. **Create an attractive, buffered circulation system that provides for the safety needs of automobiles, cyclists, and pedestrians.**

E. RELATIONSHIP TO THE LA COSTA MASTER PLAN

The original La Costa Master Plan was approved by the City Council in 1972, and has had several amendments since that time. The La Costa Master Plan covered approximately 5282 acres, divided into four areas as follows:

The Developed Area	2888 acres
The Northwest Area	744 acres
The Southeast Area	1121 acres
The Southwest Area	529 acres

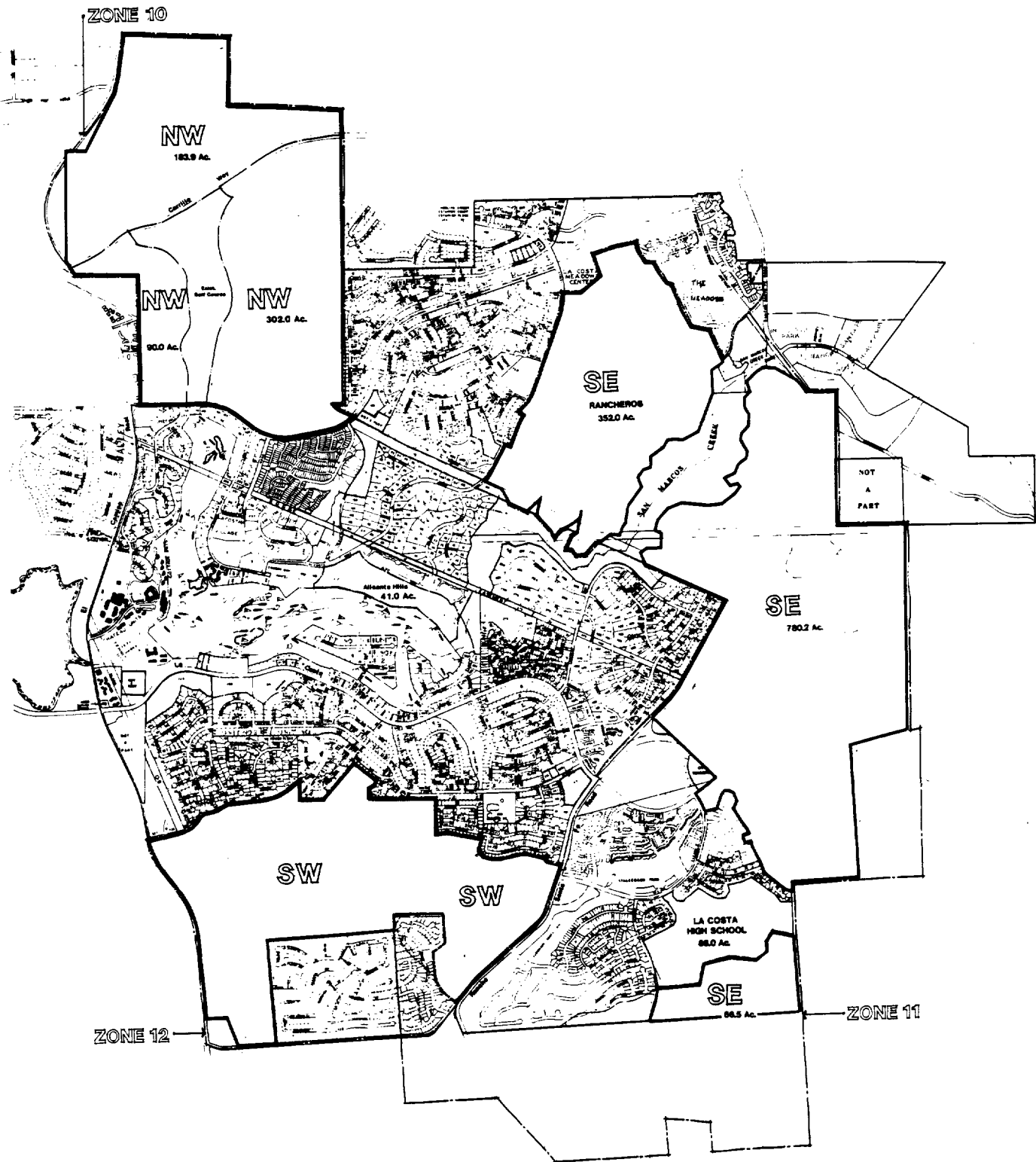
See Exhibit 5 on page 11 for the location of each of these areas.

Because the La Costa Master plan is 17 years old, the document does not adequately address current environmental concerns nor does it comply with City standards and policies. To correct these inconsistencies, in 1985 the City Council directed the Carlsbad Planning Department to work with the owner of the undeveloped portions of La Costa to revise and update the La Costa Master Plan. Because the owners of the undeveloped portions of La Costa are not yet ready to develop all of their properties, staff and the developer have agreed to first address the Southwest area of the Master Plan (now called the Arroyo La Costa Master Plan).

To simplify matters, the La Costa Master Plan is being amended concurrently with the preparation of the Arroyo La Costa Master Plan and will eliminate all references to the Southwest. The La Costa Master plan will remain in effect for the Developed, Northwest and Southeast areas.

It is anticipated that the Southeast portion of the La Costa Master Plan will be the next area considered for development. When that occurs, a separate Master Plan will be prepared and all references to that area will be removed from the La Costa Master Plan. Although the Rancho Estates area was originally included in the Developed area of the La Costa Master plan, it was subsequently included in the Zone 11 Local Facilities Management Plan and therefore will be incorporated into the Southeast La Costa Master Plan. Similar procedures would take place when the Northwest area is developed. This would have the end result of eliminating the La Costa Master Plan and replacing it with three or four detailed, up-to-date Master Plans.

Many of the community design concepts developed in the Arroyo La Costa Master Plan may be utilized in the other Master Plans and the La Costa Master Plan. These community design concepts will be incorporated into the La Costa Master Plan when it is revised to accommodate the preparation of a detailed Master Plan for the Southeast Area of La Costa.



**La Costa Master Plan
ARROYO LA COSTA**



II. GENERAL PLAN AND LAND USE PROVISIONS

A. GENERAL PLAN

The General Plan designations of the Arroyo La Costa Master Plan are shown on Exhibit 6, page 13. They include the following designations:

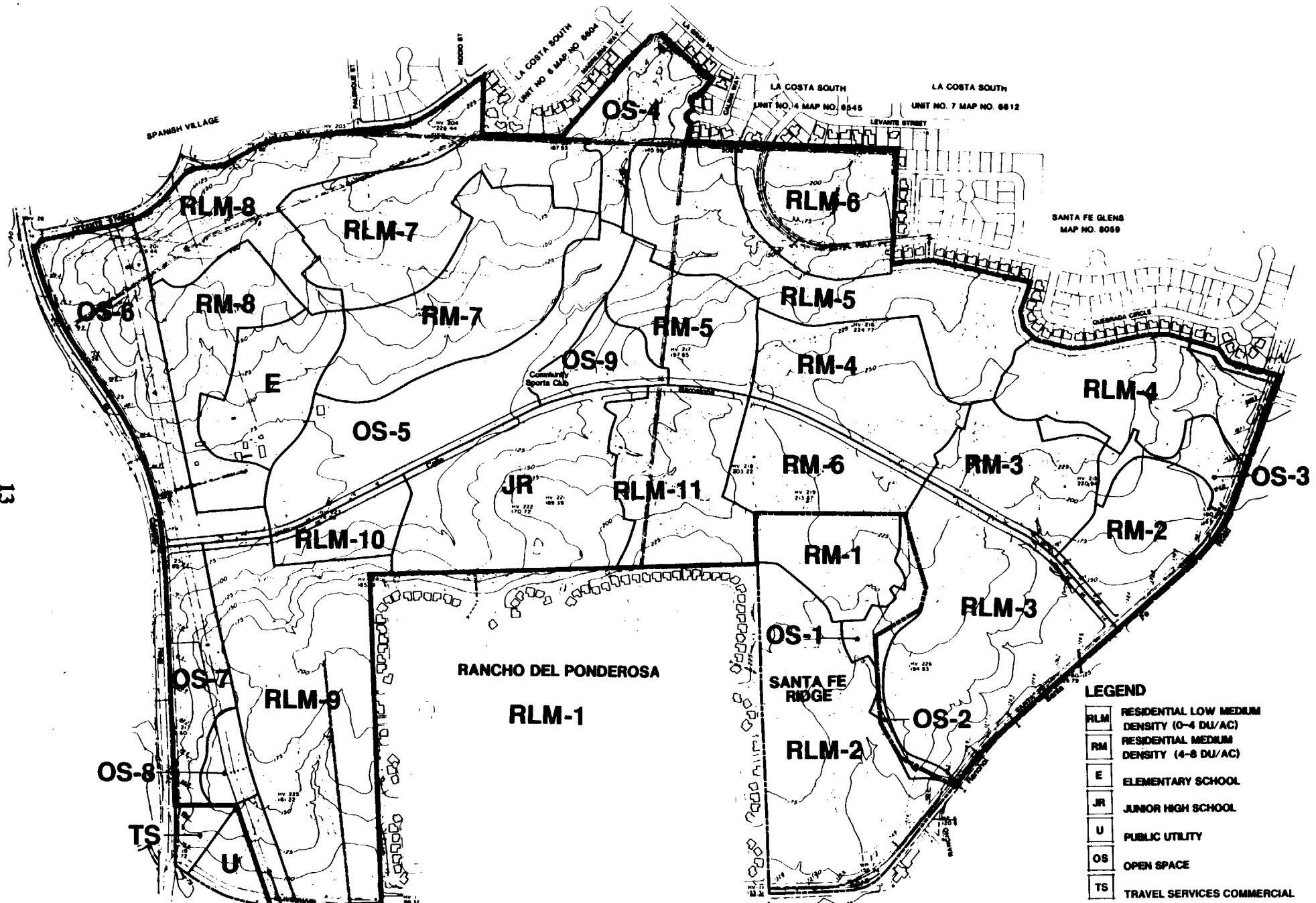
- OS - Open Space
- RLM - Residential Low Medium, 0-4 dwelling units per acre (Growth Control Point - 3.2 du/ac).
- RM - Residential Medium 4-8 dwelling units per acre (Growth Control Point 6 du/ac).

All development within the Master Plan shall be consistent with these land use designations as well as complying with the Master Plan and Village Development Standards.

B. ZONING

The property within the boundary of this Master Plan is zoned Planned Community, (PC), as shown on Exhibit 1 on page 2. The PC Zone requires that a Master Plan be approved prior to any development on the site. The Arroyo La Costa Master Plan complies with all of the requirements of Chapter 21.38, the Planned Community Zone, of the Carlsbad Municipal Code and represents the zoning for the property within its boundaries. This Master Plan has been prepared in compliance with the four goals of the Intent and Purpose section, (21.38.010), of the PC Zone.

1. Provide a method for and to encourage the orderly implementation of the general plan and any applicable specific plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accord with an adopted master plan to provide an environment of stable and desirable character;
2. Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space, community facilities, both public and private and, where appropriate, commercial and industrial areas;
3. Allow for the coordination of planning efforts between the developer and the city to provide for the orderly development of all necessary public facilities to ensure their availability concurrent with need;
4. Provide a framework for the phased development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the city; provided such plans are in accordance with the approved planned community master plan.



LEGEND

RLM	RESIDENTIAL LOW MEDIUM DENSITY (0-4 DU/AC)
RM	RESIDENTIAL MEDIUM DENSITY (4-8 DU/AC)
E	ELEMENTARY SCHOOL
JR	JUNIOR HIGH SCHOOL
U	PUBLIC UTILITY
OS	OPEN SPACE
TS	TRAVEL SERVICES COMMERCIAL

THE VILLAGES OF
LA COSTA

Proposed General Plan
ARROYO LA COSTA

EXHIBIT

6

C. LEGAL DESCRIPTION

A portion of the south half of section 36, township 12 south, range 4 west, San Bernardino meridian, together with a portion of fractional sections 1 and 2, township 13 south, range 4 west, San Bernardino Meridian, together with lot 1 and a portion of lots 2, 3, 4, 9, 10 and 11 of Rancho Las Encinitas, Map No. 848, all in the county of San Diego, State of California.

D. LAND USES

The specific land uses within this Master Plan are as shown as Exhibit 2 on page 3.

1. RESIDENTIAL

a. Types of Housing

The Arroyo La Costa Master Plan provides for a maximum of 1,145 future single family dwelling units. The residential portion of the Master Plan has been divided into 16 villages (including Santa Fe Ridge). Actual lot sizes within the Master Plan Villages will range in size from a minimum of 5,000 square feet to over 23,600 square feet. The majority of the lots will exceed 7,500 square feet in size with building pads of 5,000, 6,000 and 7,000 square feet, depending upon the Village in which the lots are located.

This design provides a variety of single-family housing opportunities consistent with the City's General Plan. Such a design is also compatible with surrounding, existing single-family dwellings.

b. Multiple Family Housing

A requirement of the City of Carlsbad's General Plan Housing Element is to provide sufficient multi-family housing. The Arroyo La Costa Master Plan does not propose to construct any multi-family housing in the area covered by the Master Plan. To comply with multi-family housing provisions as discussed in the General Plan, multi-family housing shall be required to be provided in the Master Plans for the undeveloped portions of the Southeast and/or Northwest La Costa. The exact location and number of any additional multiple family housing, if required, will be determined as the Master Plans for those areas are prepared.

To ensure that there is an adequate mixture of housing types in the Southeast and/or Northwest area, the following shall be complied with prior to recordation of the first final map in the Arroyo La Costa Master Plan:

- i. The City with the assistance and cooperation of the applicant shall compile an inventory of the existing and approved single family and multiple family units in the area covered by the La Costa Master Plan to determine whether or not additional multi-family units shall be required in the Southeast and/or Northwest areas. This determination shall be made prior to approval of future Master Plans for the Northwest and Southeast portions of La Costa. Said Master Plans shall require the developer's agreement to provide the specified amount of multi-family housing, if any, within the Master Plan areas.
- ii. General Plan Amendments may be processed to provide for multiple family housing in the Southeast and Northwest portions of La Costa; however, no increased density within these areas is either implied or guaranteed.
- iii. All of i and ii shall be documented in an Agreement between the City of Carlsbad and the Developer. This Agreement shall be recorded prior to the recordation of the first final map in the Arroyo La Costa Master Plan Area as a lien on the Developer's Southeast Master Plan Property to ensure compliance.

c. **Affordable Housing**

Another requirement of the Housing Element is to provide sufficient affordable housing through a variety of methods. The Arroyo La Costa Master Plan does not propose to construct any affordable housing in the area covered by the Master Plan; however, to comply with affordable housing provisions as discussed in the General Plan, affordable housing shall be required to be provided in the Master Plans for the undeveloped portions of the Southeast and/or Northwest La Costa. The exact method for the provision, location, and number of any additional affordable family housing, if required, will be determined as the Master Plans for those areas are prepared.

The specific items to be accomplished for the Arroyo La Costa Master Plan's fulfillment of the affordable housing requirement are set forth below:

As a condition to, and prior to recordation of the first final map for development under this Master Plan, the City of Carlsbad and the Developer shall enter into a "Housing Element Agreement" as follows:

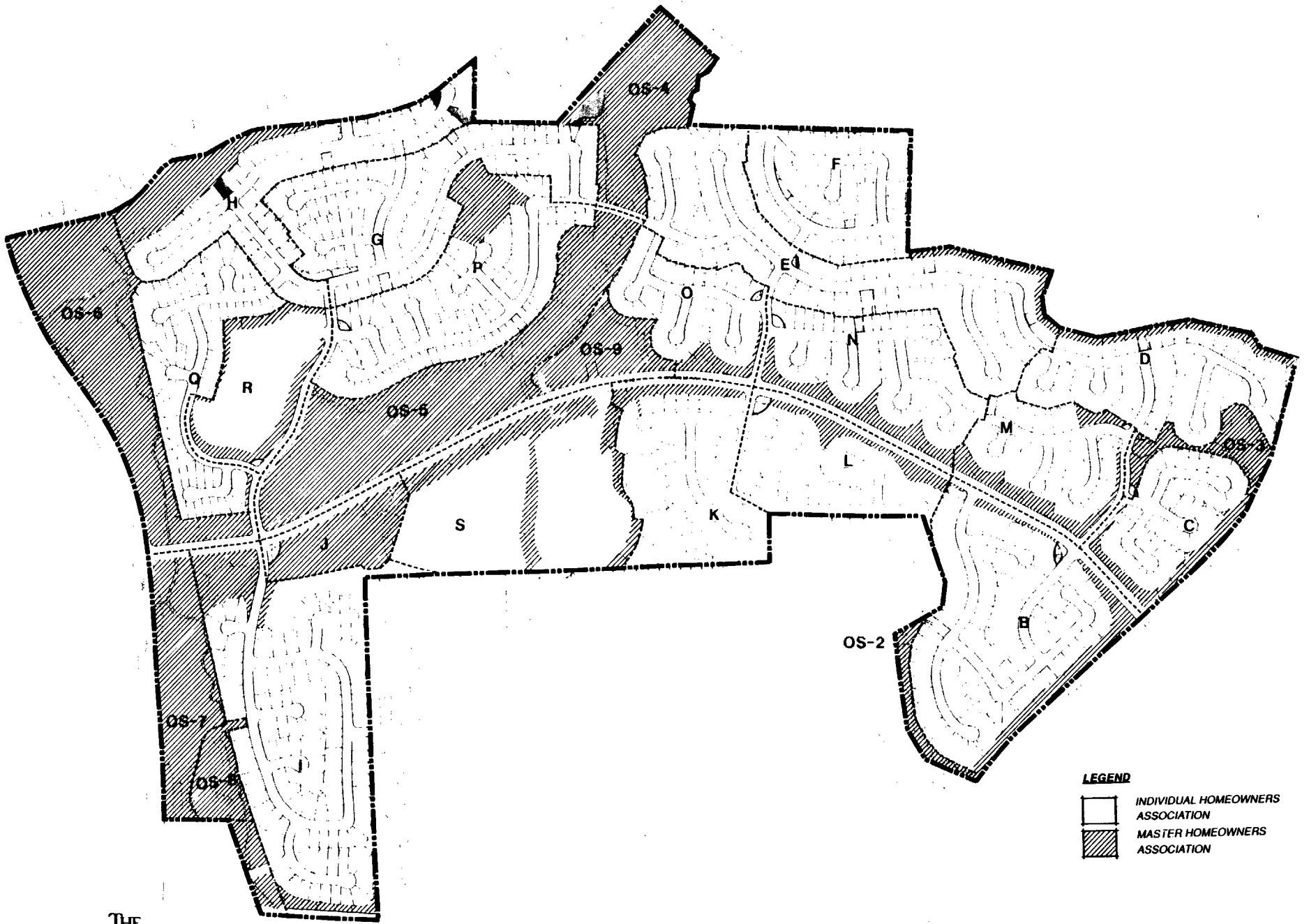
- i. The City of Carlsbad shall develop a definition of affordable housing using, but not restricted to, the options set forth in the City's Housing Element, which shall include, among other things, the estimated "fair share" of affordable housing which should

reasonably be required of all La Costa Master Plans. If it is determined that a fair share contribution to Affordable Housing is to be calculated with reference to the amount of an applicant's property approved for development, the Southwest (Arroyo La Costa), Southeast and Northwest areas of the La Costa Master Plan shall all be included within that calculation. This calculation shall be determined prior to approval of future Master Plans for the Northwest and Southeast portions of La Costa. Said Master Plans shall require developer's agreement to provide the specified ratio of affordable housing within the Master Plan areas and specified within the build out calculations for Zones 10 or 11. No increased density within these areas is either implied or guaranteed by this Master Plan.



- ii. The City of Carlsbad, with the assistance and cooperation of the Developer, shall compile an inventory of affordable housing units within the City consistent with the definition of affordable housing to be established in Item 1 above (preceding paragraph). This inventory is necessary to determine future need.
- iii. All of the foregoing shall be documented in an Agreement between the City of Carlsbad and the Developer. This Agreement shall be recorded as a lien on the Developer's Southeast Master Plan Property to ensure compliance.

2. OPEN SPACE

Preservation and enhancement of Open Space is an important aspect of this Master plan. Open Space constitutes a major portion of the Master plan, approximately 135.8 acres or 26% of the Master Plan area will be retained as Open Space. The Southwest La Costa Master Plan Open Space program consists of recreation areas, riparian habitats, natural slopes, trails, landscape parkways, utility corridors and an Oak grove located within the community. Exhibit 7 on page 17 shows which open space areas will be maintained by the Master Homeowner's Association and which will be maintained by Village Homeowners Association. A more detailed discussion of Open Space is provided beginning on page 86.



LEGEND

 INDIVIDUAL HOMEOWNERS ASSOCIATION
 MASTER HOMEOWNERS ASSOCIATION

THE VILLAGES OF
LA COSTA

Open Space Maintenance
ARROYO LA COSTA

EXHIBIT



3. SCHOOLS

Elementary School - Planning Area R, a 12.8 net acre site, has been reserved for the Encinitas Unified School District for an elementary school site.

Junior High School - Planning Area S, a 24.5 net acre site, has been reserved for the San Dieguito Union High School District to be developed as a Junior High School.

The detailed site design and timing of the construction of school facilities at these locations will be determined by the school districts. The tentative tract map that accompanies this Master Plan will establish these sites as separate lots and indicate access points to these future school locations.

E. GENERAL PROVISIONS

1. MAXIMUM NUMBER OF UNITS

The maximum development potential permitted by this Master Plan is shown on Exhibit 8 on page 19. Unless a Master Plan Amendment is processed, the development allocations shown on Exhibit 8 shall not be changed, except that residential dwelling units in a planning area may be increased up to 10 percent provided that there is a concurrent reduction in the number of dwelling units permitted in another planning area in a corresponding amount, and further provided that the total maximum number of dwelling units shall not be increased.

2. RECORDATION

Notice of the approval of this Master Plan for property within its boundaries shall be recorded with the County of San Diego Recorder's Office.

3. NONVESTING OF RIGHTS

Specific development plans shall be evaluated in accordance with Municipal Ordinances and Policies in force at the time said plans are before the Planning Commission and the City Council for approval. Where a conflict in development standards occurs the more restrictive standard shall take precedence. Approval and construction of a part of the development pursuant to this Master Plan shall not vest any rights in the balance of the Master Plan nor create any vested rights for the approval of any subsequent developments.

4. MITIGATION MONITORING

In accordance with the Assembly Bill 3180, all mitigation measures specified in EIR 86-2 and in the approving resolutions shall be complied with in their entirety at the appropriate time of development. A mitigation monitoring

EXHIBIT 8 - ARROYO L OSTA LAND USE SUMMARY

Planning Area	General Plan Designation	Zone and Development Type for Standard Review Process	Acres		Dwelling Units			TM/PD Gross Density	Phase	Planning Area Development Standards	
			Gross	Net	Growth Control Zone 12-LFMP	Arroyo La Costa Master Plan	Tentative Map/PD				
A	RLM	Single Family Detached	33.00	33.00	EXISTING	0	131	4.0	EXISTING	N/A	
	RM	(Santa Fe Ridge)	10.20	10.20	EXISTING	0	39	3.8	EXISTING	N/A	
SUBTOTAL EXISTING			43.20	43.20		0	170	3.9			
B	RLM	R-1-6000; Single Family Detached	37.39	34.34	110	100	99	2.6	3	p. 131	
C	RM	R-1-6000; Single Family Detached	13.52	12.92	77	51	42	3.1	3	p. 135	
D	RLM	R-1-7000; Single Family Detached	19.96	18.36	59	63	62	3.1	3	p. 139	
E	RLM	R-1-7000; Single Family Detached	32.45	31.15	99	99	99	3.1	3	p. 144	
F	RLM	R-1-7000; Single Family Detached	16.45	15.85	51	48	46	2.8	3	p. 149	
G	RLM	R-1-6000; Single Family Detached	25.30	25.30	81	94	94	3.7	2	p. 152	
H	RLM	R-1-6000; Single Family Detached	24.10	22.35	71	78	77	3.2	2	p. 156	
I	RLM	R-1-6000; Single Family Detached	43.65	39.95	128	122	118	2.7	1	p. 160	
J	RLM	Church Site	7.60	6.60	21	0	0	0.0	2	p. 165	
K	RLM	R-1-6000; Single Family Detached	20.90	19.85	63	63	61	2.9	3	p. 169	
L	RM	R-1-6000; Single Family Detached	15.80	14.60	88	55	48	3.0	3	p. 173	
M	RM	R-1-5000; Single Family Detached	15.10	13.75	83	56	42	2.8	3	p. 177	
N	RM	R-1-5000; Single Family Detached	20.06	18.86	113	76	71	3.5	3	p. 181	
O	RM	R-1-5000; Single Family Detached	12.90	11.20	67	56	48	3.7	3	p. 185	
P	RM	R-1-5000; Single Family Detached	26.10	25.60	153	106	97	3.7	2	p. 189	
Q	RM	R-1-5000; Single Family Detached	17.30	16.55	99	78	72	4.2	2	p. 193	
R	E	Elementary School	13.30	12.80 *	N/A	N/A	N/A	0.0	2	p. 197	
S	J	Junior High School	27.40	24.50 *	N/A	N/A	N/A	0.0	2	p. 201	
OS-1	OS	N/A	4.00	3.95	N/A	N/A	N/A	0.0	EXISTING	N/A	
OS-2	OS	N/A	1.70	1.60	N/A	N/A	N/A	0.0		3	p. 205
OS-3	OS	N/A	4.81	3.96	N/A	N/A	N/A	0.0		3	p. 209
OS-4	OS	N/A	12.18	9.68	N/A	N/A	N/A	0.0		2	p. 212
OS-5	OS	N/A	28.46	19.36	N/A	N/A	N/A	0.0		2	p. 215
OS-6	OS	N/A	21.70	10.05	N/A	N/A	N/A	0.0		2	p. 219
OS-7	OS	N/A	13.44	6.14	N/A	N/A	N/A	0.0		1	p. 222
OS-8	OS	N/A	3.56	1.56	N/A	N/A	N/A	0.0		1	p. 225
OS-9	OS	Community Recreation Facility	6.45	5.60	N/A	N/A	N/A	0.0		2	p. 229
SUBTOTAL FUTURE			485.58	426.43	1363	1145	1076				
TOTAL MASTER PLAN ACREAGE			528.78	469.63							
UNIT TRANSFER FROM ZONE 12 TO ZONE 11											
COMPENSATION FOR OVERBUILT EXISTING**											
FUTURE MASTER PLAN						1145	1076				

19

Notes: * Since school sites are considered constrained acreage, they are not included in the total net acreage for the Master Plan.
 ** To compensate for Zone 12 projects built at higher densities prior to adoption of the Carlsbad Growth Management Program, the number of allowable units in the Arroyo La Costa must be reduced from the Growth Management build out projection by 39 dwelling units. A complete Growth Management build out analysis is contained in the Zone 12 LFMP.
 *** The Rancho Ponderosa development, consisting of 419 single family residential dwellings on 120 net acres, is also within Zone 12. It is not a part of the Arroyo La Costa Master Plan.
 **** Arroyo La Costa Future Density (Based on Proposed Tentative Map): Gross - 2.2 du/ac Net - 2.5 du/ac

program shall be included as an attachment to the resolution certifying EIR 86-2.

5. GROWTH MANAGEMENT

The applicant shall comply with all provisions of the Carlsbad Municipal Code, Section 21.90 (Growth Management Program). The applicant by pulling building permits pursuant to the Master Plan and the Local Facilities Management Plan (LFMP) for Zone 12 agrees that all of the dedication and other requirements imposed as a condition of the Master Plan for Zone 12 LFMP are reasonably necessary to serve the needs of the development for which the building permits are required.

6. CONDITION VALIDITY

If any condition for construction of any public improvements or facilities, or the payment of any fees in lieu thereof, imposed by this approval or imposed by law on this project are challenged, this approval shall be suspended as provided in Government Code Section 65913.5. If any such condition is determined to be invalid this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law.

7. DEDICATIONS

All land and/or easements required by this Master Plan for public streets, open space, recreational purposes and public utility purposes shall be granted to the City of Carlsbad without cost to the City and free of all liens and encumbrances.

8. AVAILABILITY OF PUBLIC SERVICES

Approval of this plan does not constitute any guarantee that individual developments within the Master Plan area will be approved nor that the availability of public facilities and services will necessarily coincide with the Developer's timetable for construction. Availability of public services will be evaluated in the context of subsequent individual approvals.

9. PUBLIC FACILITIES

To ensure that all development areas of the Master Plan shall be adequately served, the developers of the Master Plan or portions thereof shall be required to provide for their share of the construction or funding of all necessary public facilities pursuant to the approved Zone 12 Local Facilities Management Plan.

10. ZONING

Pursuant to the powers of Chapter 21.38 of Carlsbad Zoning Ordinance (P-C Zone), this Master Plan shall constitute the zoning for all lands within the Master Plan. No person shall use or develop contrary to the provisions of the Master Plan any land located within the boundaries defined by the Master Plan. All provisions of the Master Plan are imposed as a condition of zoning. Approval of this document does not excuse compliance with all other applicable City ordinances in effect at the time building permits are issued.

11. FISCAL IMPACTS

The fiscal impacts of the proposed project have been analyzed by the applicant and reviewed by the City of Carlsbad Finance Department. The analysis has determined that the proposed development will have a net zero fiscal impact on the City. Although the analysis is a reasonable effort to determine the fiscal impacts of development, any report of this type should be accepted only with the knowledge that it is based on a wide range of assumptions. Many of these assumptions must be accepted based on a sense of reasonableness rather than fact or defensible research.

12. HILLSIDE DEVELOPMENT ORDINANCE

All development within the Arroyo La Costa Master Plan shall be in compliance with Chapter 21.95, the Hillside Development Ordinance, of the Carlsbad Municipal Code.

13. LOCATION OF IMPROVEMENTS

The location of streets, utilities, and other land use related improvements are approximate on the Master Plan Map. Precise locations will be established through the approval of the Tentative Map and Site Development Plans. A variation of up to but not exceeding ten (10) percent in the locations as shown on the Master Plan map shall be considered consistent with the Master Plan. Any variations will be governed by Engineering Department Policy No. 30 regarding substantial conformance.

14. TRAIL SYSTEM

An extensive trail system shall be provided for the Master Plan area as shown on the Master Plan Exhibit 46, page 93.

15. LANDSCAPING

A detailed landscape and irrigation plan will be submitted to the Planning Director prior to the issuance of building permits for each Village.

16. **OAK TREES**

Prior to the issuance of a grading permit or the recordation of the first final map within the boundary of the Arroyo La Costa Master Plan, the applicant shall submit a map with all the existing onsite Oak trees plotted. In addition, a text shall be submitted showing the approximate size of the trees, the feasibility of relocating each tree that would be eliminated by development to another place or site. The text shall also include individual cost estimates for relocation and shall be prepared by an expert with experience in relocating Oak trees. The text and map shall be submitted to the Planning Director for review and approval.

17. **ARCHITECTURAL REVIEW BOARD**

Prior to approval of the first final map the applicant shall establish the Arroyo La Costa Architectural Review Board. The Architectural Review Board shall be responsible for the review and approval of all room additions, patio covers, decks, patios and other structures requiring a building permit.

18. **ROOM ADDITIONS**

All proposed room additions, porch covers, patios, decks and other construction requiring a building permit from the City of Carlsbad shall be approved by the Arroyo La Costa Architectural Review Board. No plans will be reviewed by the City unless they first obtain the approval of the Arroyo La Costa Architectural Review Board. All room additions and porch covers shall comply with the setback and lot coverage requirements established by the Village Development Standards. The above-mentioned information shall be clearly stated in the Master CC&Rs for this project.

19. **MASTER PLAN MAP**

All purchasers of homes within the Arroyo La Costa Master Plan shall be given a 200 scale site plan of the Master Plan area prior to the close of escrow on each lot.

20. **TRANSFER OF UNITS**

a. **Within the Arroyo La Costa Master Plan**

The maximum number of dwelling units allocated for the Arroyo La Costa Master Plan is indicated in Exhibit 8, page 19. Unless a Master Plan Amendment is processed, the development allocations shown on Exhibit 8 shall not be changed, except that Residential dwelling units in a planning area may be increased up to 10 percent subject to the approval of the Planning Director, provided that there is a concurrent reduction in the number of dwelling units permitted in another planning

area in a corresponding amount, and that the total maximum number of dwelling units within the Master plan not be increased.

b. Outside the Arroyo La Costa Master Plan

Under the City's Growth Management ordinance, at the discretion of the City Council and provided certain conditions are met, units may be transferred to another zone within the same quadrant. This action is based on the provision that, if following adoption of all residential Local Facilities Management Plans within a quadrant, the Proposition E quadrant cap is greater than the number of dwelling units approved or issued after November 4, 1986 plus the allowable future units per the Growth Management Control Point.

Although this Master Plan limits the number of units to be constructed within Zone 12, excess units as calculated under the Growth Management Program, may subsequently be proposed for construction in the Southeast or Northwest areas of La Costa. No increased density within these areas is either implied or guaranteed by the Arroyo La Costa Master Plan. Should additional dwelling units become available within the Southeast Quadrant, the developer will be required to petition the City Council to request these additional units. Under no circumstances will preference be given Arroyo La Costa if they request additional units. All other developers within the quadrant will have the same rights and privilege to compete for any available units.

21. MASTER HOMEOWNERS' ASSOCIATION

Prior to the recordation of the first final map, the applicant shall establish a Master Homeowners' Association for the entire Arroyo La Costa Master Plan area which will include representation from all planning areas and shall prepare Covenants, Conditions and Restrictions (CC&R's) which control the private uses, design, maintenance and development standards for each area of the Master Plan. Included within the Master Association shall be one or more sub-associations composed of villages grouped according to issues of concern. Each association shall be an equal member of the Master Association and may be required to pay a reasonable amount of dues to the Master Association. The CC&Rs shall be approved by the City Attorney, and Planning Director; the City shall not participate as a member of the Architectural Review Board. No revisions that weaken or diminish the rights of the City shall be made to these CC&R's without the City's prior written consent.

- a. The CC&Rs shall state expressly that the property is subject to the provisions of the Master Plan. It shall also be indicated that the City shall have the right but not the obligation to enforce the provisions of this Master Plan through the normal enforcement procedures if the

City Council determines such enforcement is necessary to protect the public welfare and may assess homeowners for costs incurred therein.

- b. The CC&Rs shall prohibit the storage or parking of recreational vehicles within any of the Villages except in approved RV storage areas.
- c. The Master Association shall control the operation and maintenance of the recreation vehicle storage area, entry features, common slopes and other common features identified in the Master Plan. The Master Homeowners' Association shall also be responsible for the maintenance of the open space/trail system. If a Citywide Open Space Maintenance District is formed, the city may assume, at its discretion, maintenance and liability responsibility for the trail network.
- d. The Master Homeowners' Association shall also assume responsibility for the landscape and maintenance of the two school sites until such time as the school districts begin construction. Also included will be the landscape and maintenance of the church site until construction of the church begins.
- e. The provisions of the Master CC&Rs shall be binding to the provisions of the CC&Rs for the Village Associations and may not conflict. Slope areas within individual villages shall be maintained by the Master Association if exposed to major streets. The developer shall submit a master maintenance plan showing all areas to be maintained by the Master Association to be approved by the Planning Director prior to any final map approval.

22. RECREATIONAL VEHICLE STORAGE

Planning Area OS-8 shall be developed as a Recreational Vehicle Storage Area to serve the needs of the residents of the Arroyo La Costa Master Plan area. It shall have a minimum usable area of 1.56 acres. This RV storage area shall be operated and maintained by the Arroyo La Costa Master Homeowners' Association. Recreational Vehicle storage shall be available by use of an all weather access road prior to occupancy of any residential unit in the Arroyo La Costa Master Plan. If there is space available within the RV storage area, nonresidents of the Arroyo La Costa Master Plan may be allowed to store their recreational vehicles in this area. The fees charged to these nonresidents shall be used to pay for the maintenance of the RV storage area. As the Arroyo La Costa Master Plan is developed, residents of the Master Plan area shall have priority over nonresidents for storage space within Planning Area OS-8.

23. **DEVELOPMENT AND PUBLIC FACILITY PHASING**

The Zone 12 Local Facilities Management Plan contains a detailed development phasing program. The objective of the program is to coordinate the provision of public facilities and services with a projected sequence and pattern of development. The project has been divided into three development phases. Each phase has specific onsite and offsite improvements that are required prior to or concurrent with development. Thresholds (Performance Standards) as established in the Zone 12 Local Facilities Management Plan to ensure the appropriate timing of facilities and services. All public facility performance standards identified in the Zone 12 Local Facilities Management Plan must be complied with as the Master Plan develops. The Arroyo La Costa Master Plan will be graded and developed in three phases. The boundaries of these three phases are shown by Exhibit 9 on page 26. Project specific improvements for each phase are listed below.

a. **PHASE ONE**

Phase I shall be limited to the construction of Village I as well as the improvements discussed below:

i. **NUMBER OF LOTS/DWELLING UNITS**

<u>Village</u>	<u>Units</u>	<u>Lots</u>	<u>Open Space Lots within the Village</u>
I	118	122	4
Open Space Areas		2	
<hr/>			
TOTAL	118	124	

ii. **RECREATIONAL LOTS**

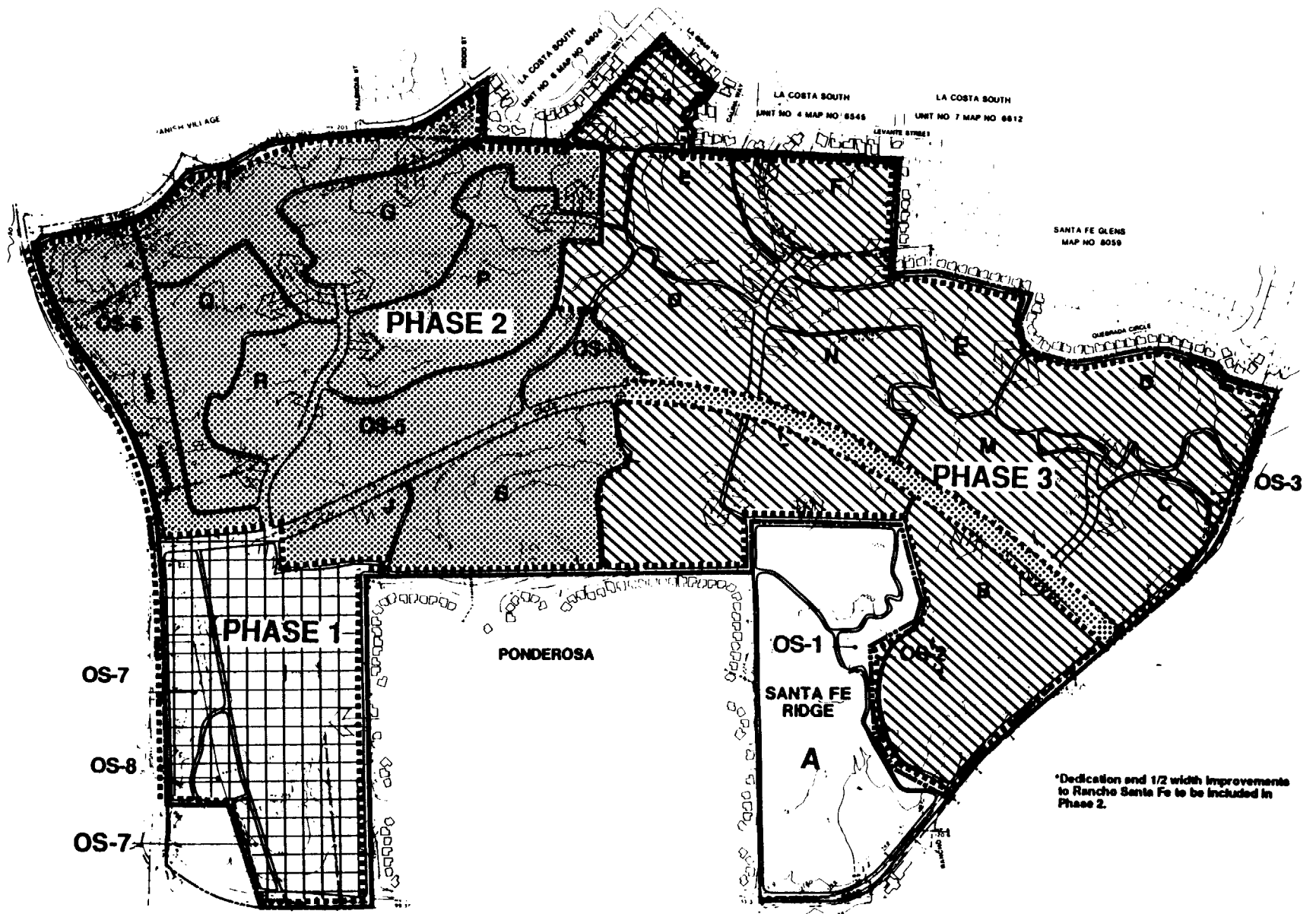
The recreational facilities on Lot 121 on the north side of Village I will be provided concurrent with development.

iii. **LANDSCAPING/TRAILS**

Open Space Areas 7 and 8 including trail systems will be constructed and enhanced concurrent with development.

iv. **RV STORAGE**

The recreational vehicle storage area in OS-8 will be provided.



Phasing
ARROYO LA COSTA



v. WATER STORAGE

The water system shall be installed per the approval of Olivenhain Water District.

vi. SEWER SYSTEM

The sewer system shall be installed per the approval of Leucadia County Water District.

vii. GRADING

- a. All of Phase I and that portion of Phase I exported into the Phase II area will be graded.
- b. Desiltation basins shall be installed in the general areas of lot 30 & 31 at the south of Phase I, the intersection of Calle Barcelona and Street 'C' at the North of Phase I and at the existing eighteen inch culvert under El Camino Real in OS-7 to the East of Phase I.

viii. CIRCULATION

a. Olivenhain Road

- i. Olivenhain Road will be dedicated to full half width Right-of-Way within Phase I project boundary based on a centerline to right-of-way width of 63 feet.
- ii. All offsite easements will be secured on the railroad property or on the property on the south side of Olivenhain Road necessary to install an interim four through lanes on Olivenhain Road from El Camino Real to Rancho Santa Fe Road.
- iii. Full half width improvements will be graded and installed for Olivenhain Road within Phase I project boundary. A bond will be posted for the half width median improvement of Olivenhain Road adjacent to Phase I project boundary for future construction at a time when required by the City.
- iv. The necessary improvements will be constructed to provide a temporary four lane roadway along

present Olivenhain Road alignment from Rancho Santa Fe to El Camino Real.

b. El Camino Real

- i. Right-of-way for full half width improvement of El Camino Real will be dedicated in accordance with City Standards along the full master plan boundary. An offer of dedication will be made for an additional 20 feet of right-of-way and any necessary slope and drainage easements as required by the City Engineer immediately east of the required standard dedication for potential future widening of El Camino Real.
- ii. An off-site easement will be secured for half street widening of El Camino Real to City standard along the railroad property.
- iii. Full half width improvement of El Camino Real from Olivenhain road to Levante Street including full width median improvements will be graded and improved. Improvements to the roadway median sections will be made with turn pockets and the future Calle Barcelona intersection to bring all structural sections into conformance with City Standards .
- iv. Necessary signal modifications will be made at the intersections of El Camino Real and Olivenhain Road and El Camino Real and Levante.

c. Calle Barcelona

- i. Calle Barcelona will be dedicated and improved to full width secondary arterial standards from El Camino Real through 'C' Street. An additional 15' easement on both sides of the right-of-way will be dedicated for meandering bicycle and pedestrian trails which will be constructed from El Camino Real through 'C' Street.
- ii. Traffic signal will be constructed at the intersection of El Camino Real and Calle Barcelona.

B. PHASE TWO

Phase Two shall be limited to the construction of Villages G, H, P, Q as well as improvements discussed below.

i. NUMBER OF LOTS/DWELLING UNITS

<u>Villages</u>	<u>Units</u>	<u>Lots</u>	<u>Open Space Lots within the Villages</u>
Village G	94	97	4
Village H	77	81	4
Village P	97	100	3
Village Q	72	73	1
Open Space Areas		3	
School Sites		2	
Village J		1	
<hr/>			
Total	340	358	12

ii. OPEN SPACE LOTS/RECREATION LOTS/DAYCARE CENTER

- a. The common Recreation/Daycare Center will be constructed in Open Space Area OS-9.
- b. The Open Space/Recreational lots located within Villages G, H, P, Q will be provided concurrent with development.

iii. LANDSCAPING/TRAILS

- a. The landscaping/enhancement and trail systems of OS-5, OS-6, and OS-9 will be provided.

iv. WATER SYSTEM

The water system will be installed per the approval of Olivenhain Water District.

v. **SEWER SYSTEM**

The sewer system will be installed per the approval of the Leucadia County Water District.

vi. **GRADING**

- a. All of Phase II and the portion of Phase III exported into Phase II will be graded.
- b. Desiltation basins will be installed in the general areas of; the storm drain discharge at the northwesterly and southeasterly corners of OS-5, lots 21 & 100 of Village 'P', the storm drain undercrossing of the pedestrian path at the easterly portion of OS-5, at the junior high school site and at the north east corner of Calle Barcelona and street 'C'.
- c. The slopes along Calle Barcelona within Phase III will be finish graded to their ultimate positions.

vii. **CIRCULATION**

Calle Barcelona

- a. Calle Barcelona will be dedicated to full width secondary arterial standards from 'C' Street to Rancho Santa Fe Road. An additional 15' easement will be dedicated on both sides of the right-of-way for construction of meandering bicycle and pedestrian trails from 'C' Street to easterly end of Phase II. Necessary easements will be dedicated for the construction of the pedestrian bridge.
- b. Calle Barcelona will be improved to full width secondary arterial standards from 'C' Street to most easterly end of Phase II.
- c. Calle Barcelona will be graded to full width secondary arterial standards from the most easterly end of Phase II to Rancho Santa Fe Road. A 32' wide pavement will be installed including all utilities and service lines planned to be placed under that 32' section. Necessary drainage facilities and pedestrian path will be installed from the most easterly end of Phase II to Rancho Santa Fe Road.

- d. Calle Barcelona will be improved to full width secondary arterial standards from its intersection with Rancho Santa Fe Road to a length satisfactory to the City Engineer for proper functioning of the intersection.
- e. The necessary signal modifications will be provided at the intersection of Calle Barcelona and Rancho Santa Fe Road.

C. PHASE III

Phase III shall be limited to the construction of Villages B, C, D, E, F, K, L, M, N, O as well as the improvements discussed below.

i. NUMBER OF LOTS/DWELLING UNITS

<u>Village</u>	<u>Units</u>	<u>Lots</u>	<u>Open Space Lots Within The Village</u>
B	99	104	5
C	42	43	1
D	62	64	2
E	99	102	3
F	46	47	1
K	61	62	1
L	48	50	2
M	42	45	3
N	71	73	2
O	48	49	1
Open Space Areas		4	
<hr/>			
TOTAL	618	643	21

ii. OPEN SPACE LOTS

- a. The Open Space Lots within Villages B, C, D, E, F, K, L, M, N, O will be provided concurrent with development.

iii. CIRCULATION

Rancho Santa Fe Road

- a. Rancho Santa Fe Road will be reconstructed on the west side along Village 'B' to eliminate the previously installed right turn lane which is no longer required.
- b. All necessary easements will be provided for the portion of the potential future pedestrian bridge on site in Open Space Area OS-3.

Calle Barcelona

- a. Calle Barcelona will be improved to full width secondary arterial standards from easterly end of Phase II to Rancho Santa Fe Road including the meandering pedestrian and bicycle trails within the 15' easements on both sides of right-of-way.

iv. GRADING

- a. All of Phase III will be graded.
- b. Desiltation basins will be installed in the general areas of; the south easterly corner of OS-5 and either along the easterly side of Rancho Santa Fe Road south of Calle Barcelona or at several locations along the westerly side of Rancho Santa Fe Road as directed by the City Engineer.

III. DEVELOPMENT REVIEW PROCESS

Individual Planning Areas within this Master Plan shall be reviewed relative to the provisions of this chapter.

A. MASTER PLAN

Any revisions to the Arroyo La Costa Master Plan shall be processed pursuant to Title 21 of the Carlsbad Municipal Code as well as Chapter III, E, page 34 of this document. All revisions must conform to and implement the Master Plan. Any application which is not consistent with the Master Plan shall not be approved.

B. TENTATIVE MAP AND PLANNED UNIT DEVELOPMENT PERMIT

A tentative tract map (CT 88-1) and planned unit development (PD 88-3) are being processed concurrently with the Arroyo La Costa Master Plan. Any revisions to CT 88-1 and PD 88-3 shall be processed pursuant to Titles 20 and 21 of the Carlsbad Municipal Code. All future development shall occur substantially in conformance with these approvals unless otherwise amended. All proposed tentative map and planned unit development revisions must conform to, and implement the Master Plan. Any application which does not implement the Master Plan shall not be approved.

C. SITE DEVELOPMENT PLAN

A Site Development Plan processed pursuant to Chapter 21.06 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of a church or school. The Site Development Plan shall be consistent with the concepts, goals and standards specified in this Master Plan to ensure compatibility with all appropriate City policies and ordinances. After final approval of each Site Development Plan, grading, building and other ministerial permits for the development of the site may be issued provided that all public facility requirements have been satisfied per the Zone 12 Local Facilities Management Plan.

Each Site Development Plan shall be submitted and processed as set forth in Chapter 21.06, Qualified Development Overlay Zone, of the Carlsbad Municipal Code except that:

1. Per the requirements of the Carlsbad Municipal Code, a Conditional Use Permit must be approved by the Planning Commission prior to the development of a school or church on any site. However, the use of a church or school at the proposed locations has already been deemed appropriate through the approval of the Master Plan, therefore, processing of Conditional Use Permits are not required. The Site Development Plan process will instead be utilized and will require review of only the site designs and building elevations. It should be noted that the processing of either a CUP or SDP

for a school is at the discretion of the appropriate School Board and may be waived by a 2/3 vote of the Board.

2. Prior to review by the Planning Commission and City Council, each Site Development Plan submitted subsequent to the initial Master plan review process shall be reviewed and approved by the Arroyo La Costa Design Review Board.

D. PUBLIC FACILITY PHASING

The Zone 12 Local Facilities Management Plan contains a detailed development phasing program for eleven public facilities covered by the City of Carlsbad Citywide Public Facility Plan. This plan will ensure that public facilities will be in place when they are needed. The Arroyo La Costa Master Plan will be developed in three phases. Each phase has specific offsite and onsite improvements that are required prior to or concurrent with development. The Citywide Public Facilities plan established performance standards for public facilities. These performance standards were adhered to by the Zone 12 Local Facilities Management Plan to ensure the appropriate timing of facilities and services. All public facility performance standards identified in the Zone 12 Local Facilities Management Plan and any amendments thereto must be complied with as the Master Plan develops.

E. MASTER PLAN AMENDMENTS

Approval of this Master Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for the Arroyo La Costa Master Plan.

It is anticipated that certain amendments to the Master Plan may be necessary during the development of the area. Any amendments to the Master Plan shall occur in accordance with Carlsbad's Municipal code and the specific amendment process described below. Amendments are divided into three categories as determined by the Planning Commission. These include: 1) major; 2) minor; and 3) four year comprehensive review and update. Amendments may be initiated by the City Council or property owner.

1. MAJOR MASTER PLAN AMENDMENTS

All Master Plan modifications which do not meet the criteria of a Minor Amendment as determined by the Planning Commission, shall require a Major Amendment to the Master Plan. These amendments shall be processed pursuant to Section 21.38.120 (P-C Zone) of the Carlsbad Municipal Code. All Major Amendments shall be reviewed for approval by the Planning Commission and City Council.

Any request for a Major Amendment to the Master plan shall require serious consideration as it relates to the intent of the original Master Plan. As a condition of consideration of any amendment to the Master Plan it shall be the applicant's responsibility to:

- a. **Ensure that the proposed amendment meets the goals and objectives of the Master Plan and the public facilities requirements identified in the Zone 12 Local Facilities Management Plan.**
- b. **Ensure that any impacts to the Master Plan resulting from the amendment can be satisfactorily mitigated.**
- c. **Update any Master Plan studies and/or provide additional studies when determined necessary by the Planning Director.**
- d. **Any Major Amendment to the Master Plan shall require that all proposed development comply with all City ordinances and policies in effect at the time of approval.**
- e. **Provide a strike-out/underline copy of the Master Plan text when changes are necessary and update any Master Plan exhibits affected by the proposed amendment.**

2. MINOR MASTER PLAN AMENDMENTS

All Minor Amendments which meet the criteria noted below shall be reviewed for approval administratively by the Planning Director.

- a. **Expansions or reductions to the geographic Planning Areas up to 10% in area may be allowed by the Planning Director if the overall dwelling unit yield or use allocation specified for the Planning Area in Chapter VII does not increase or change.**
- b. **Minor realignment or modification of internal streets of the Master Plan if approved by the Planning Director and City Engineer as not constituting significant change to any individual neighborhood.**
- c. **Additions to/or minor amendments to design features identified in Chapter IV, Community Development Standards, provided such additions or amendments strengthen the unity and vitality of the community's design and are comprehensively incorporated in the Master Plan.**
- d. **Minor modifications to the Development Phasing Scenario described in the Local Facilities Management Plan for Zone 12 will require the approval of the Planning Director and City Engineer.**

- e. Any changes to the Master Plan required to satisfy the requirements of the U.S. Department of Fish and Wildlife or Army Corp of Engineers may be approved administratively by the Planning Director. If the Planning Director has concerns about approving these changes administratively he may submit these changes to the Planning Commission for a Planning Commission Determination of substantial conformance to the Master Plan.

F. MASTER PLAN REVIEW AND UPDATE

If determined to be necessary, at the direction of the City Council, the Master Plan shall be comprehensively reviewed by the City of Carlsbad Planning Department every four years or more frequently. The review shall consider but not be limited to the following topics.

1. The quality of the living environment created by the Master Plan.
2. The Master Plan's fulfillment of current City policies and standards.
3. The fiscal impact of the Master Plan's implementation.
4. The Master Plan's maintenance of environmental quality.
5. Adequacy of public facilities.

G. TENTATIVE MAP/PLANNED DEVELOPMENT PERMIT AMENDMENTS

1. MAJOR AMENDMENTS

Major Amendments to a Planned Development Permit may be permitted per Carlsbad Municipal Code Section 21.45.160.

2. MINOR AMENDMENTS

Minor Amendments may be approved administratively by the Planning Director if there is no change to the densities or the boundaries of the subject property, and if the proposed change does not involve an addition of a new use or group of uses not shown on the original permit, or the rearrangement of uses within the development, or changes of greater than ten percent in approved yards, coverage, height, square footage of units, open space or landscaping. The Planning Director's Review shall be limited only to the Village(s) affected by the proposed amendment.

H. SITE DEVELOPMENT PLAN AMENDMENTS

1. MAJOR AMENDMENTS

Major amendments to a Site Development Plan may be permitted subject to the approval of the Planning Commission provided that the provisions of Section 21.06.090 are met (Qualified Development Overlay Zone, Development Standards).

2. MINOR AMENDMENTS

Minor Amendments may be approved administratively by the Planning Director if there is no change to the boundaries of the subject property, and if the proposed change does not involve changes of greater than ten percent in approved yards, coverage, height, square footage of buildings, open space or landscaping. The Planning Director's review shall be limited only to the Village(s) affected by the proposed amendment.

IV. GENERAL COMMUNITY DEVELOPMENT STANDARDS

All development within the Master Plan shall comply with the general development standards established by this chapter. The following design guidelines have been developed to ensure that all Villages within the Master Plan maintain a consistent and unified character, at the same time retaining their individual identity. These guidelines address the common design elements that will be used throughout the community to provide a visual cohesiveness and order, and to establish a strong sense of place and belonging. Each element is defined through text and/or illustrations. Site-specific design criteria for each Village is established in Chapter VII.

A. RESOURCE PRESERVATION

1. Development of Arroyo La Costa shall provide for the preservation of the central riparian area as a significant visual and wildlife resource.
2. All riparian areas shall be preserved and mitigated as directed by the Department of Fish and Game, the Fish and Wildlife Service, and the Army Corps of Engineers.
3. All development shall comply with the City's Hillside Development Ordinance.
4. The major oak grove shall be preserved. Trees which need to be transplanted or moved, shall be transplanted within the project boundaries.
5. All development shall comply with the requirements of Chapter 21.90 and the Zone 12 Local Facilities Management Plan.

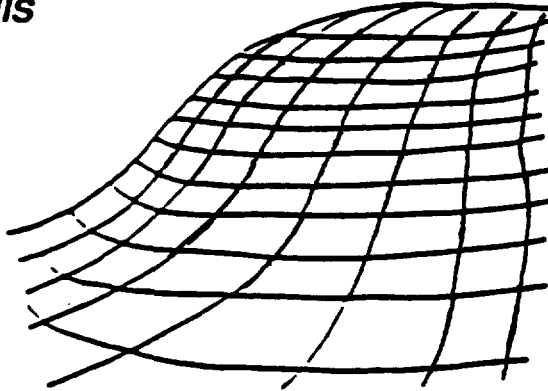
B. GRADING

1. Grading plans shall conform to the requirements of Chapter 21.95, 21.38.060, and Chapter 11.06 of the Carlsbad Municipal Code and the City of Carlsbad Design Guidelines Manual. Preliminary and final grading plans will be prepared in accordance with the Municipal Code for review by the City Engineer.
2. All permanent manufactured slope banks in excess of three feet in height shall be constructed at a gradient of 2 to 1 (horizontal to vertical) or less. Any exceptions to this gradient must be approved by the City Engineer and Planning Director.
3. Grading on naturally occurring slopes of 25 percent or more shall be in compliance with the policies of the City's Hillside Development Ordinance.
4. Manufactured slopes shall be contoured where possible to simulate natural terrain, except where rounding will conflict with the soil engineer's recommendations. Artificial appearing slopes with rigid angular characteristics

shall be avoided. Recommended grading techniques are shown on Exhibit 10 on page 40.

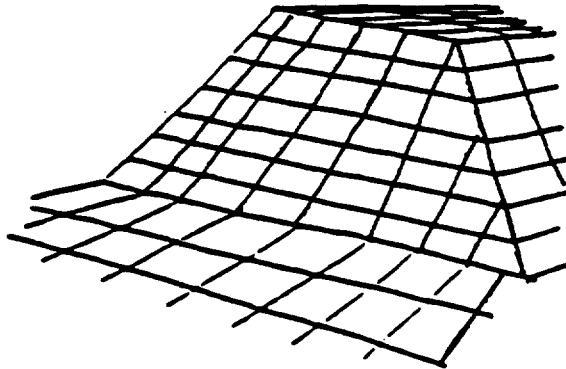
5. Phasing of grading within each Village shall provide for the safety and maintenance of other Villages already developed or under construction.
6. Phasing shall preclude, where possible, hauling of earth over residential streets or developed areas.
7. Grading permits may be issued after adequate review of grading plans by the City Engineer. These permits may be issued and grading may commence after approval of the Master Plan and tentative map but may not be issued prior to the recordation of the final map, unless approved by the City Engineer, Planning Director and the Community Development Director.
8. The developer shall include top-soil rollback and redisking on cut/fill slopes to ensure stability and growth.
9. Runoff and erosion shall be reduced by the construction of desiltation basins identified in the Zone 12 Local Facilities Management Plan. Provision for maintenance and removal of deposited sediment must be made prior to final map approval. The plans for these basins must be approved by the City of Carlsbad Engineering Department.
10. Grading shall be phased so that all erosion control basins are installed with the grading operation of that phase to the satisfaction of the City Engineer.
11. Temporary runoff-control devices should be installed prior to any grading activities.
12. All graded areas shall have erosion control measures installed within 30 days after rough grading is completed. If permanent vegetation can not be installed within the 30 day period, temporary irrigation shall be installed.
13. If grading activities are scheduled such that landscaping and irrigation can not be completed prior to August 1 of any year, then in addition to hydroseeding or landscaping, the developer shall additionally jute mat or straw punch all exposed slopes to the satisfaction of the City Engineer.
14. Any slope area of more than 5,000 square feet shall use an automatic irrigation system.
15. All temporary slopes or flat areas not scheduled for development within 60 days shall be hydroseeded. Ninety percent (90%) germination is required by means of rainfall or with an irrigation system if rainfall is insufficient.

DO THIS



**SMOOTH TRANSITIONS BETWEEN
TOP AND BOTTOM OF SLOPES**

DON'T DO THIS



**AVOID SHARP TRANSITIONS
BETWEEN TOP AND BOTTOM OF
SLOPES**

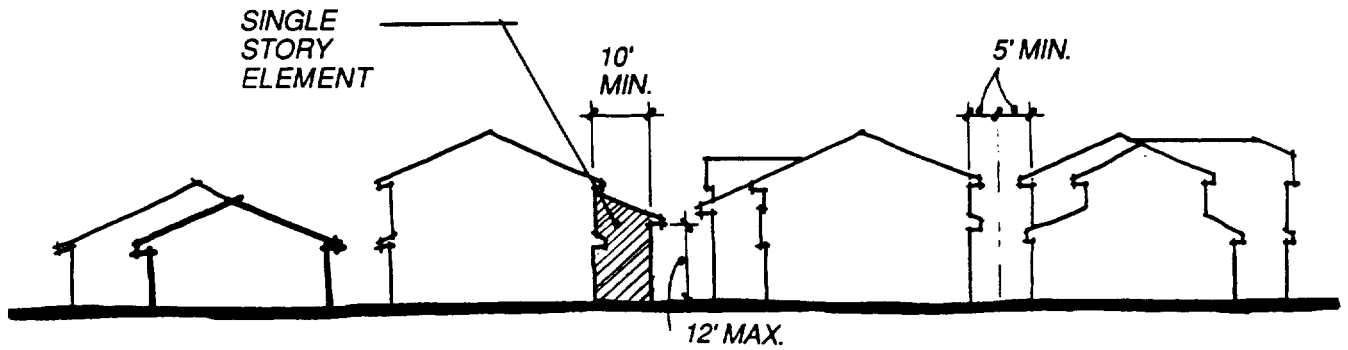
16. The application for grading permits must provide assurance to the City Engineer that manufactured slope banks will be properly landscaped and that the landscape will be maintained by either the developer, the property owner, the Village Association, or the Master Homeowners' Association, or a Landscape Maintenance District if approved by the City Council.

C. ARCHITECTURE

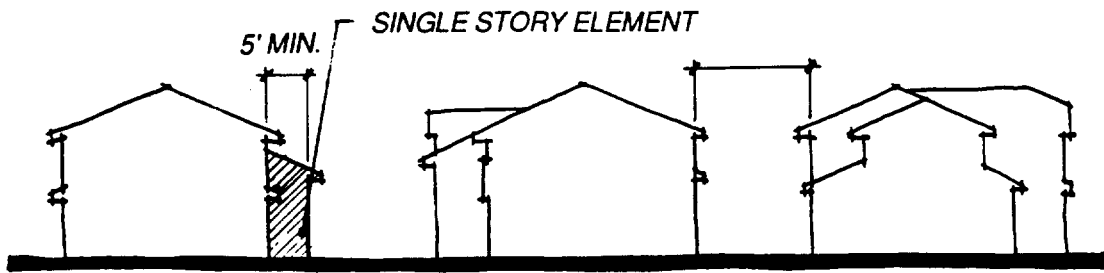
1. ARCHITECTURAL STANDARDS

The following architectural standards shall be utilized throughout the master plan area to add relief to the design of residences and to avoid the creation of neighborhoods characterized by large, boxy homes.

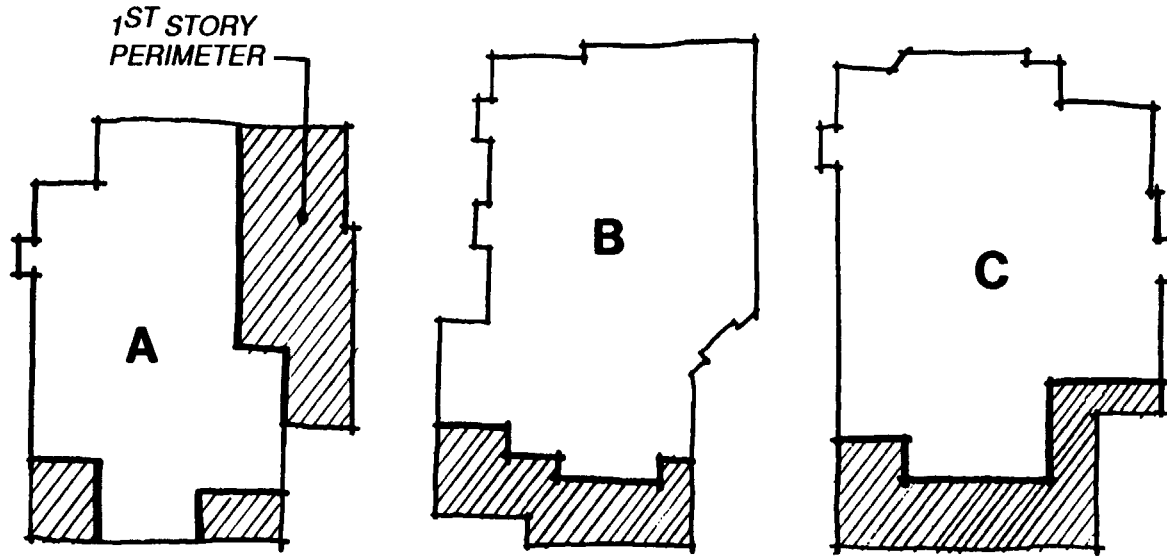
- a. Where there are three 2 story units in a row situated less than 15 feet apart, at least one of the three units shall have a single story building edge. The depth of the single-story edge shall not be less than 10' and shall run the length of the building pad. The roof covering the single story element shall be substantially lower than the roof for the two-story element to the unit (this is not intended to preclude long shed-type roofs falling to a single-story element). (See Exhibit 11 on page 42)
- b. Where there are three two-story units in a row situated between 15 and 20 feet apart, at least one of the three units shall have a single story building edge with a depth of not less than 5 feet running the length of the building pad. The roof of the single story element shall be substantially lower than the roof for the two-story element of the building (this is not intended to preclude long shed-type roofs falling to a single-story element). (See Exhibit 11)
- c. Thirty-three percent (33%) of all units shall have a single story edge for forty percent (40%) of the perimeter of the building. For the purpose of this guideline the single story edge shall be a minimum depth of three feet (3'). The units qualifying under the 33% shall be distributed throughout the project. (See Exhibit 12 on page 43)
- d. For at least 50% of the units in the Master Plan, there shall be at least three separate building planes on street side elevations of lots with 45 feet of frontage or less, and four separate building planes on street side elevations of lots with a frontage greater than 45 feet. The minimum offset in planes shall be 18 inches and shall include but not be limited to building walls, windows and roofs. The minimum depth between the faces of the forward-most plane and the rear plane on the front elevation shall be 10 feet and a plane must be a minimum of 30 sq. ft. to receive credit under this section. (See Exhibit 13 on page 44)



NOTE: ABOVE UNITS ARE SPACED LESS THAN 15' APART.



NOTE: ABOVE UNITS ARE SPACED GREATER THAN 15' APART.



% 1ST STORY PERIMETER: 51%

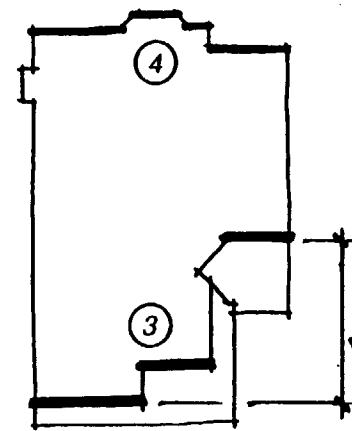
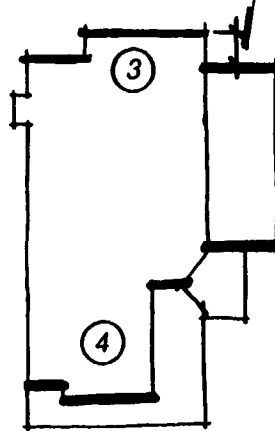
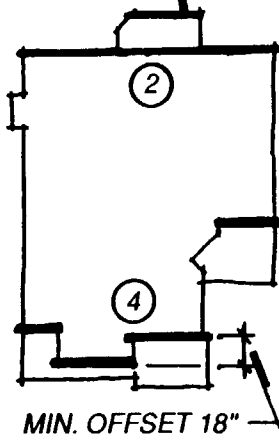
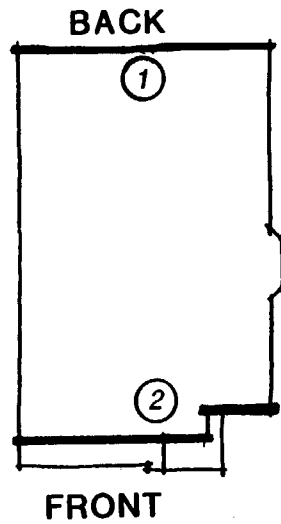
29%

38%

ONLY UNIT A HAS A SINGLE STORY EDGE FOR AT LEAST 40% OF ITS PERIMETER.

MIN. AREA OF SETBACK
ELEMENT TO BE 30 FT.

MIN. DIST. FROM
REAR TO FORWARD
PLANE TO BE 3 FT.
(REAR OF HOUSE)



FRONT

MIN. OFFSET 18"

MIN. DIST. FROM
REAR TO FORWARD
PLANE TO BE 10 FT.
(FRONT OF HOUSE)

— SEPARATE PLANES

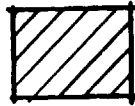
- e. Rear elevations shall adhere to the same criteria outlined in number 4 above for front elevations except that the minimum depth between front and back planes on the rear elevation shall be 3 feet. (See Exhibit 13 on page 44)
- f. At least 50% of the units in the Master Plan shall have one side elevation where there are sufficient offsets or cutouts so that the side yard setback averages a minimum of 7 feet. (See Exhibit 14 on page 46)
- g. Project units with three car garages shall be a mix of two door garages, three door garages, and offset two door garages (2 planes separated by at least twelve inches). (See Exhibit 15 on page 47)
- h. Fifty-percent (50%) of exterior openings (doors/windows) shall be recessed or projected a minimum of 2" and shall be with wood or colored aluminum window frames (no mill finishes).
- i. The predominant roof framing for each floor plan shall show directional variety to the other floor plans of the same project.
- j. Whenever possible the roof plane of units located at the top of slopes should attempt to parallel the slope. (See Exhibit 16 on page 48)
- k. All future room additions by homeowners shall comply with the above mentioned standards. This shall be clearly stated in the Master CC & R's for this project and the architectural review manual prepared for the La Costa Architectural Review Board.

2. ARCHITECTURAL STYLES

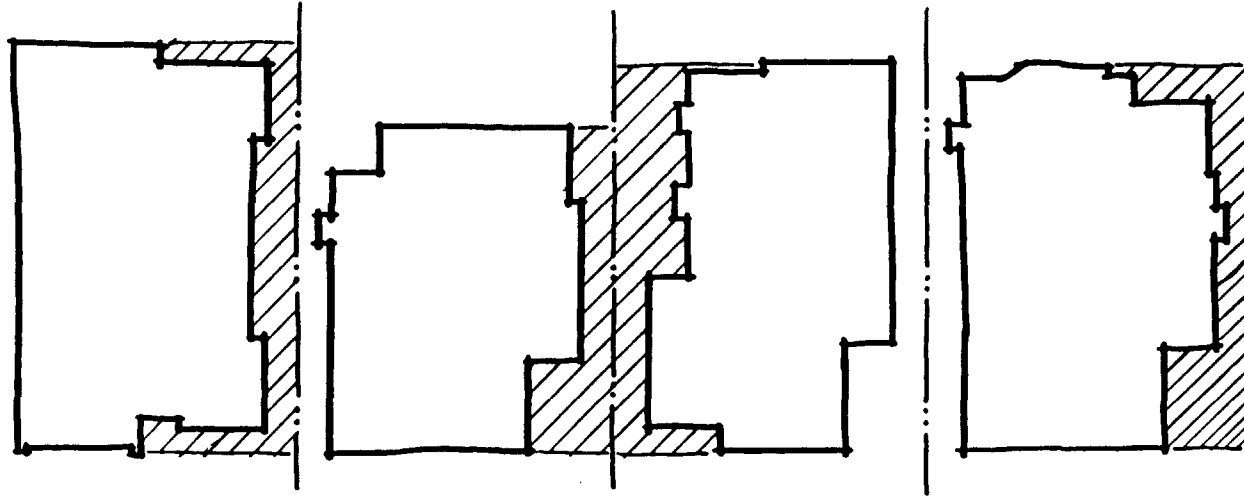
Three architectural styles have been proposed for the Master Plan to create cohesiveness within the development and to provide compatibility with the surrounding neighborhood. The three proposed architectural styles are discussed below. Exhibit 17 on page 49 shows the location of the three different styles of architecture within the Master Plan.

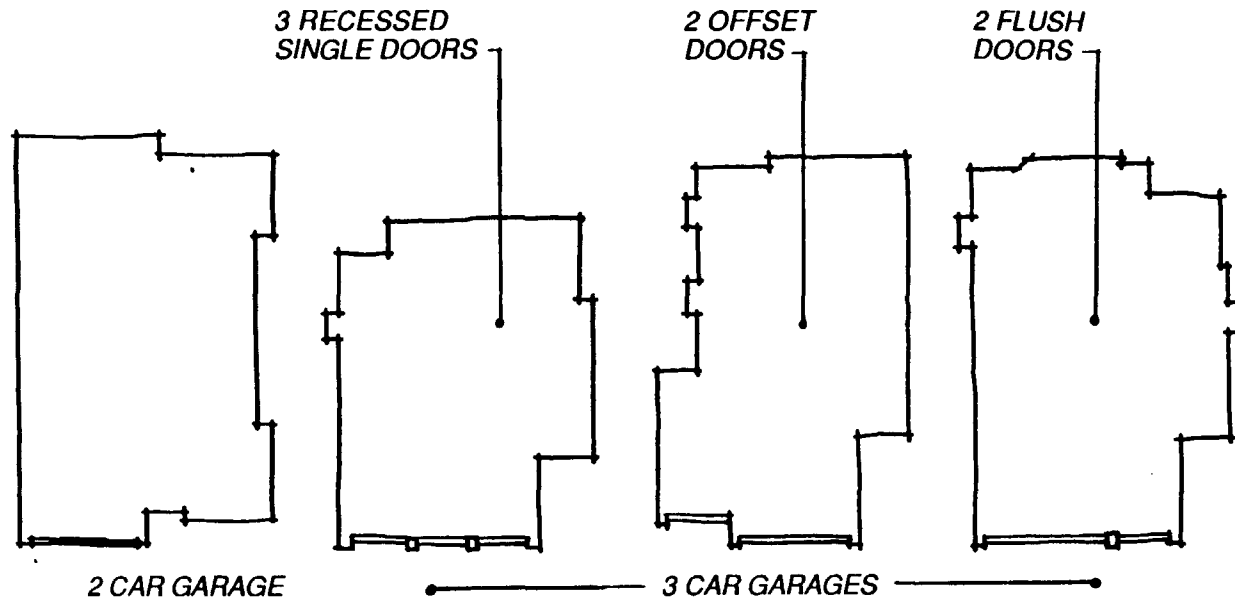
a. California Contemporary Mediterranean

The California Contemporary Mediterranean style is characterized by stucco exteriors and Spanish tile roofs. Some key elements in detailing are the use of deeply recessed windows and doors, arched elements, tile accents, corbels, stucco wainscoting and a mixture of gabled and hip roofs. Soft earth tone colors with bright accents will be used for the exterior of the units. Villages M, N, O, P, and Q will utilize the California Contemporary Mediterranean style of architecture.

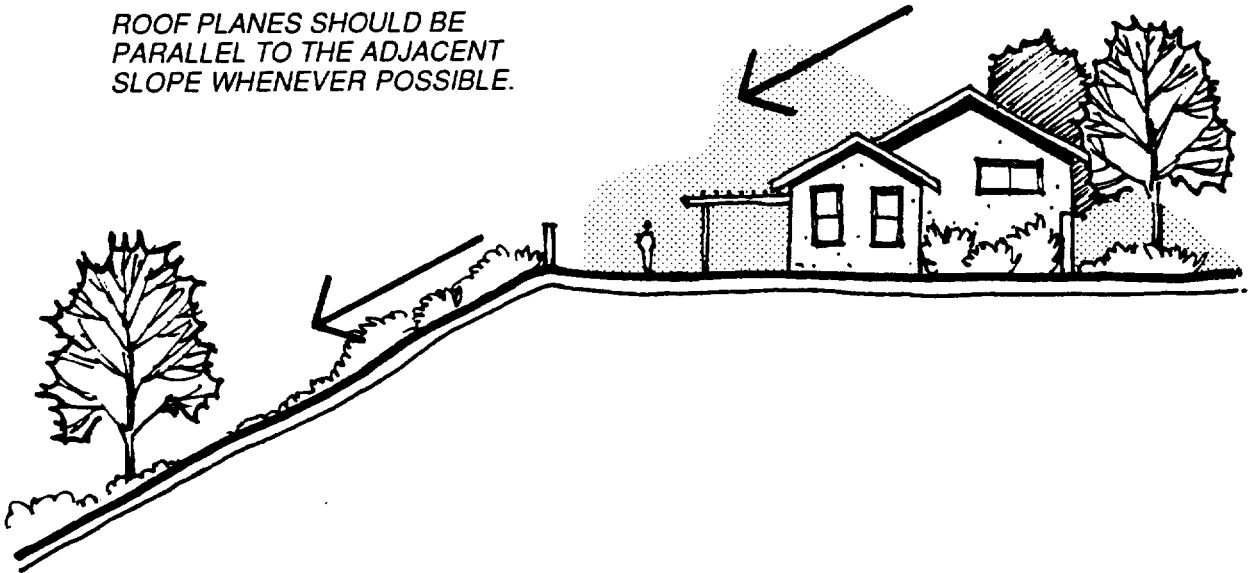


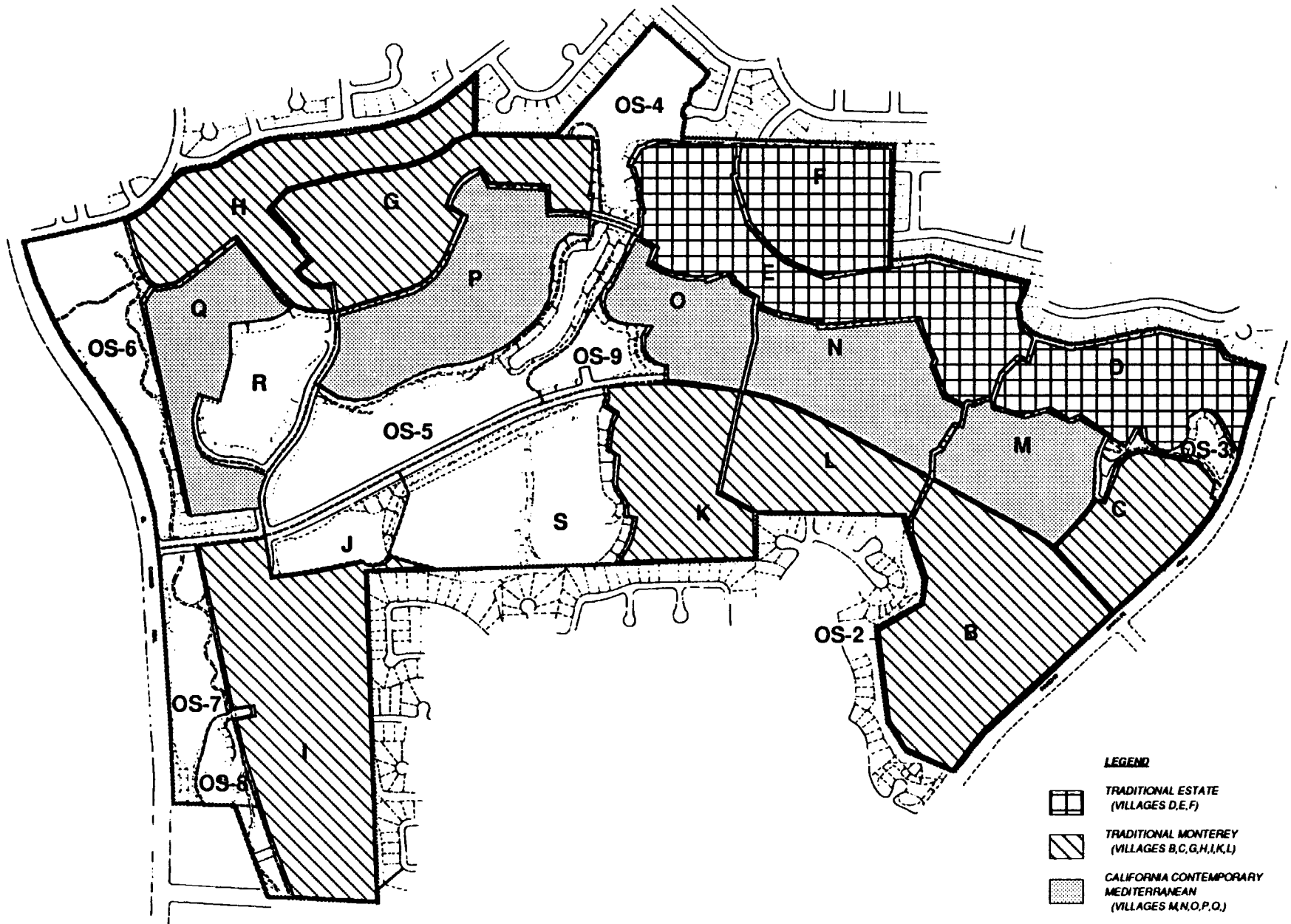
AVERAGE SETBACK EQUALS OR EXCEEDS 7'.





ROOF PLANES SHOULD BE
PARALLEL TO THE ADJACENT
SLOPE WHENEVER POSSIBLE.





LEGEND

-  TRADITIONAL ESTATE
(VILLAGES D, E, F)
-  TRADITIONAL MONTEREY
(VILLAGES B, C, G, H, I, K, L)
-  CALIFORNIA CONTEMPORARY
MEDITERRANEAN
(VILLAGES M, N, O, P, Q)

b. Traditional Monterey

The Traditional Monterey style of architecture is characterized through the use of stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. The use of other elements such as covered balconies, window and door lintels, recessed windows, wood shutters, pot shelves, and exposed beams also contribute to the integrity of this style. Soft earth tone colors and white on stucco and wood elements will also be utilized. Villages B, C, G, H, I, K and L will be developed with the Traditional Monterey style of architecture.

c. Traditional Estate

This style of architecture results in a stately, more conservative appearance. The exterior design will incorporate the use of brick and siding as a major element of design. The roofs will be predominantly hipped, and will be covered with a variety of flat tile. Other details that distinguish this style will be windows in garage doors, brick and wood columns, painted shutters, and the possible use of entry walls and gates. Villages D, E and F will be developed using the Traditional Estate style of architecture.

D. SETBACK STANDARDS

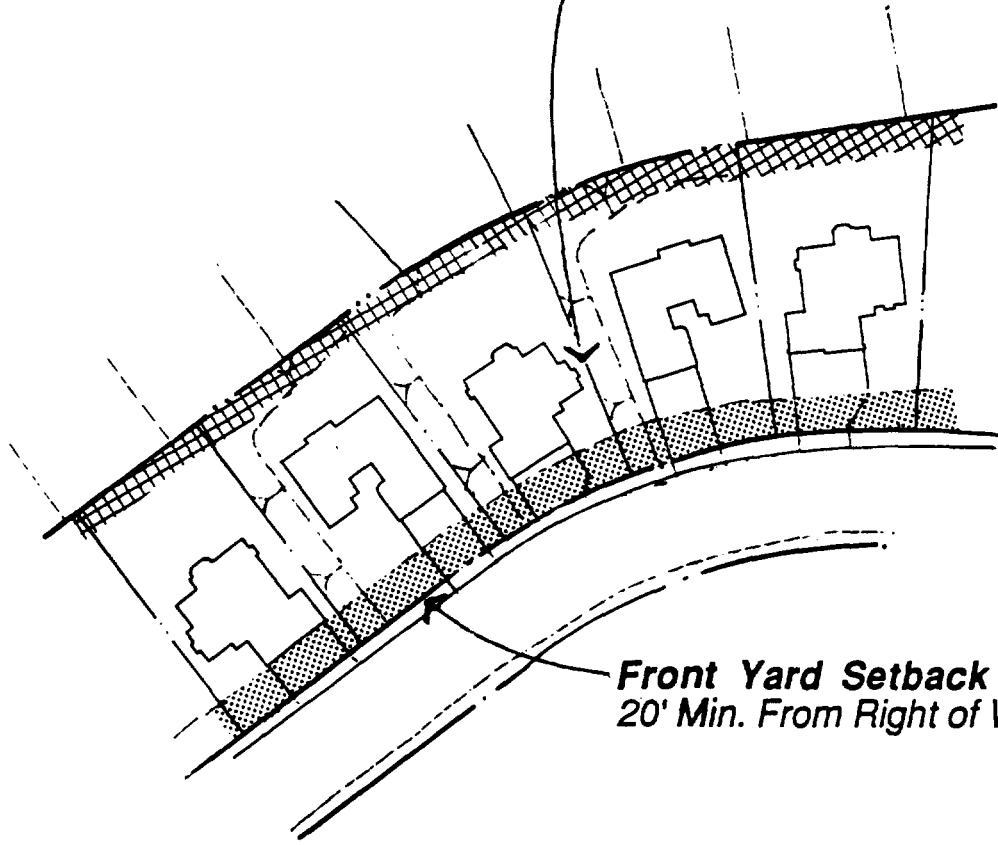
All units shall maintain the following setbacks, as shown on Exhibit 18 on page 51:

Front yard 20'

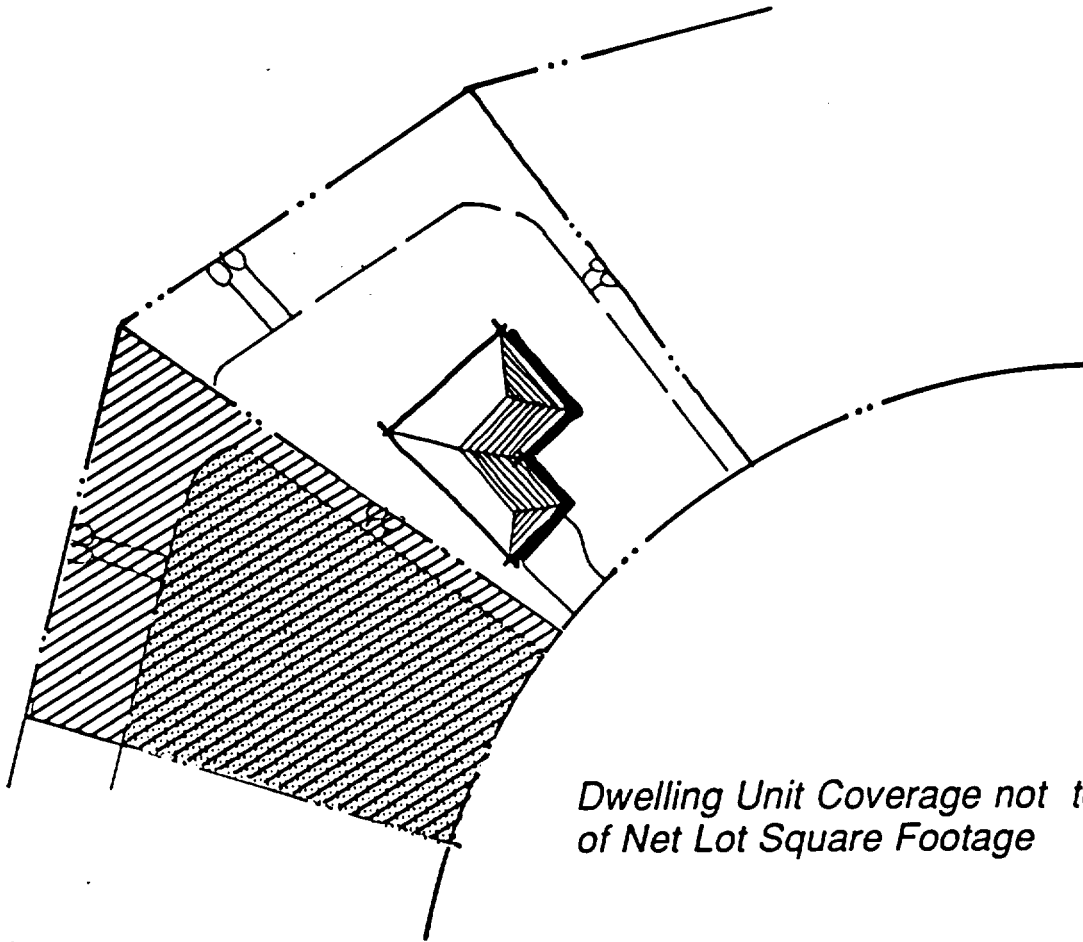
Side yard/rear yard All units shall comply with section 21.45.090 of the Carlsbad Municipal Code (Development Standards section of the Planned Development Ordinance). In addition, all units shall comply with the City of Carlsbad's Architectural Guidelines for small lot single family detached units. An increased rear yard or enhanced rear elevations shall be required for slopes which can be viewed from Rancho Santa Fe Road, Olivenhain Road, and Calle Barcelona. Patios and accessory structures for lots located along these roadways shall be setback a minimum of five feet from top of slope.

Dwelling unit coverage shall not exceed 50% of the net lot square footage as shown on Exhibit 19 on page 52.

Side Yard Setback
5' Min. From Side of D.U.
to Top / Bottom of Adjacent
Slope



Front Yard Setback
20' Min. From Right of Way

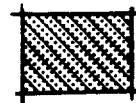


Dwelling Unit Coverage not to exceed 50% of Net Lot Square Footage

$$\frac{\text{Bldg. (Footprint w/garage)}}{\text{Square Footage Net Lot}} = \text{Percentage of Bldg. Coverage on Net Lot}$$



Gross Lot Square Footage



Net Lot Square Footage

E. LANDSCAPE GUIDELINES

The purpose of the landscape plan is to visually reinforce the patterns established by the Master Plan and communicate the overall landscape concept of the Arroyo La Costa community. This plan will serve as a guide to assure that individual projects will be compatible within the comprehensive landscape plan for the overall community.

Trees will be the dominant thematic element used to create a logical sense of order, continuity and contrast throughout the community. Trees will be pre-selected to provide the necessary guidance to the various parties responsible for implementing and administering the landscape program. Plant lists are generally descriptive of the type and character of each planting community or zone. Additional species may be included in final landscaping plans.

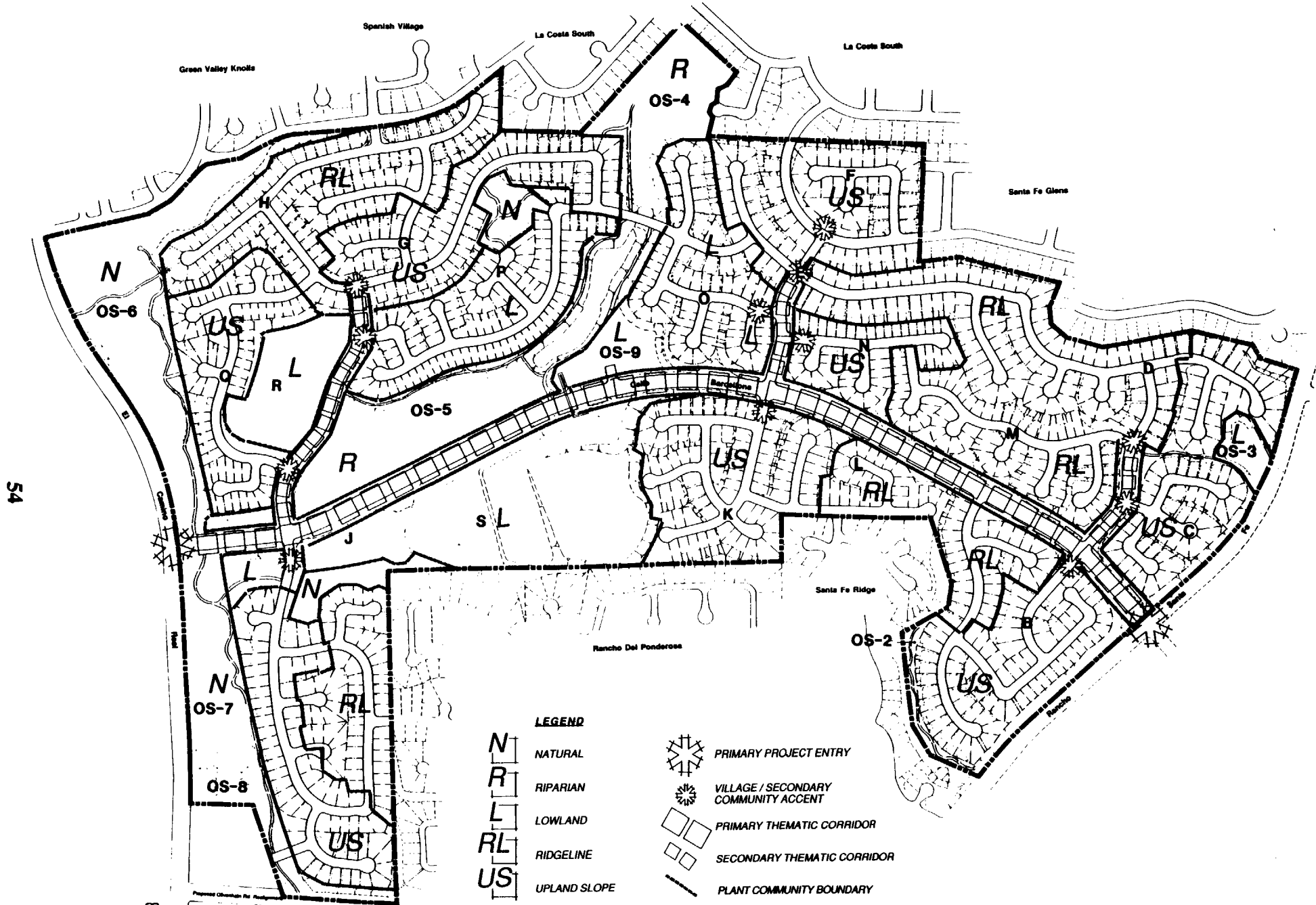
1. COMMUNITY LANDSCAPE CONCEPT

The major components of the landscape design are the existing natural areas, hillsides, streetscape and accent plantings. The Community Landscape Concept proposes the use of a specific list of trees in designated "Community" areas to reinforce the project's natural setting. Upon ultimate development, Arroyo La Costa will feature ridgelines punctuated with pines and evergreen conifers, transitioning lower into oaks and broadleaf trees upon adjacent upland slopes. In contrast to the hillside plantings, groves of sycamores and cottonwoods will dominate low lying areas. Riparian vegetation including willows and sycamores will border the existing riparian area. Visually strong avenues of trees will line the primary streets. Tall palms will provide additional focus along Calle Barcelona, at community entries and at recreation areas. Colorful plantings will also accent the entries, focal areas, and provide visual relief along the streetscapes.

In order to achieve the Community Landscape Concept, 60% of trees planted in any designated community area shall be selected from the specific Plant Community Tree Palette. The components of the Community Landscape Concept, Exhibit 20 on page 54, are as follows:

a. Streets (dominant, support trees)

Landscape of streets will provide continuity throughout the community and create the appropriate link with adjacent areas. Olivenhain Road, El Camino Real and Rancho Santa Fe Road will continue existing tree patterns established by the City of Carlsbad. Streets within Arroyo La Costa will reflect the "community design theme" and be selected from the appropriate "Plant Community" and be located as a single species per street.



S4

THE
VILLAGES OF
LA COSTA

Community Landscape Concept
ARROYO LA COSTA

EXHIBIT

IV

20

b. Village (theme trees)

Each Village may have its own distinctive theme reflective of its plant community location.

c. Entries (accent trees)

Entries are in three categories:

- Primary Project Entry (community entry)
- Primary Village Entry
- Secondary Village entry

Accent trees will be used to contrast with designated street trees. Major entry accent trees will be pre-selected; however, the primary and secondary entry trees will be selected by the developer subject to approval by the City's Landscape Architect.

d. Focal Accent Points

Flowering accent trees will be used at these major and minor focal points to provide distinctive contrast.

e. Slopes

Permanent Landscaping for slopes will be designed to soften the appearance of the slope and to visually soften the transition between slope and pad areas (See Exhibit 21 on page 56). Plantings shall be chosen from the appropriate landscape zone while complimenting the applicable plant community and maintaining view opportunities.

f. Landscape Zones

Lush, Refined, Naturalized, and native fire protection zones are indicated on the General Landscape Plan (Exhibit 22 on page 59), since they have a significant effect on the visual character of the landscape.

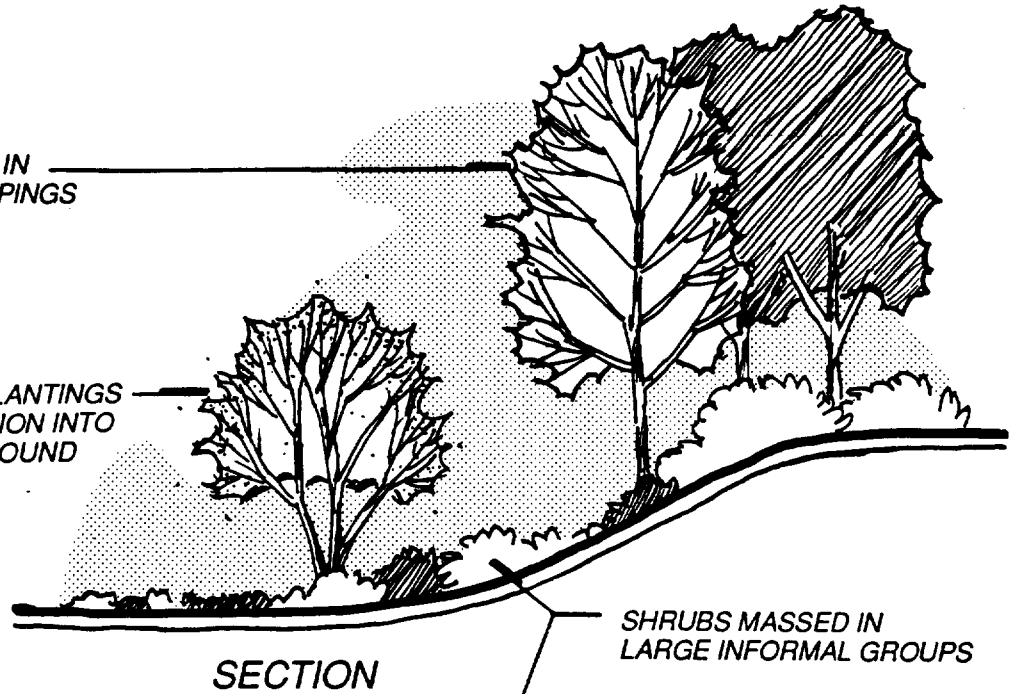
2. **PLANT COMMUNITY TREE PALETTE**

a. Ridgeline Community

Calocedrus decurrens (Incense cedar); Pinus roxburghii (Chir pine); Pinus torreyana (Torrey pine); Tristania conferta (Brisbane box).

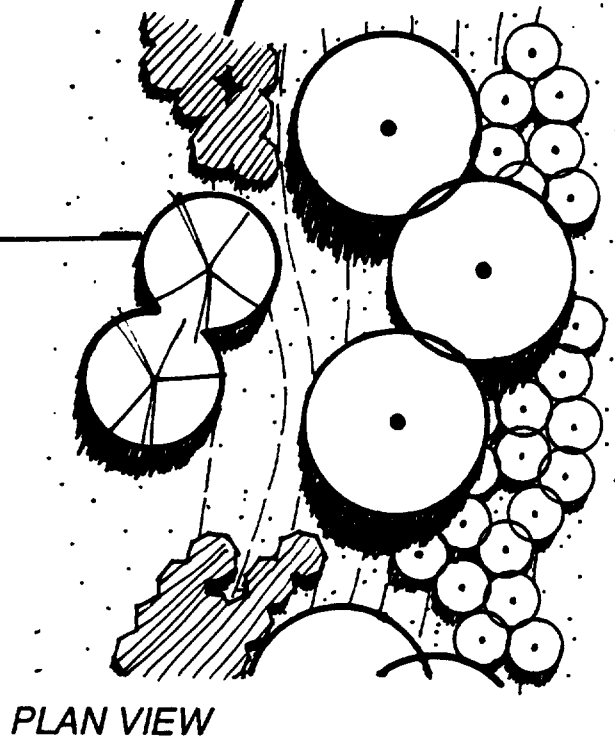
TREES PLANTED IN
INFORMAL GROUPINGS

FOREGROUND PLANTINGS
LOWER, TRANSITION INTO
TALLER BACKGROUND
PLANTINGS



SHRUBS MASSED IN
LARGE INFORMAL GROUPS

CONTINUE SHRUBS AND
GROUNDCOVERS BEYOND
LIMITS OF SLOPE (WHERE
POSSIBLE) TO SOFTEN EDGE



b. Upland Slope

Certonia siliqua (Carob); Cinnamomum camphora (Camphor tree); Quercus ilex (Holly oak); Schinus molle (California pepper); Tipuana tipu (Tipu tree).

c. Lowlands Community

Liquidambar styraciflua (Sweetgum); Alnus rhombifolia (White alder); Populus fremontii (Western cottonwood); Plantanus racemosa (California sycamore)

d. Riparian Community

Plantanus recemosa (California sycamore); Salix spp. (Willow)

e. Natural Community

Heteromeles arbutifolia (Toyon); Rhus integrifolia (Lemonade Berry)

f. Major Streets

El Camino Real - City Selection

Dominant tree - London Plane Tree (Platanus acerifolia)

Support tree - Eucalyptus Species, Pine Species, Cajeput Tree (Melaleuca leucadendra)

Rancho Santa Fe Road - City Selection

Dominant tree - Torrey Pine (Pinus torreyana)

Support tree - Pinus Species, Western Cottonwood (Populus fremontii)

Calle Barcelona - Primary Thematic Corridor

Dominant tree - Jacaranda Acutifolia (Jacaranda)

Support tree - Washingtonia Robusta (Mexican Fan Palm)

Collector Streets (Villages)

Liquidamber Styraciflua (Sweetgum)

Cinnamomum camphora (Camphor tree)

g. SDG&E Easement

All trees to be approved by SDG&E. Height not to exceed 15 feet.

3. LANDSCAPE AND IRRIGATION STANDARDS

All landscape installation and irrigation systems shall conform to the City of Carlsbad's Landscape Guidelines Manual.

4. MAINTENANCE

All landscape maintenance shall conform to the City of Carlsbad's Landscape Guidelines Manual and project CC&R's.

In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction shall be landscaped in accordance with a City approved Landscape Plan, and subject to City inspection of adequate maintenance levels. If a landscape maintenance district is approved by the City Council in the future, some of the area maintained by the Village and Master Homeowners' Associations may be maintained by the maintenance district.

5. STREETSCAPE LANDSCAPING

The streetscape scene is comprised of the relationship between buildings, structures, street scale, adjacent view/vistas, signage, landscaping and street furnishings. Exhibits 23 through 25, on pages 60 through 62, illustrate proposed streetscaping within the Arroyo La Costa Master Plan.

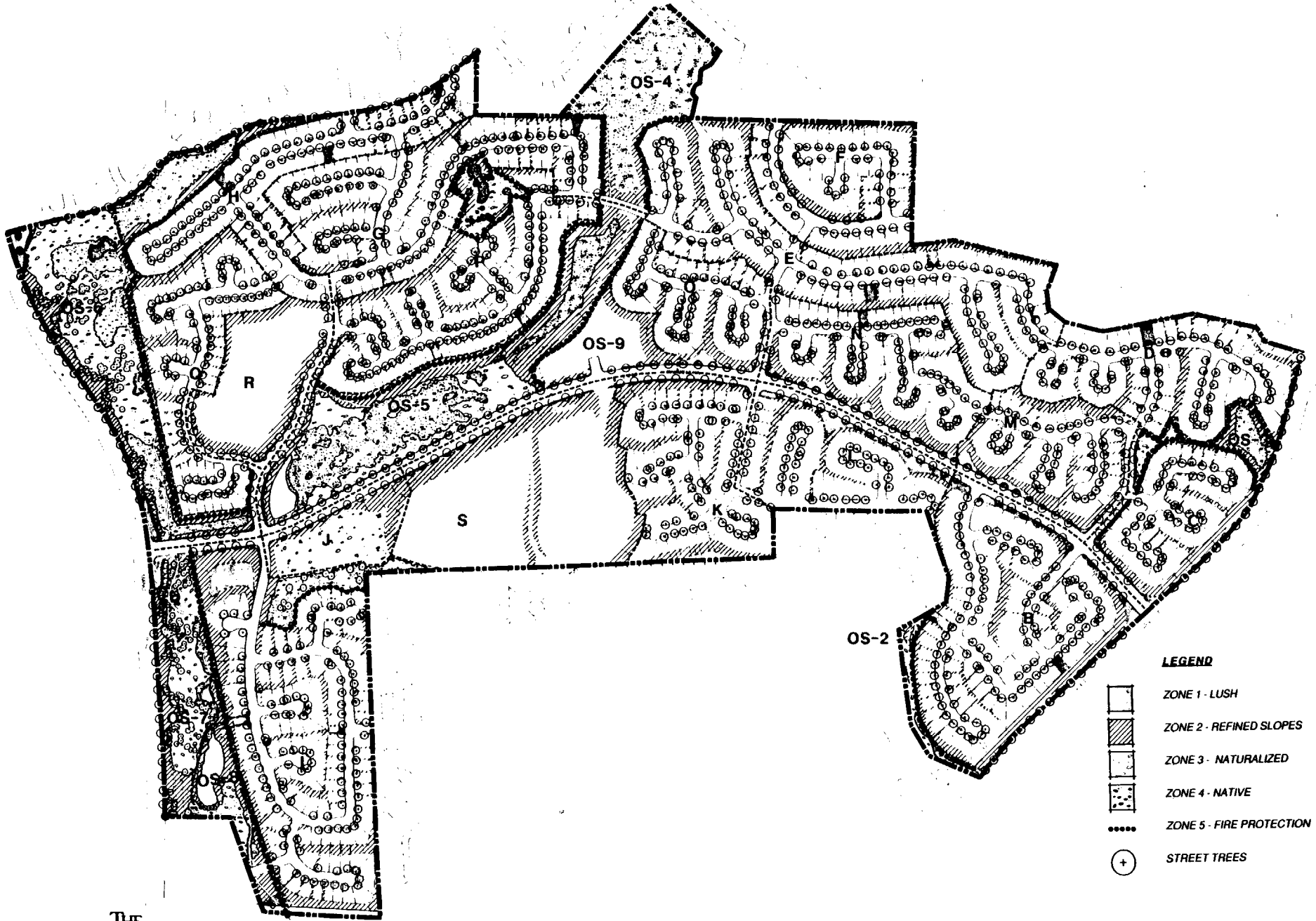
6. PLANT SIZES

Streetscape trees shall be a 15 gallon minimum size with larger sizes planted on collector streets and Calle Barcelona. Specimen trees may be utilized at project entries and other focal points.







Groundcovers and some shrubs shall be hydroseeded to insure quick cover and to reduce erosion. Additional shrubs and trees shall be planted from a minimum size of one gallon containers at no less than the minimum rate required by erosion control standards. Larger sizes and quantities are anticipated in Zone 1 areas, adjacent to Thematic corridors and in other highly visible areas.

7. LANDSCAPE ZONES

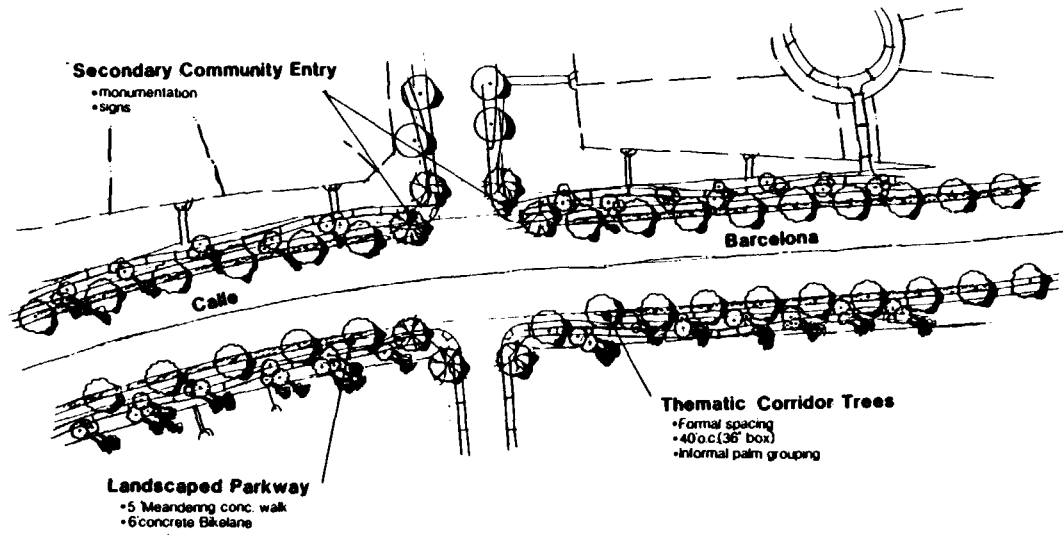
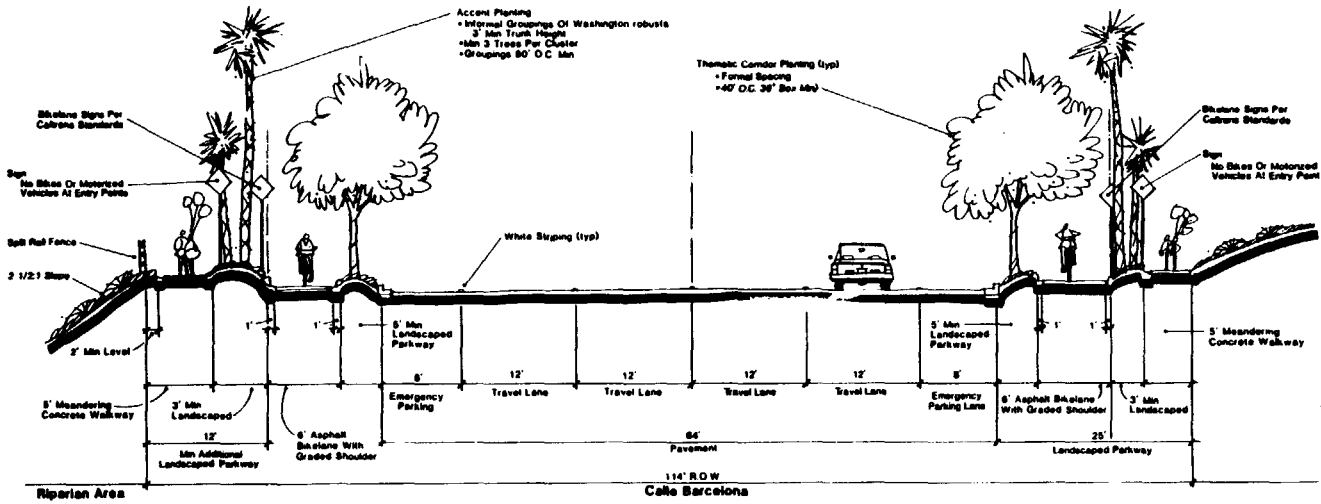
The Landscape Communities have been assigned Landscape intensity classifications based on the intensity of maintenance and water requirements per the City of Carlsbad Landscape Guidelines Manual. The location of these zones within this project is shown in the Landscape Zones Exhibit 22 (see page 59). A brief description of each zone is as follows:

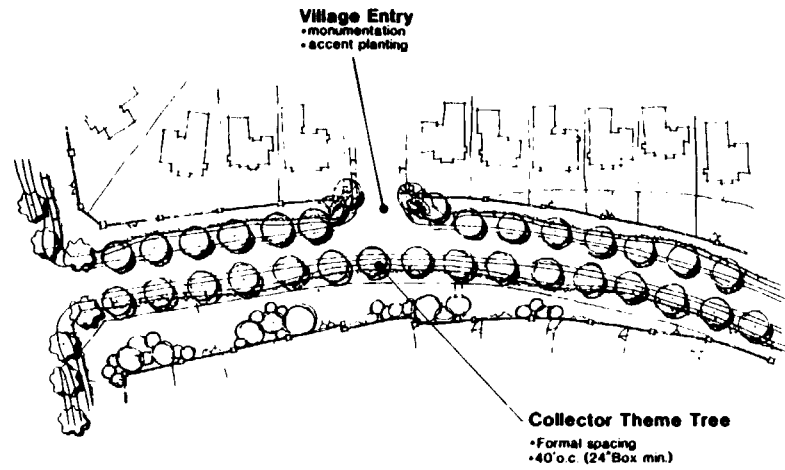
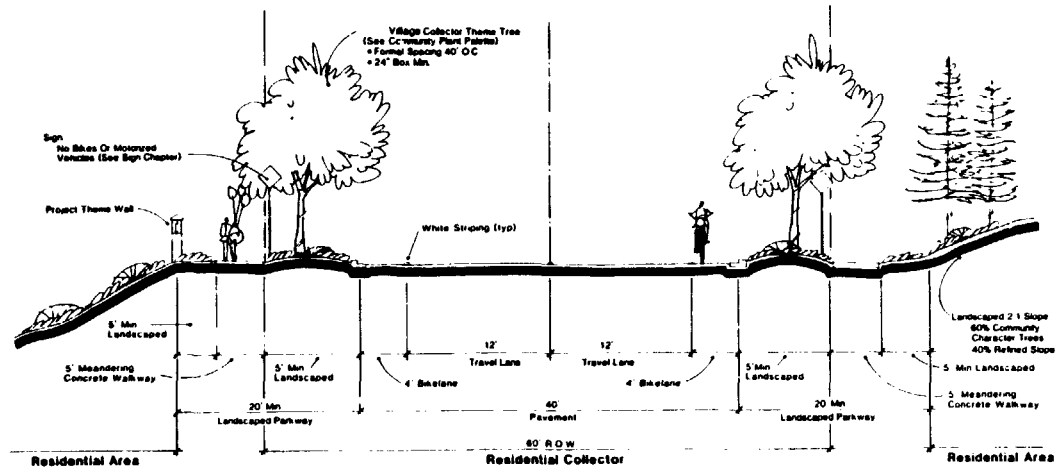


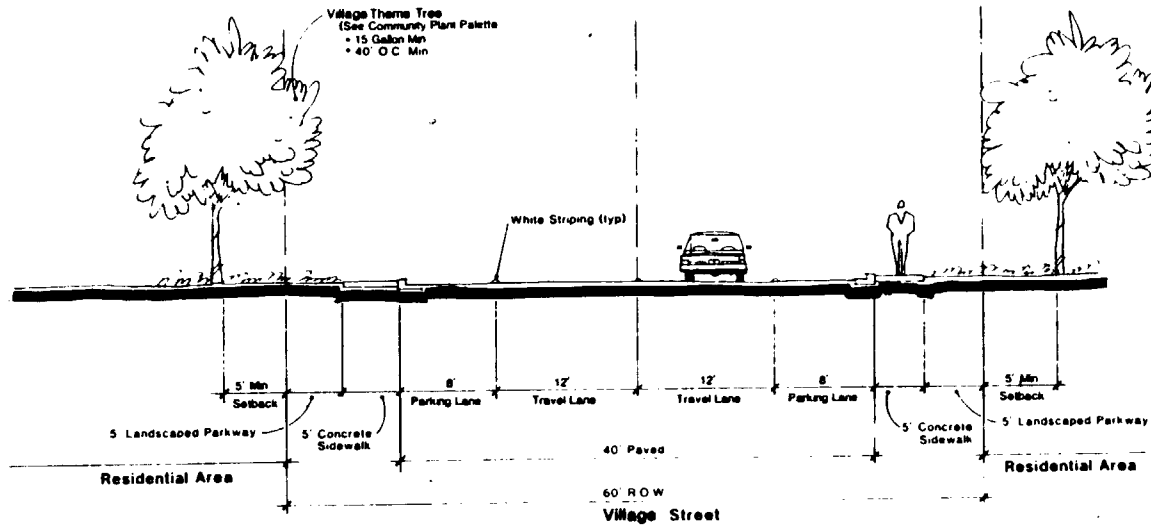
LEGEND

-  ZONE 1 - LUSH
-  ZONE 2 - REFINED SLOPES
-  ZONE 3 - NATURALIZED
-  ZONE 4 - NATIVE
-  ZONE 5 - FIRE PROTECTION
-  STREET TREES

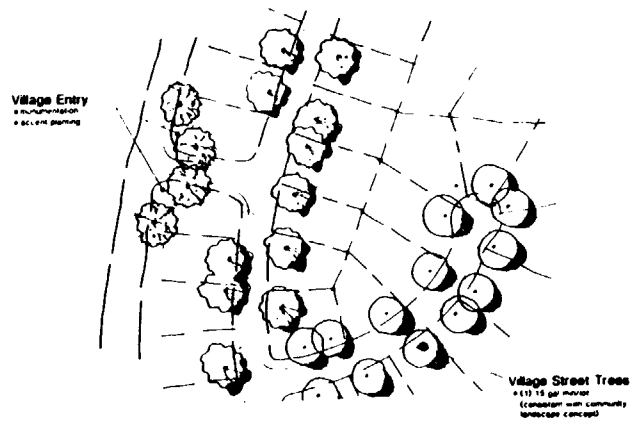








VILLAGE STREETS



a. **Zone One: Lush Landscapes**

Lush Landscaping is used along the streets, around entry monuments and in the recreation center where lush, green, flowering landscape are required. These are high maintenance areas and will require significant amounts of irrigation. Consideration will be given to water conservation measures where appropriate.

b. **Zone Two: Refined Landscape**

Refined landscape are those which require less intensive maintenance practices (such as mowing, pruning, etc.) and less water. Their appearance is unmanicured but well kept. These areas are primarily slopes found in private rear yards and along main streets.

c. **Zone Three: Naturalizing Landscape**

Naturalizing landscape shall be planted for low use areas that do not have a refined appearance but are not native - a transition between the two. It should be able to naturalize and become self sustaining once established.

d. **Zone Four: Native Landscape**

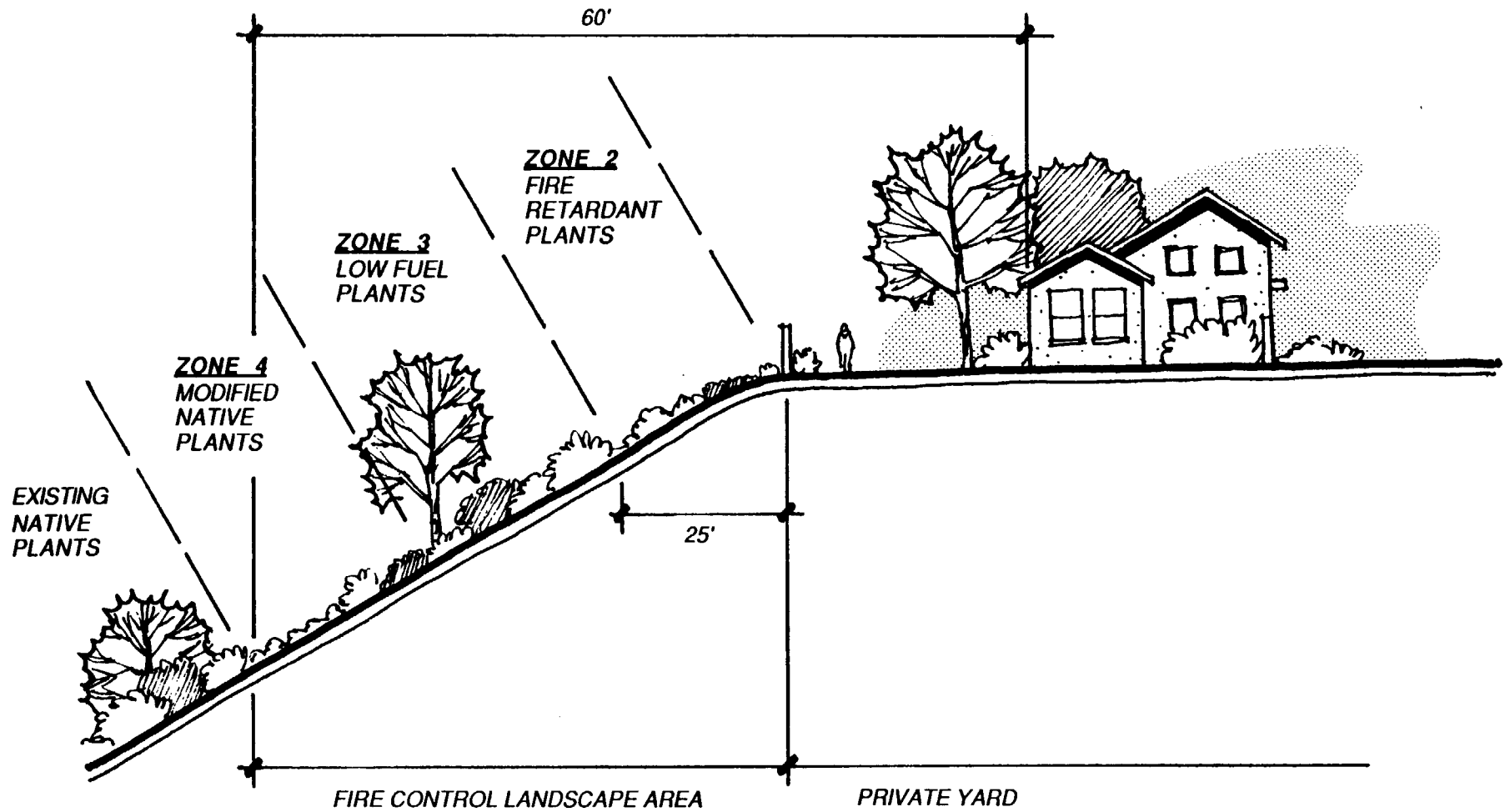
Areas of existing vegetation planned for low-level active use where existing vegetation is retained with very little modification. It will require a minimal level of maintenance (usually periodic control of debris and minor clearing for seasonal fire protection) and no supplemental irrigation. This type of landscaping is used for major open space areas along the SDG&E easement and riparian area.

e. **Fire Protection Zone**

This zone is designed to help resolve the potential dangers of development adjacent to fire hazard areas. The fire protection program utilizes Landscape Zones Two, Three and Four to create and maintain a fire control landscape, as shown on Exhibit 26 on page 64. Plants used here are specifically selected for their fire retardant and low fuel characteristics.

Landscaping Zones 1-4, plus the Fire Protection Zone will be implemented. To further preserve and enhance the natural character of the area the following zones will be included:

64



f. Sensitive Plant Zone

This zone has been identified by the biologist as a significant native plant community which is sensitive to the impact of development. An effort has been made to route trails away from these zones.

g. SDG&E Easement

Landscaping within the SDG&E easement shall conform to agency restrictions. The actual zones may vary between City use zones, based on the adjacent areas.

7. **PLANT MATERIALS**

a. Zone 1: Lush Landscapes

Trees

Erythrina spp. (Coral tree)
Eucalyptus ficifolia (Red flowering gum)
Jacaranda acutifolia (Jacaranda)
Washington robusta (Mexican fan palm)
Pinus torreyana (Torrey pine)
Platanus acerfolia (London plane)

Shrubs

Boufainvillea spp. (Bougainvillea)
Escallonia spp. (Escallonia)
Moraea spp. (Fortnight Lily)
Photinia species (N.C.N)
Agapanthus africanus (Lily-of-the-Nile)

Groundcovers

Lantana spp. (Lantana)
Gazania spp. (Gazania)
Osteospermum (Trailing African Daisy)
Tracheiospermum jasminoides (Star Jasmine)

b. Zone 2: Refined Landscape

Trees

Calocedrus decurrens (Incense cedar)
Cinnamomum camphora (Camphor tree)
Tipuana tipu (Tipu tree)

Alnus rhomifolia (White alder)
Pinus torreyana (Torrey pine)
Platanus racemosa (California sycamore)
Ceratonia siliqua (Carob)
Schinus mosse (California pepper)
Quercus ilex (Holly oak)
Liquidambar styraciflua (Sweetgum)
Pinus roxburghill (Chir pine)
Tristania conferta (Brisbane box)

Shrubs

Arbutus unedo (Strawberry tree)
Cistus spp. (Rockrose)
Callistemon (Bottlebrush)
Cotoneaster parneyii (Red Clusterberry)
Echium fastuosum (N.C.N)
Pittosporum undulatum (Victorian Box)
Prunus ilicifolia (Hollyleaf Cherry)

Groundcover

Cissus antarctica (Kangaroo Treebine)
Delosperma alba (White Trailing Iceplant)
Lonicera japonica (Japanese Honeysuckle)
Pelargonium peltatum (Ivy Geranium)
Rosmarinus "Prostratus" (Dwarf Rosemary)
Trifolium "O'Connors" (Clover)

c. Zone 3: Naturalizing Landscape

Trees

Patanus racemosa (California sycamore)
Salix spp. (Willow)
Heteromeles arbutifolia (Toyon)
Rhus integrifolia (Lemonade Berry)

Shrubs

Arctosthylos glandulas (Manzanita)
Comarostaphylis diversifolia (Summer Holly)
Helianthemym scoparium (Rock Rose)
Heteromeles arbutifolia (Toyon)
Quercus dumosa (California Scrub Oak)
Rhus intefrifolia (Lemonade Berry)
Salvia apiana (White Sage)

Ground Covers

Eriogonum fasciculatum (Flathead Buckwheat)
Eschscholzia californica (California Poppy)
Encelia farinosa (Desert Encelia)
Lotus scoparius (Deerweed)
Lupinus bicolor (Lupine)
Mimulus puniceus (Monkeyflower)

F. ENTRIES

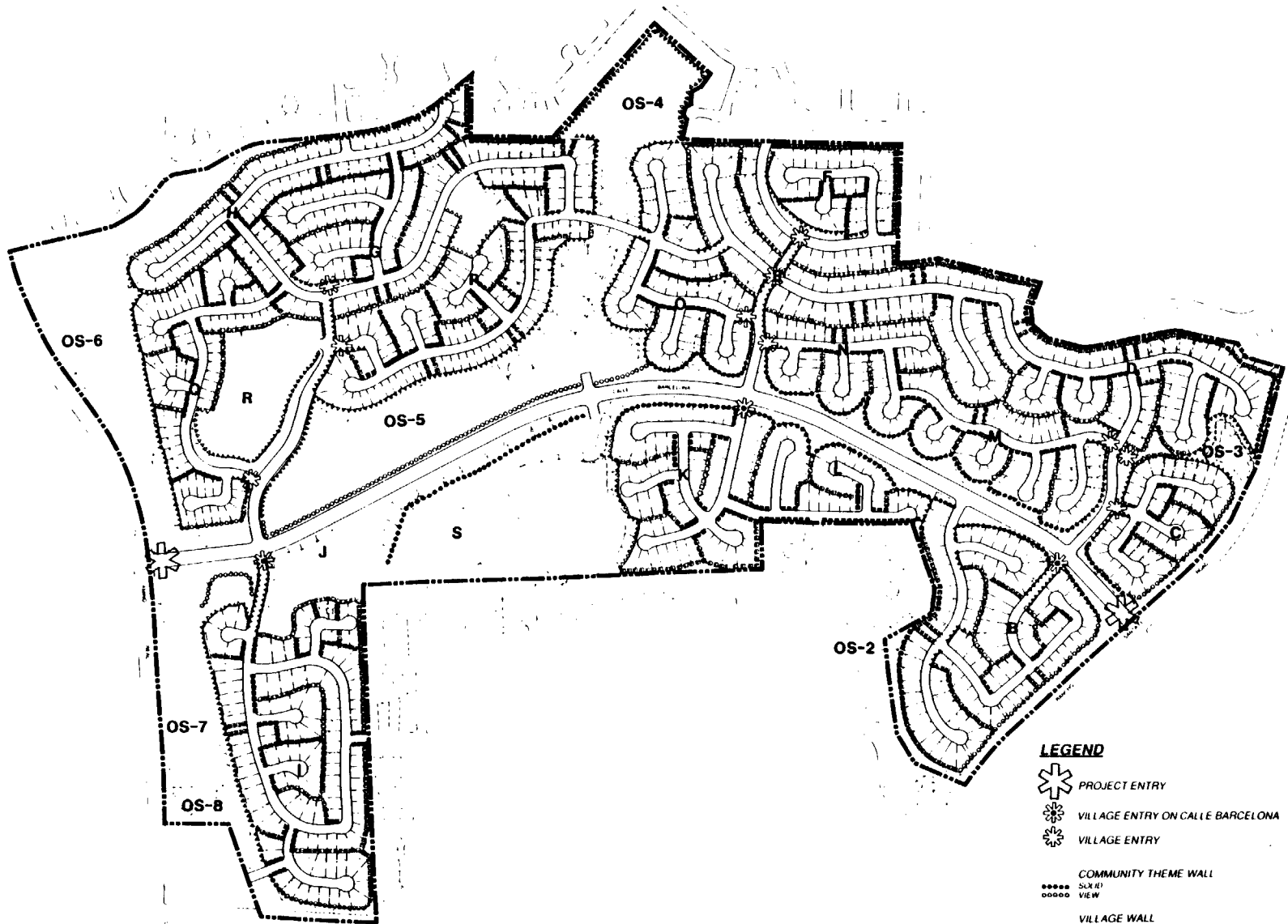
Entry monuments serve several important purposes. They identify the community, help establish a hierarchical order within the community (from main entry to neighborhood entry to secondary entry) and provide unifying design accents throughout the community. Arroyo La Costa will have primary project entries located at the intersection of Calle Barcelona and Rancho Santa Fe Road and at the intersection of Calle Barcelona and El Camino Real. Primary neighborhood entries will be located only along Calle Barcelona, while secondary neighborhood entries will mark individual villages. Exhibit 27 on page 67 shows the location of these entries. These entries are characterized by uniquely designed pilasters and accent plantings (See Exhibit 28 on page 68)

Entry monumentation will be provided by the master developer. There are two primary types of entries, project entries and village entries. The approximate location of these entries is depicted on Exhibit 27.

The recommended materials include precast material concrete color bases and caps, with light stucco finish on the pilaster body. Insets shall be tile.

1. PROJECT ENTRIES

Project entries are those which provide access to the entire community. They consist of special monumentation and landscape planting. These entries should be designed to create a portal and convey a sense of arrival. They will inform the motorist that this is the entrance to the Arroyo La Costa Community. They will include design features that are consistent with community fencing materials. Entry design should flow with the terrain and appear to be an extension of adjacent land forms (Exhibit 28 on page 68).



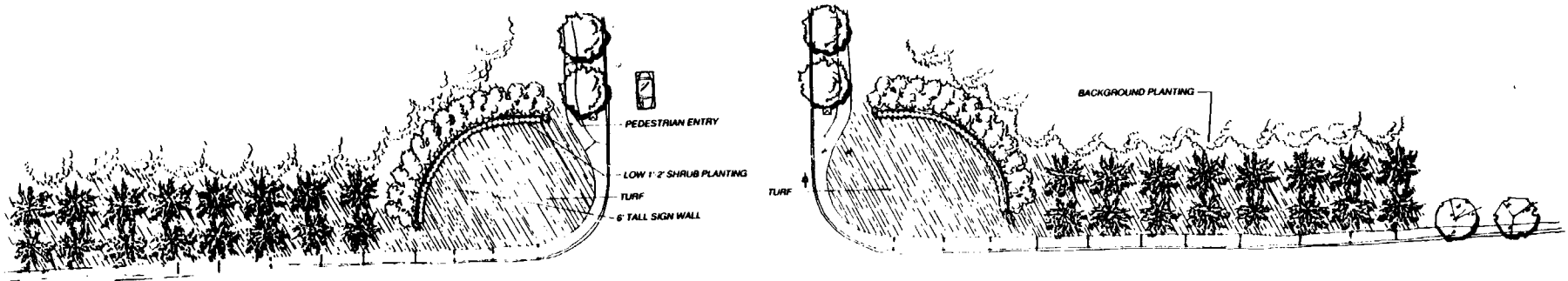
- LEGEND**
- PROJECT ENTRY
 - VILLAGE ENTRY ON CALLE BARCELONA
 - VILLAGE ENTRY
 - COMMUNITY THEME WALL
 ○○○○ SOLID VIEW
 - VILLAGE WALL
 ○○○○ SOLID VIEW
 - PRODUCTION FENCING
 ○○○○ VIEW
 ○○○○ STANDARD
 ○○○○ UPGRADED

THE
VILLAGES OF
LA COSTA

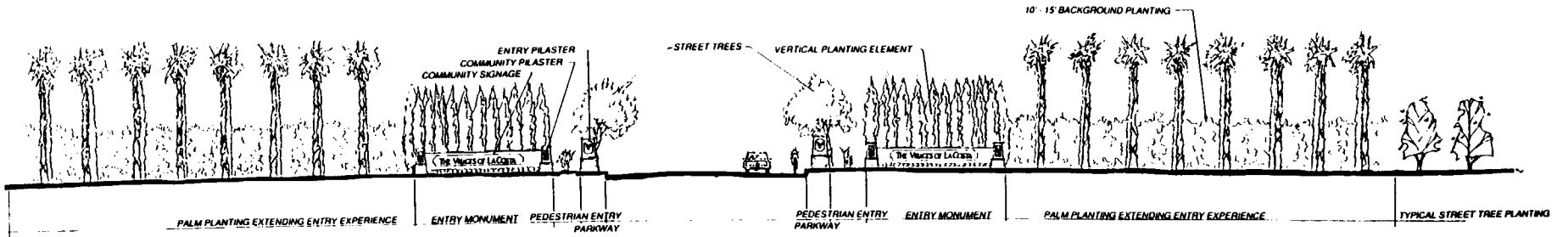
Walls / Fences Plan
ARROYO LA COSTA




EXHIBIT
IV
27



PROJECT ENTRY - PLAN



PROJECT ENTRY - ELEVATION

2. VILLAGE ENTRIES

These are the entries to the individual villages in Arroyo LaCosta. They are to be designed as an enhanced extension of the community fencing detail. These should be limited to the one or two major entry points into a village and will provide visitors with the project name identification (See Exhibit 29 on page 70).

G. FENCING

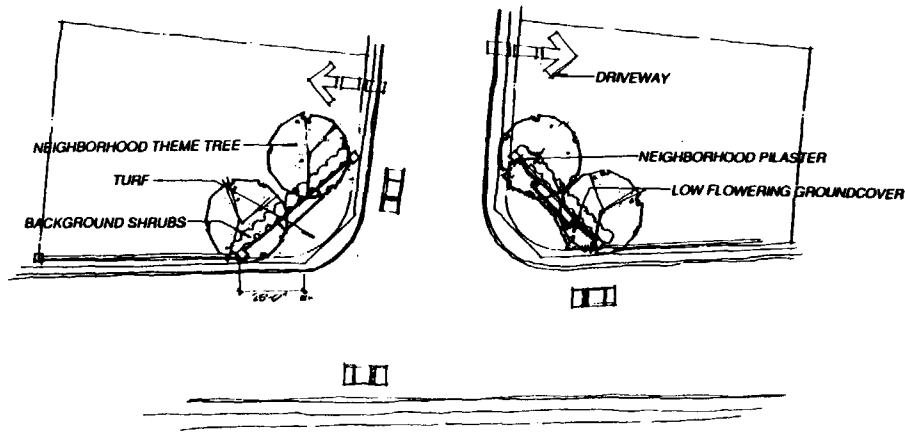
One of the most dominant visual elements of a community is its fencing. It is essential for this element to be aesthetically pleasing and provide continuity in design to unify the various architectural styles within individual neighborhoods into a single community theme.

Fences and walls can serve many functions including security, identity, enclosure, privacy, etc. However, care must be exercised in the design of fencing in order to avoid long, boring or awkward sections of fencing. It is intended that the available fencing types be combined to attract interest and provide variety. Using a combination of open and solid styles, changing angles and directions is encouraged. Long straight runs of a single fence style is monotonous and inappropriate.

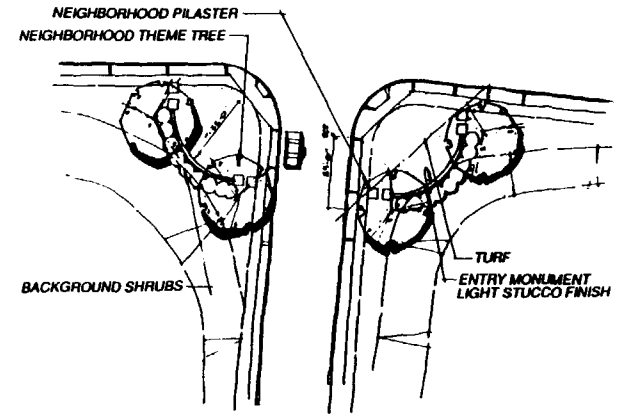
The walls and fences for Arroyo La Costa are divided into three categories as follows and their respective locations are shown on Exhibit 27, page 67.

1. COMMUNITY WALL

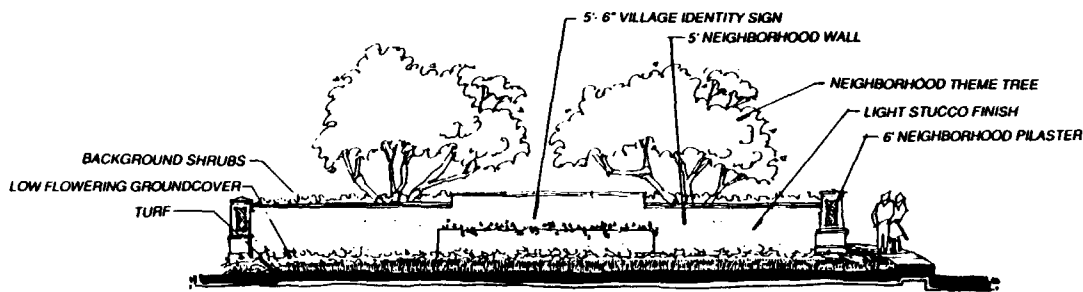
The community wall is a solid concrete masonry unit structure with pilasters located at key locations along the wall length (at beginning and end points, significant changes in vertical or horizontal direction, or changes in wall type). The wall is 6 feet in height, and has a light stucco finish, off white in color, with a light sandblast finish and a natural concrete colored cap. Raised precast concrete wall decorations shall also be used. Exhibits 30 and 31 on pages 71 and 72 show the details of this wall type and pilasters.



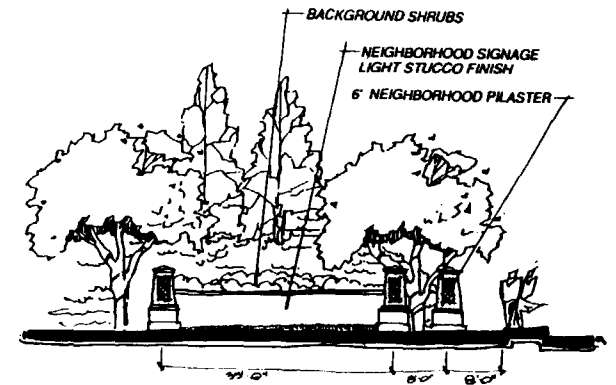
VILLAGE ENTRY - PLAN



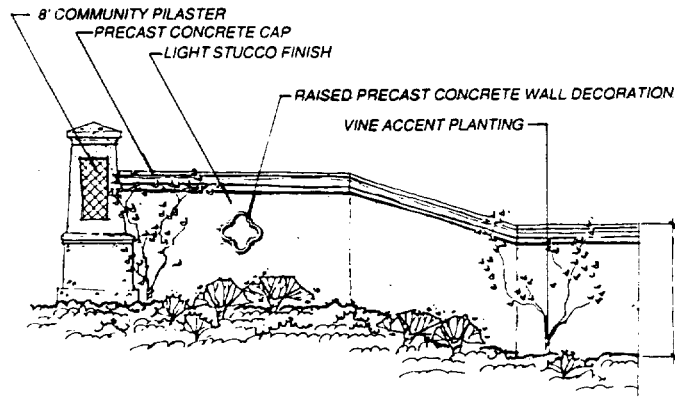
VILLAGE ENTRY ON CALLE BARCELONA - PLAN



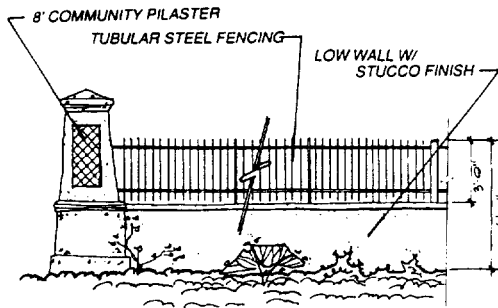
VILLAGE ENTRY - ELEVATION



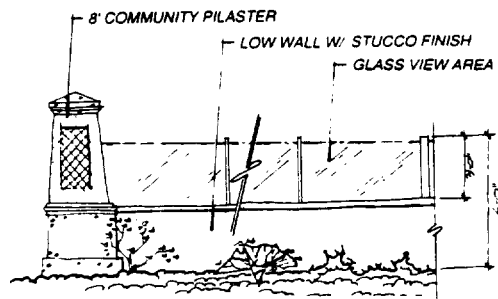
VILLAGE ENTRY ON CALLE BARCELONA - ELEVATION



COMMUNITY THEME WALL



COMMUNITY THEME VIEW FENCE

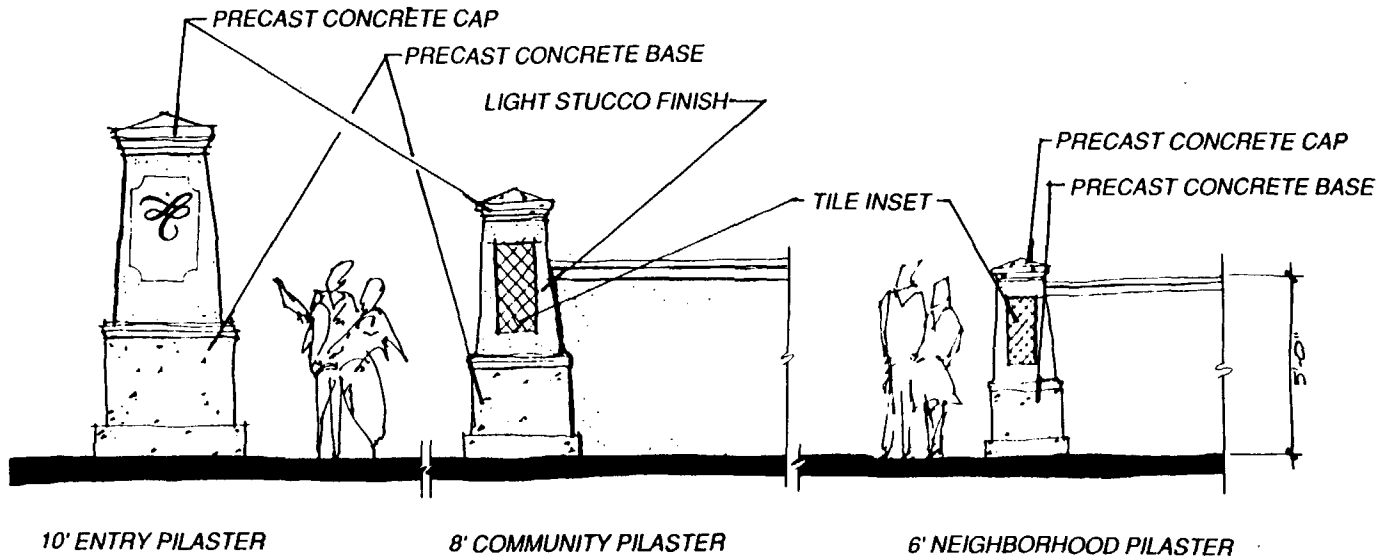


COMMUNITY THEME/NOISE ATTENUATION VIEW WALL



**Community Theme Walls
ARROYO LA COSTA**





72

VILLAGE PILASTERS

NOTES:

- PILASTER LOCATIONS ARE AT BEGINNING AND ENDS OF WALLS, AS WELL AS AT SIGNIFICANT HORIZONTAL AND VERTICAL CHANGES.
- PILASTERS ARE OFF-WHITE IN COLOR, WITH LIGHT STUCCO COAT, LIGHT SANDBLAST FINISH AND NATURAL COLORED CONCRETE CAP AND BASE.
- WALLS ARE OFF-WHITE IN COLOR, WITH LIGHT STUCCO COAT, LIGHT SANDBLAST FINISH, AND NATURAL COLORED CONCRETE CAP.

All community walls shall be landscaped in accordance with the community landscape plan. Whenever possible, mounding and landscaping shall be utilized to soften the appearance of walls and fences. Where necessary, the wall types will be modified to accommodate views and noise attenuation. Note that along Calle Barcelona the community wall varies in its setback, thus creating a variety of special landscape experiences along the street.

2. VILLAGE WALLS

These walls are of similar materials as the community walls except that the pilasters are six feet, wall height is five feet, and wall decorations are not used. All Village walls shall be landscaped in accordance with the community landscape plan. Whenever possible, mounding and landscaping shall be utilized to soften the appearance of walls and fences. Where necessary, this wall type will be modified to accommodate views and noise attenuation. The Village wall details are shown on Exhibit 32 on page 74.

3. PRODUCTION FENCING

The production fences are of wood construction, and used to separate private residence boundaries. This fence type has an upgraded version where it borders on public areas, as well as a view fence (see Exhibit 33, page 75). All fence heights shall be coordinated such that there is a smooth transition between side and front yard production fences (see Exhibit 34 on page 76).

→ Synthetic, Vinyl or composite

H. VIEWS

Maintaining quality views is important in the overall image of the Villages of La Costa. Interior view potential should be maximized by careful siting of buildings (especially two-story) and tall trees. Outward views should be framed with tree and shrub massing. This planting will also serve to soften views of the houses visible to surrounding areas (see Exhibit 35 on page 77).

Views into the riparian area should be maintained (Exhibit 36 on page 78), while views which look down from residential areas into the recreation center and the school yards should be controlled (see Exhibit 37 on page 79). This provides a feeling of privacy and seclusion for those who use these facilities, and still maintains a view corridor for medium and long-range views.

The treatment of edges between differing land uses is an important consideration in maintaining continuity in community design. Site planning and landscape design should make a smooth and logical transition from one area to the other without leaving hard edges or abrupt changes. The three areas of greatest concern are the riparian-open space/residential interface, the special use/residential interface and the easement/residential interface.

Mailed 9/13/16
FILE



September 13, 2016

Vallerie Gullicksen
Associa Professional Community Management
Suite 250
5950 La Place Court
Carlsbad, CA 92008

SUBJECT: MP 88-01(B) – ARROYO LA COSTA MASTER PLAN

Dear Mr. Gullickson,

The City has completed its review of the Arroyo La Costa Master Plan amendment. The amendment is to allow for additional "Production Fencing" materials other than wood such as synthetic, vinyl or composite for the residential lots. Per the Arroyo La Costa Master Plan, "Additions to/or minor amendments to design features identified in Chapter IV, Community Development Standards, provided such addition or amendments strengthen the unity and vitality of the community's design and are comprehensively incorporated in the Master Plan."

The colors of the proposed alternative "Production Fencing" will not be changing and the alternative materials are designed to mimic the appearance of wood fences. Additionally, the architectural committee will review any new fences prior to installation to ensure that highly visible areas are consistent with surrounding fences. Page 73, Section 3 "Production Fencing" of the Arroyo La Costa Master Plan will be amended to read as follows:

"The production fences are of wood, synthetic, vinyl, or composite construction, and used to separate private residence boundaries. This fence type has an upgrade version where it borders public area, as well as a view fence (see Exhibit 33, page 75). All fence heights shall be coordinated such that there is a smooth transition between side and front yard production fences (see Exhibit 34 on page 76)."

The amendment to the Arroyo La Costa Master Plan to allow for additional fencing materials including synthetic, vinyl, or composite is effective as of the date of this correspondence.

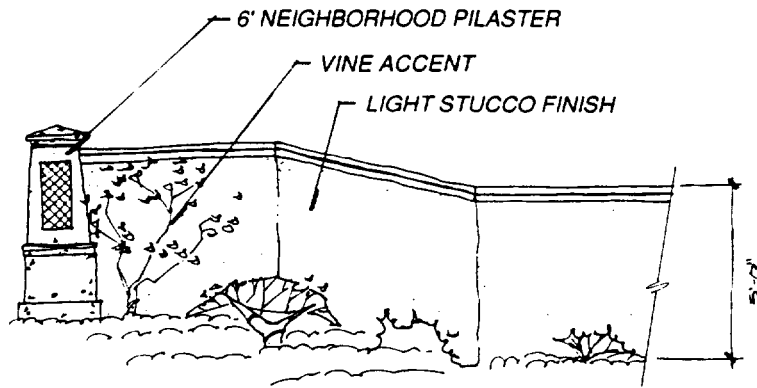
Sincerely,

A handwritten signature in black ink that reads "Don Neu".

DON NEU, AICP
City Planner

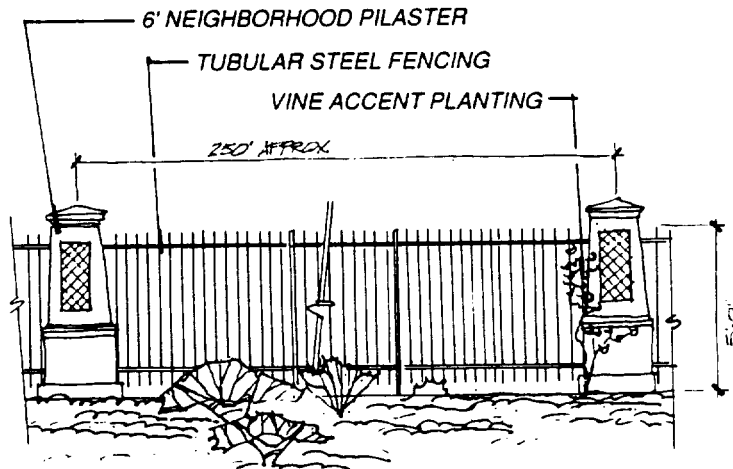
DN:AS:sj

c: Van Lynch, Principal Planner
File Copy
Data Entry

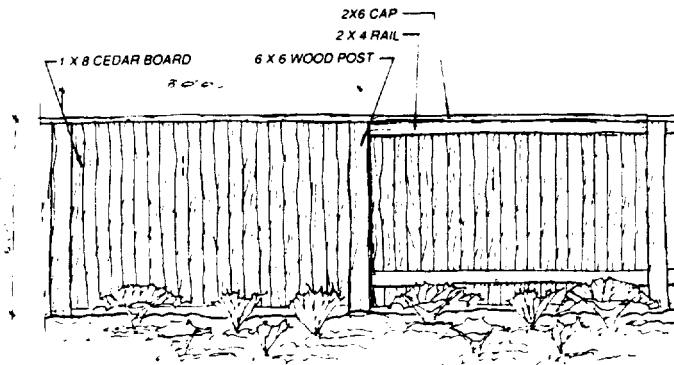


VILLAGE THEME WALL

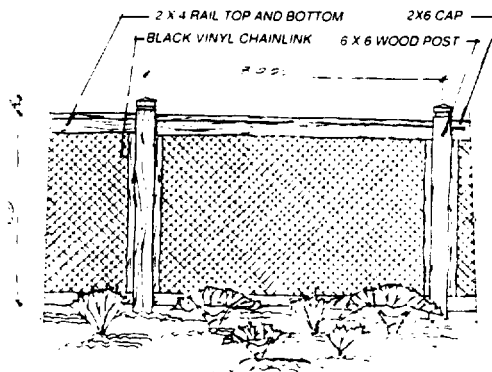
NOTE: PILASTER LOCATIONS ARE AT BEGINNING AND ENDS OF WALLS AS WELL AS AT SIGNIFICANT HORIZONTAL AND VERTICAL CHANGES.



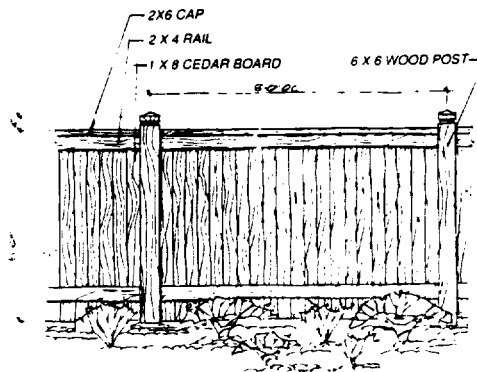
VILLAGE THEME VIEW FENCE



STANDARD PRODUCTION FENCE



PRODUCTION VIEW FENCE



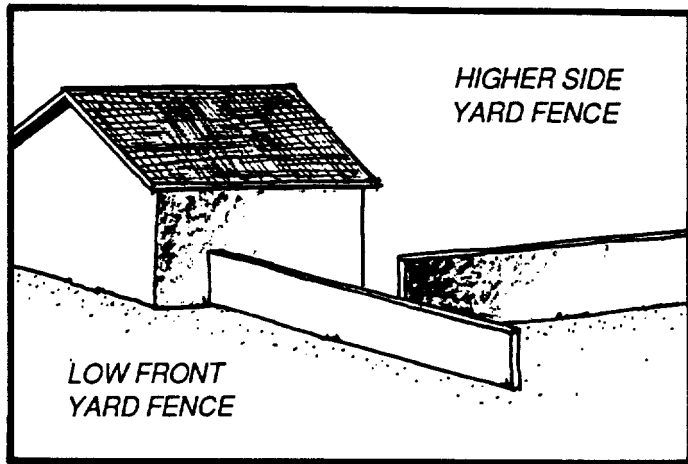
UPGRADED PRODUCTION FENCE



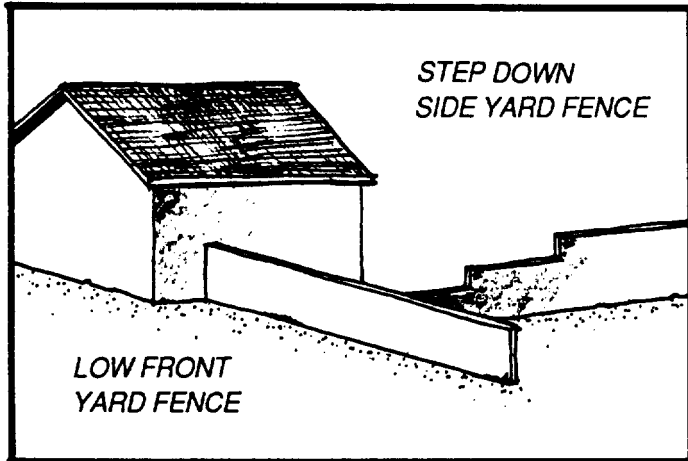
Production Fencing
ARROYO LA COSTA



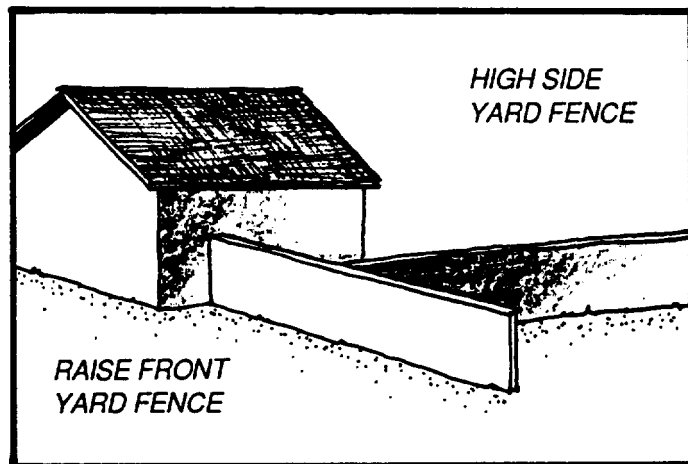
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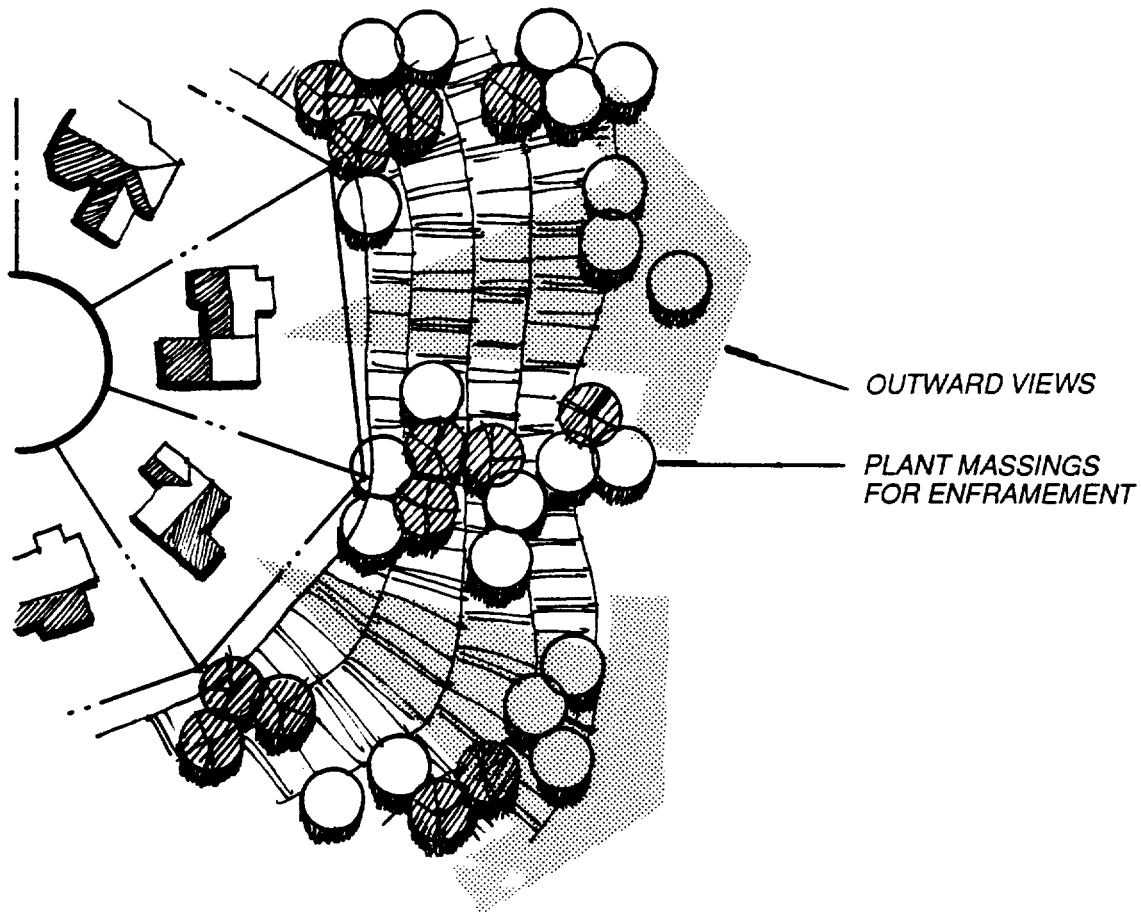
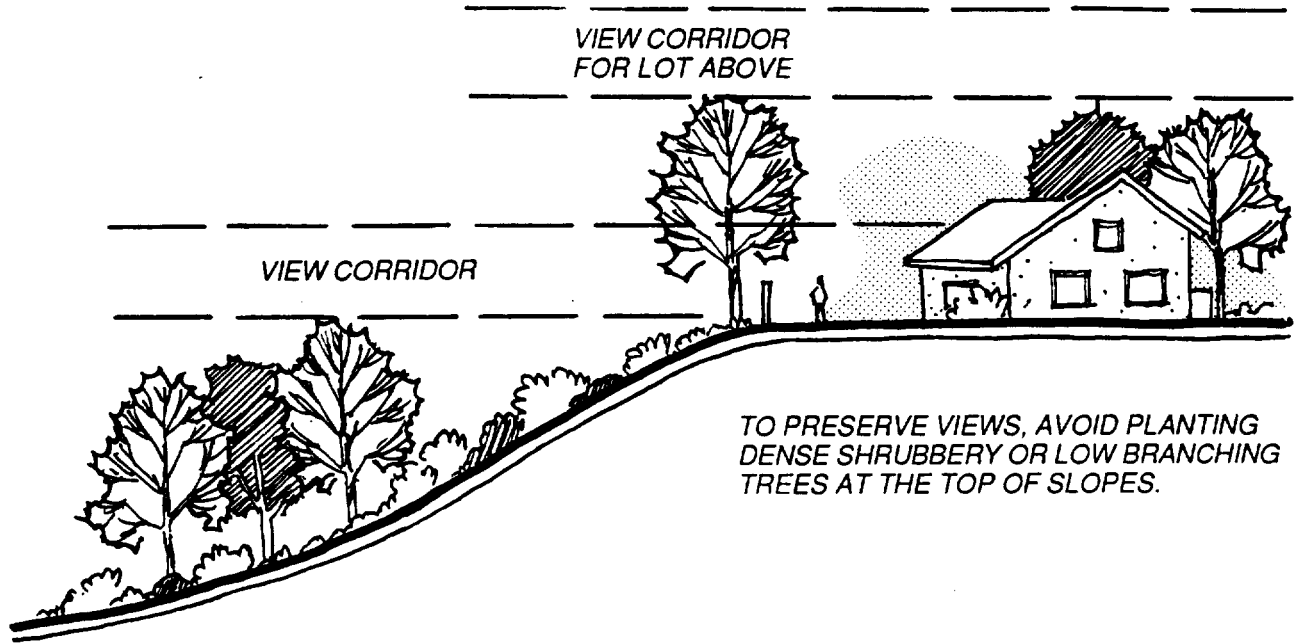


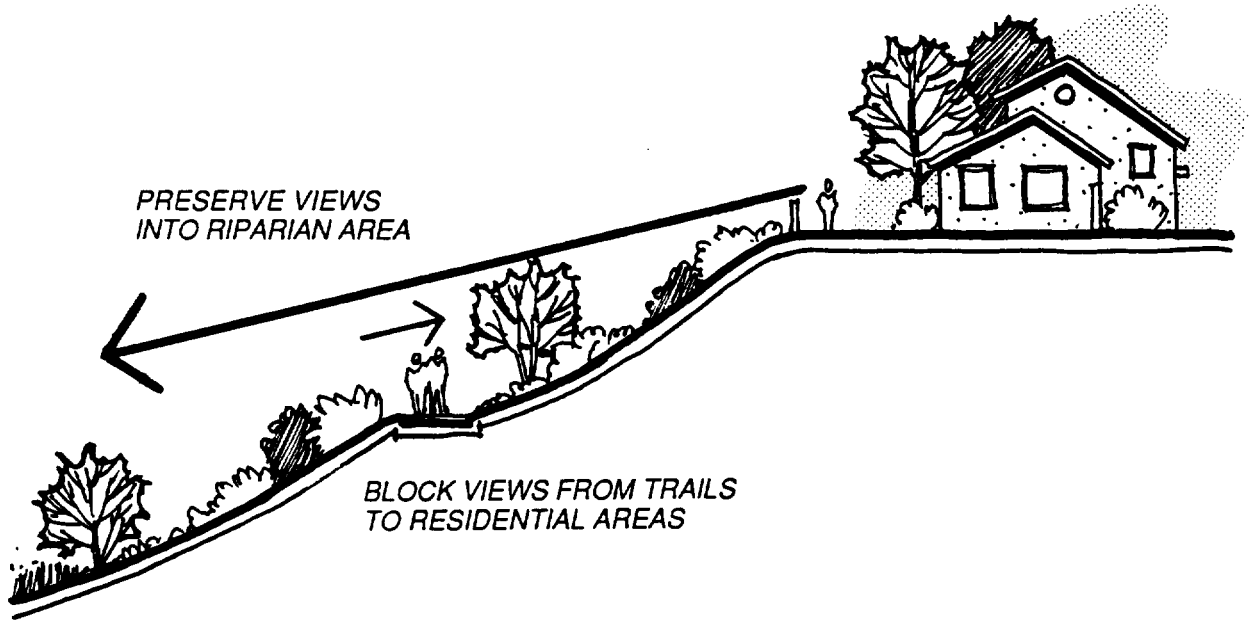
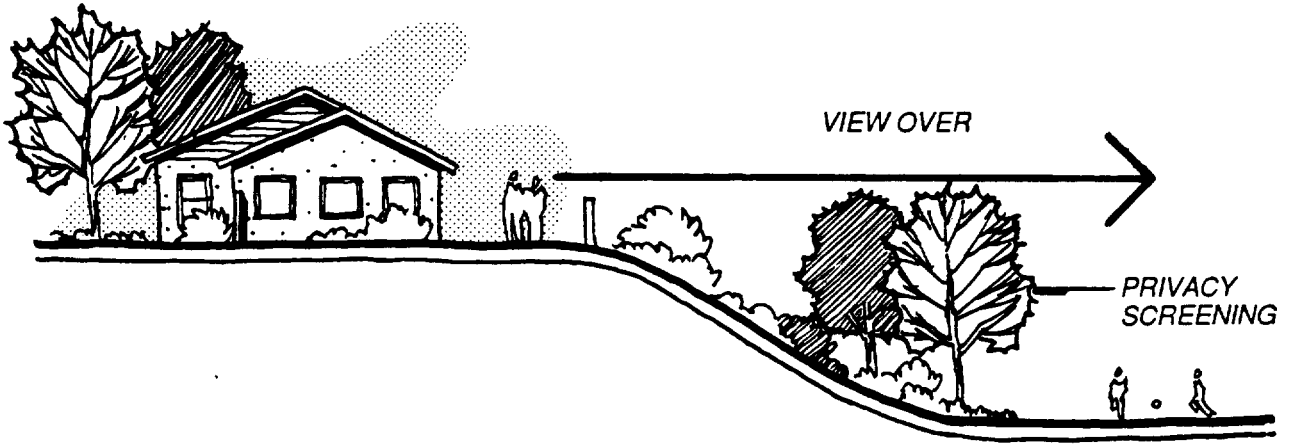
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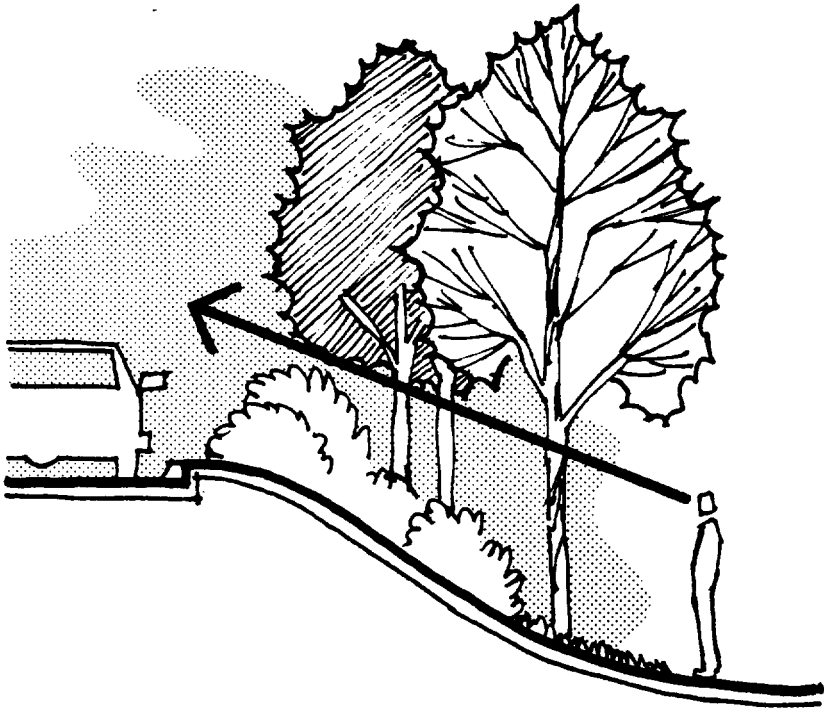


OR THIS

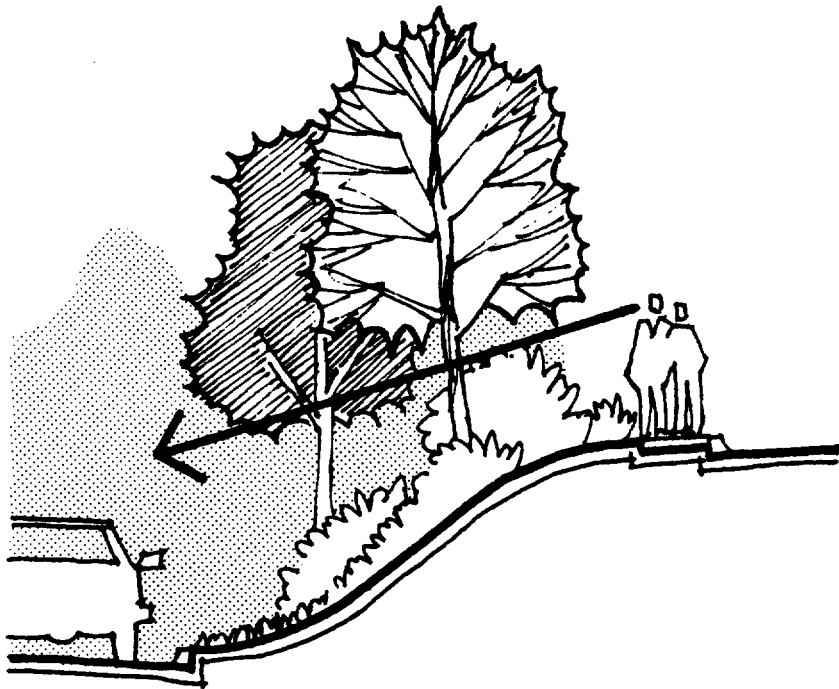








TO SCREEN VIEW OF HIGHER LOCATIONS, LARGE SHRUBS SHOULD BE MASSED AT TOP OF SLOPE, WITH HIGH BRANCHING TREES PLANTED DOWN SLOPE.



TO SCREEN VIEW OF LOWER LOCATIONS, TREES AND LARGE SHRUBS SHOULD BE MASSED AT TOP OF SLOPE.

I. SIGNAGE

Appropriate signage is important in maintaining the community design theme, as well as providing a system for identifying community development and giving directional information to residents and visitors.

Signs utilized in Arroyo La Costa include both temporary and permanent types.

1. PERMANENT SIGNS

Permanent signs include:

- a. Trail Head markers
- b. Street signs
- c. Vehicular Directional signs
- d. Recreation Center signs
- e. Village Identity signs

With the exception of the subdivision direction sign, the trail head marker and the street signs, all of the signs will be constructed of concrete masonry blocks, with a light stucco finish natural concrete color cap to match the community walls. Specific location for each sign type are shown on Exhibit 38 on page 81. The details of these sign types are shown on Exhibit 39 on page 82.

2. TEMPORARY SIGNS

Temporary signs which will be present until the completion of project construction include:

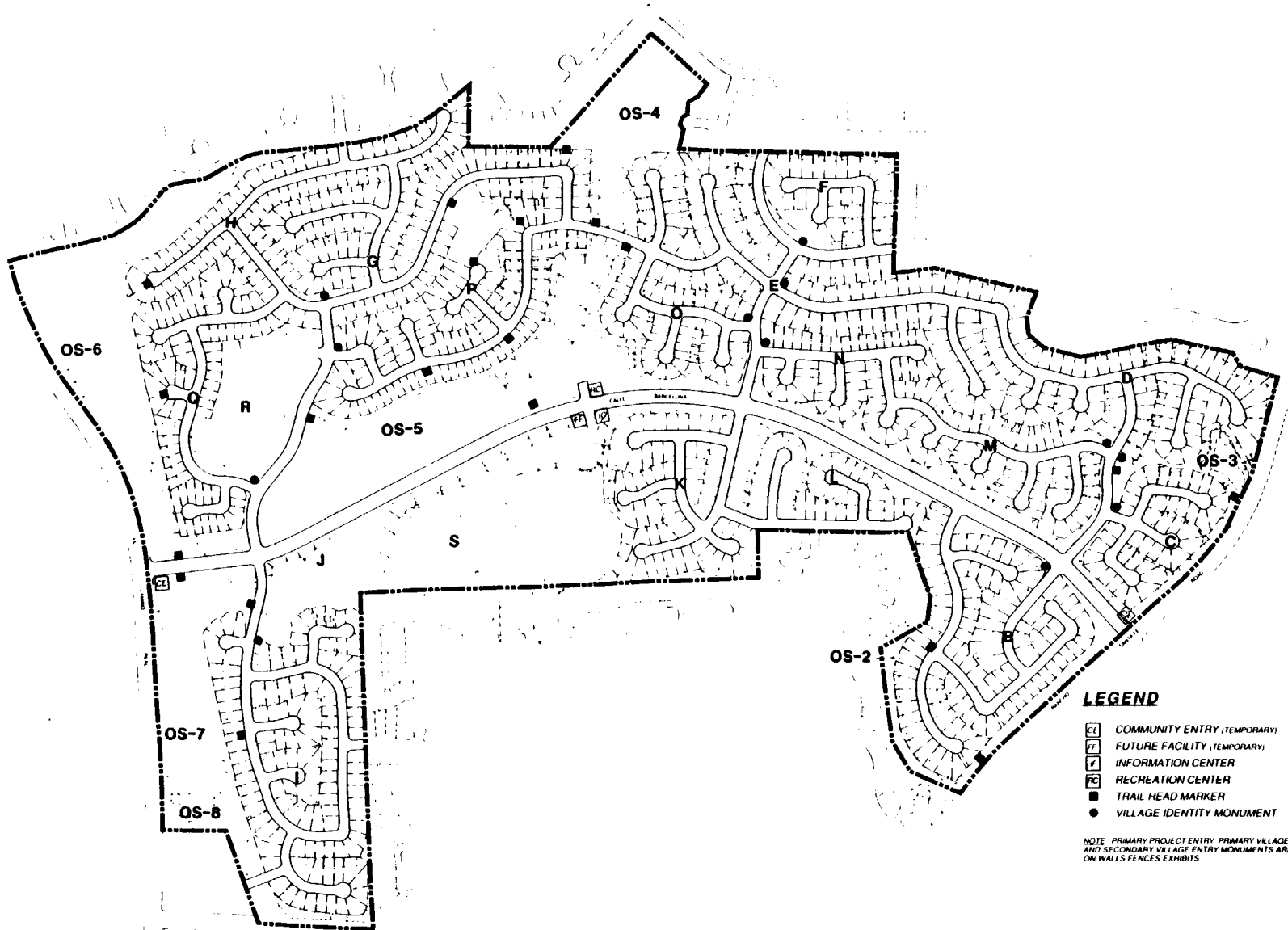
- a. Information Center signs
- b. Future Facility signs
- c. Community Entry signs

These signs are shown in detail on Exhibit 40 on page 83.

J. LIGHTING

The design issue of "lighting" includes street lighting, as well as building and landscape accent lighting, and sign illumination. Three basic principles should be considered in the provision of lighting:

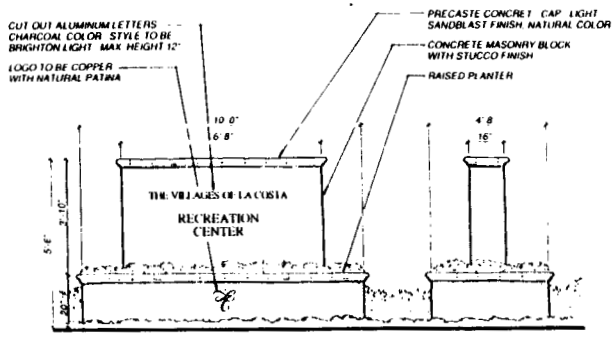
1. Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
2. Lighting fixtures should relate to the human scale, especially in pedestrian areas.



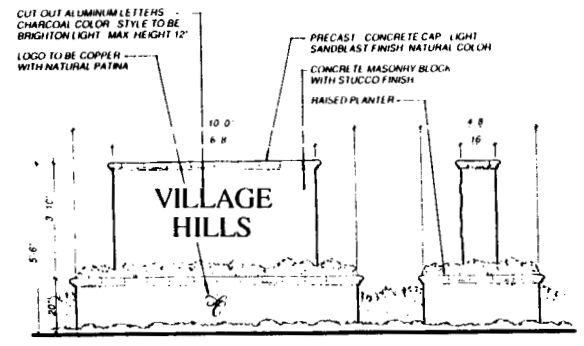
LEGEND

-  COMMUNITY ENTRY (TEMPORARY)
-  FUTURE FACILITY (TEMPORARY)
-  INFORMATION CENTER
-  RECREATION CENTER
-  TRAIL HEAD MARKER
-  VILLAGE IDENTITY MONUMENT

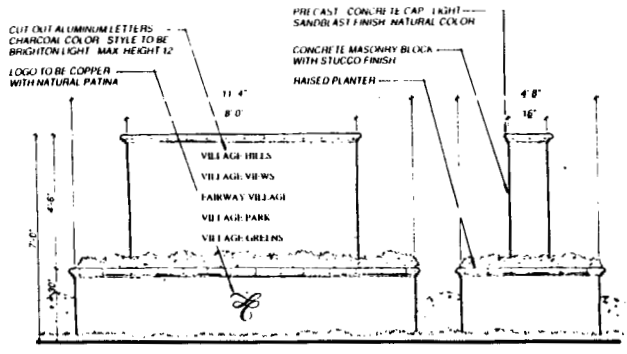
NOTE: PRIMARY PROJECT ENTRY, PRIMARY VILLAGE ENTRY, AND SECONDARY VILLAGE ENTRY MONUMENTS ARE SHOWN ON WALLS, FENCES, EXHIBITS.



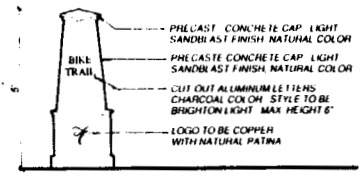
RECREATION CENTER (PERMANENT)
NTS



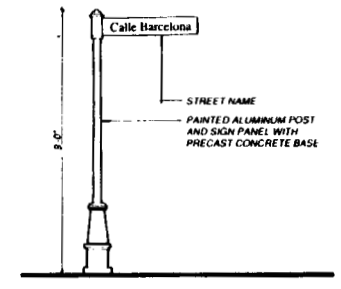
VILLAGE IDENTITY (PERMANENT)
NTS



VEHICULAR DIRECTIONAL SIGN (PERMANENT)
NTS



TRAIL HEAD MARKER (PERMANENT)
NTS

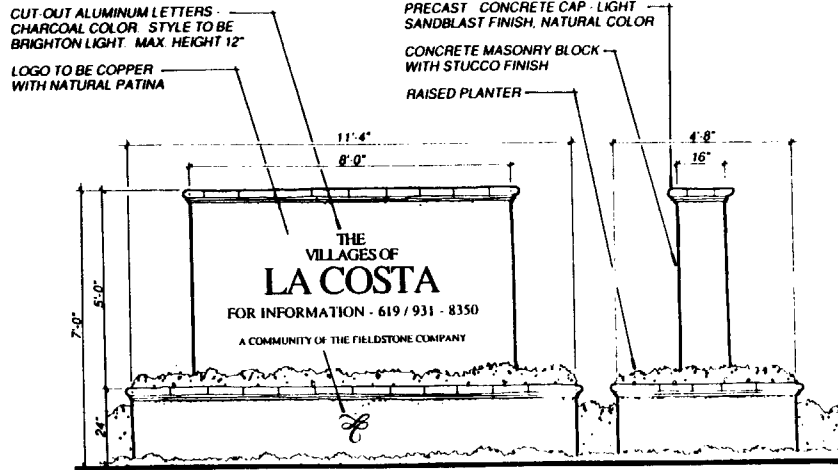


STREET SIGN (PERMANENT)
NTS

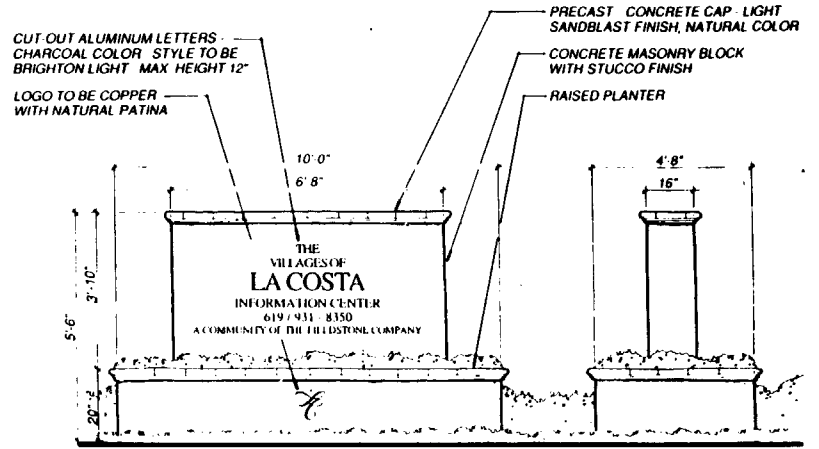


Permanent Signs
ARROYO LA COSTA

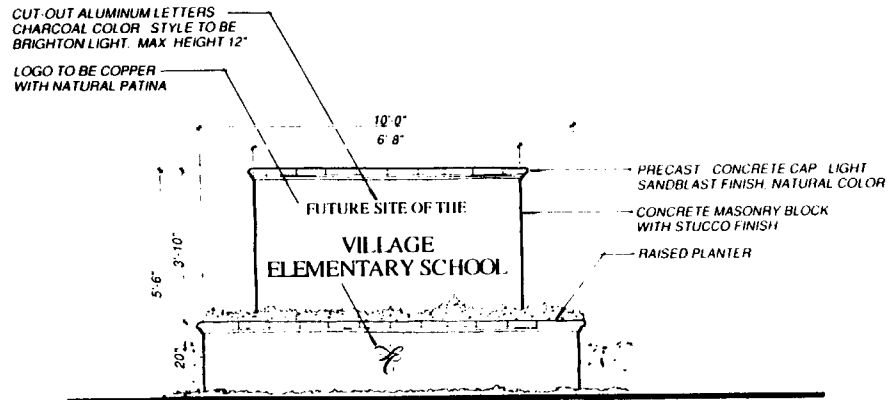




COMMUNITY ENTRY (TEMPORARY)



INFORMATION CENTER (TEMPORARY)



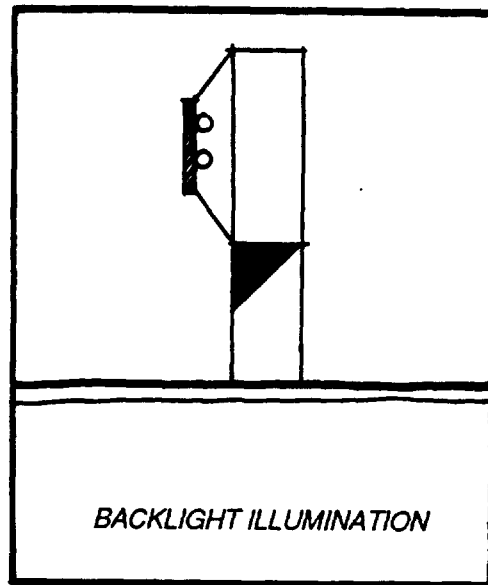
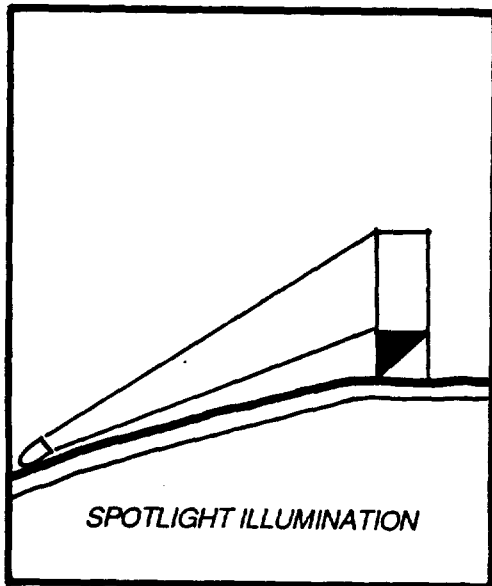
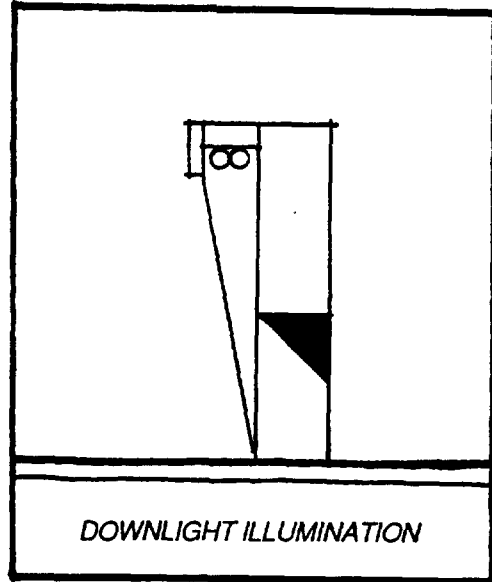
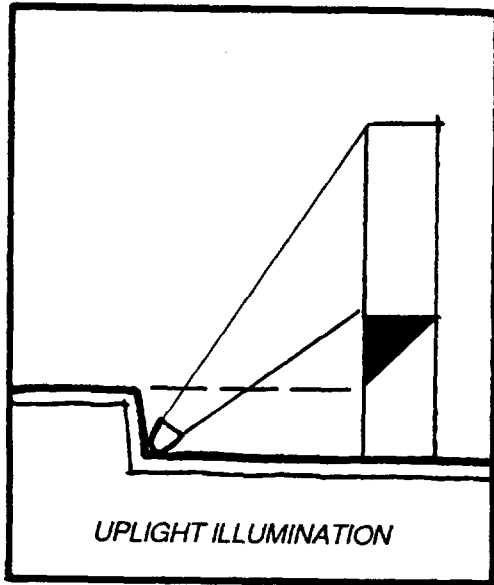
FUTURE FACILITY (TEMPORARY)

3. **Lighting and lighting fixtures should complement the design and character of the environment in which they are placed.**

All street lighting shall conform to the City standards or an approved theme lighting program, and shall be approved by the City Engineer.

Lighting for community facilities and recreation areas shall be considered as an element of Site Plan Review. Any such lighting which will illuminate a residential area past the hour of 10:00 pm shall be clearly identified on the site plan.

Illuminated entries should direct lighting low to the ground and be limited to only the immediate vicinity of the entry. Lighted entries should not be distracting, create visual hot spots, or glare, etc. Suggested entry sign illumination techniques are illustrated in Exhibit 41 on page 84.



V. OPEN SPACE

A. INTRODUCTION

Approximately 135.8 acres or 26% of the Arroyo La Costa Master Plan consists of Open Space. Exhibit 42 on page 87 shows open space within the Master Plan. The open space provided within the Arroyo La Costa Master Pan complies with all applicable City ordinances and standards.

Per section 21.38.060 of the Carlsbad Municipal Code, all master plans must provide 15 percent of the total master plan area, in an integrated open space program which addresses: a) Open space for the preservation of natural resources; b) Open space for the managed production of resources; c) Open space for outdoor recreation; and d) Open space for public health and safety. Based on this standard, the Arroyo La Costa Master Plan is required to provide 79.32 acres of open space. The following subsections explain how the Arroyo La Costa Master Plan complies with this requirement.

1. Open Space for the Preservation of Natural Resources

a. Willows

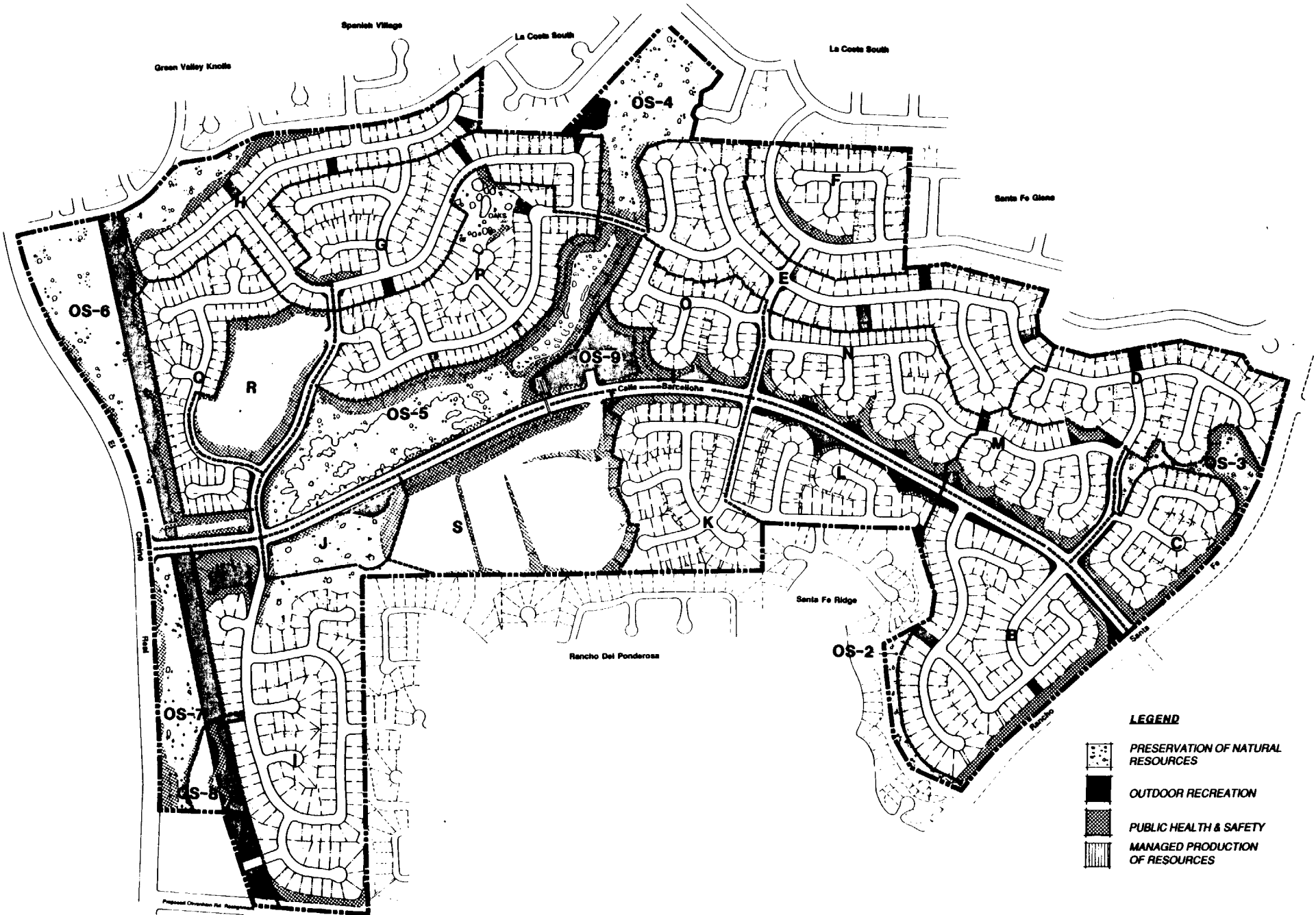
The 12 acre area of willows in the west central portion of the Master Plan will be preserved in its natural state. The existing drainage course with little if any riparian habitat near Colina Way will be enhanced. This will result in an approximately 41 acre riparian corridor running through the middle of the project. A small isolated riparian habitat in the eastern portion of the Master Plan between Villages C and D will also be preserved.





b. Native areas

Except for the RV storage and a desiltation basin, all of the area adjacent to El Camino Real will remain in its natural state, although there will be some enhancement to the eroded areas. Several sensitive native plant species, including Del Mar Manzanita will be preserved and protected within this area.

c. Tree Groves

The existing Oak groves in Village P will be preserved and enhanced. Any mature oaks that are removed from this site will be replaced on a 4:1 ratio with 15 gallon trees.



- LEGEND**
-  PRESERVATION OF NATURAL RESOURCES
 -  OUTDOOR RECREATION
 -  PUBLIC HEALTH & SAFETY
 -  MANAGED PRODUCTION OF RESOURCES

THE
VILLAGES OF
LA COSTA

Master Plan Open Space
ARROYO LA COSTA

EXHIBIT



V
42

2. Open Space for the Managed Production of Resources

This area has not recently been used for agricultural purposes. No portion of the Master Plan will be reserved for the production of resources.

3. Open space for Outdoor Recreation

a. Community Recreational Daycare Center

This area will consist of approximately 6.45 acres and will include a junior olympic swimming pool, exercise room, tennis courts, children's play area, as well as a daycare center. Exhibit 43 on page 89 shows the details of the site as approved under a Site Development Plan 89-11.

b. Passive Recreation Areas

A 1.10 acre passive recreation area will be provided south of Calle Barcelona in the western portion of the project.

c. Open Space Lots and Miniparks

Open space lots and miniparks will be located within each neighborhood for a total of another 2.5 acres. Some of these open space lots will provide access to the community trail system. The location of these lots is shown on Exhibit 42 on page 87. Typical details of these open space areas are provided in this chapter (See Exhibit 44 on page 90) and the individual Village Chapters. The location of these lots is also shown in the individual village chapters. The landscaping in these areas will be designed to provide maximum visibility for police surveillance and to create a safe feeling for users. The exact details of landscaping and passive recreation facilities on these small open space lots shall be approved by the Planning Director.

In addition to the areas listed above, lands associated with the trail system as discussed in Section B of this chapter are considered Master Plan outdoor recreation areas.

4. Open Space for Public Health and Safety

a. Utility corridor

A 150 foot wide public utility corridor is located within the Master Plan. In addition to carrying utility lines it will serve as

8' WIDE CONC. WALKWAY

OPEN SPACE AND PICNICKING

JR. OLYMPIC POOL AND SPA

PARKING (44 SPACES)

OPEN TURF AREA

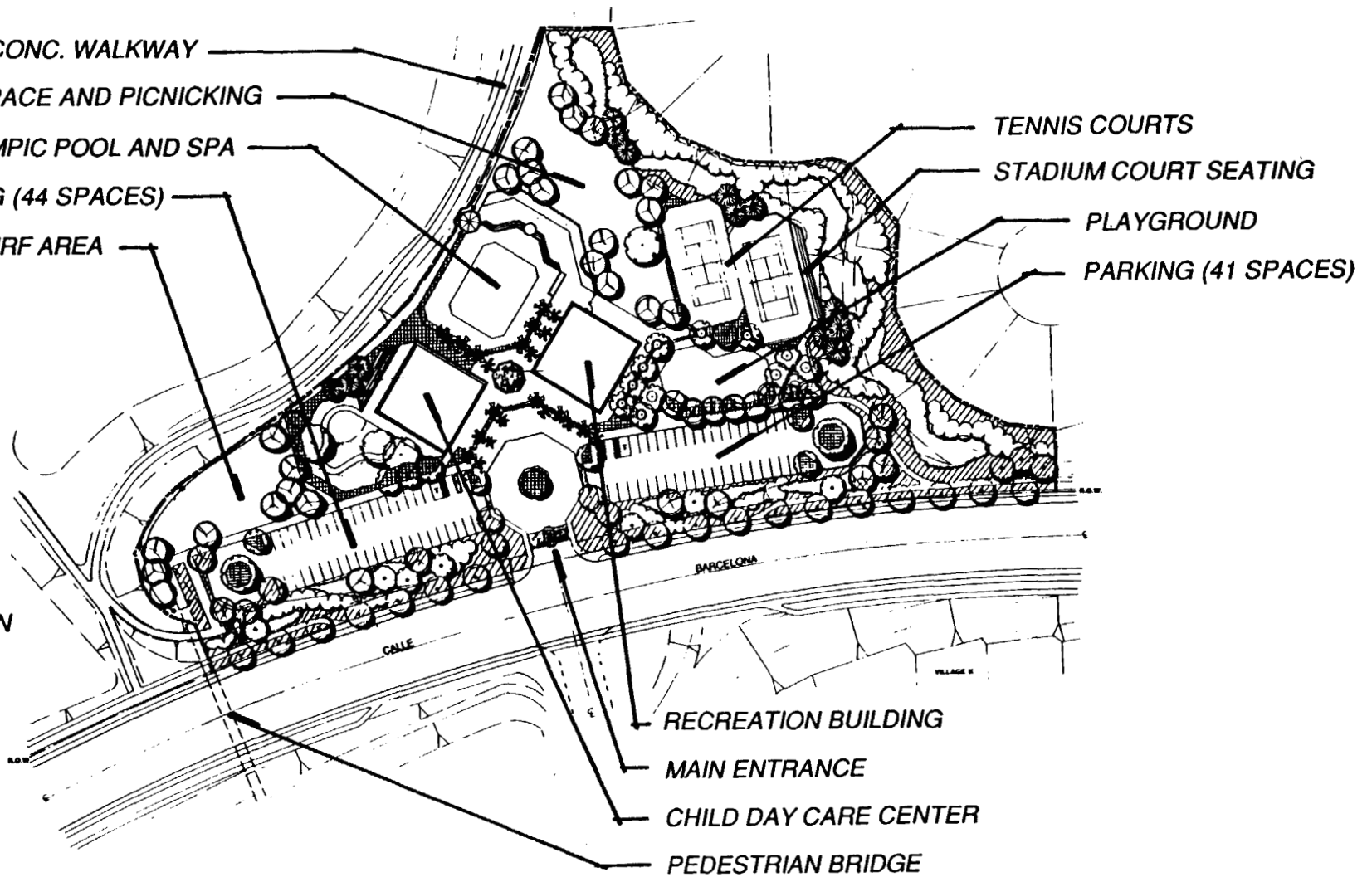
TENNIS COURTS

STADIUM COURT SEATING

PLAYGROUND

PARKING (41 SPACES)

RIPARIAN AREA

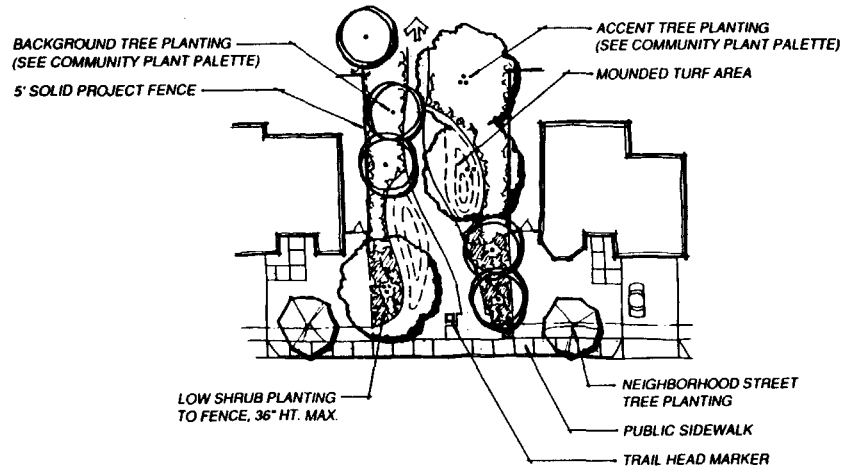


RECREATION BUILDING

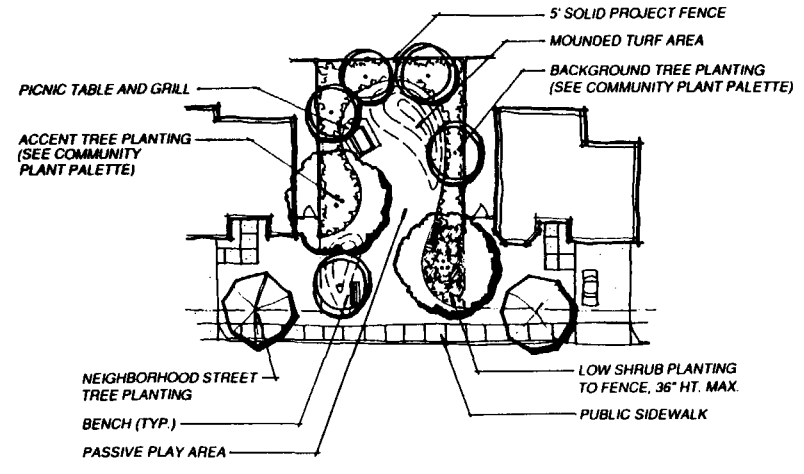
MAIN ENTRANCE

CHILD DAY CARE CENTER

PEDESTRIAN BRIDGE



OPEN SPACE LOT ALTERNATIVE - TRAIL HEAD



OPEN SPACE LOT ALTERNATIVE - PASSIVE AREA

an open space setback buffer between future residences and El Camino Real. This area will be enhanced with trails and other passive recreational amenities.

b. Slopes

All slope areas will be maintained in open space.

As shown on Exhibit 42 on page 87, the Arroyo La Costa Master Plan is required to provide 79.32 acres of Master Plan Open Space. The Arroyo La Costa Master Plan Open Space supply is 135.8 acres. A breakdown of Master Plan open space is provided on Exhibit 45 on page 92.

B. BICYCLE/PEDESTRIAN TRAILS

1. INTRODUCTION

To encourage pedestrian and bicycle movement within the community, a system of trails has been developed. These trails allow residents to move freely about the Arroyo La Costa community and access both the open space and recreation amenities provided. They are also designated to tie in to a future citywide trail system, if one is developed. When built out, the Arroyo La Costa Master Plan will have approximately 6.4 miles of trails. Exhibit 46 on page 93 shows the location and types of trails which will be provided. Exhibit 47 on page 94 provides cross sections of the proposed trails.

2. DESCRIPTION

There are three trail types which are interconnected and allow movement throughout the community:

a. Bike Path and Walkway

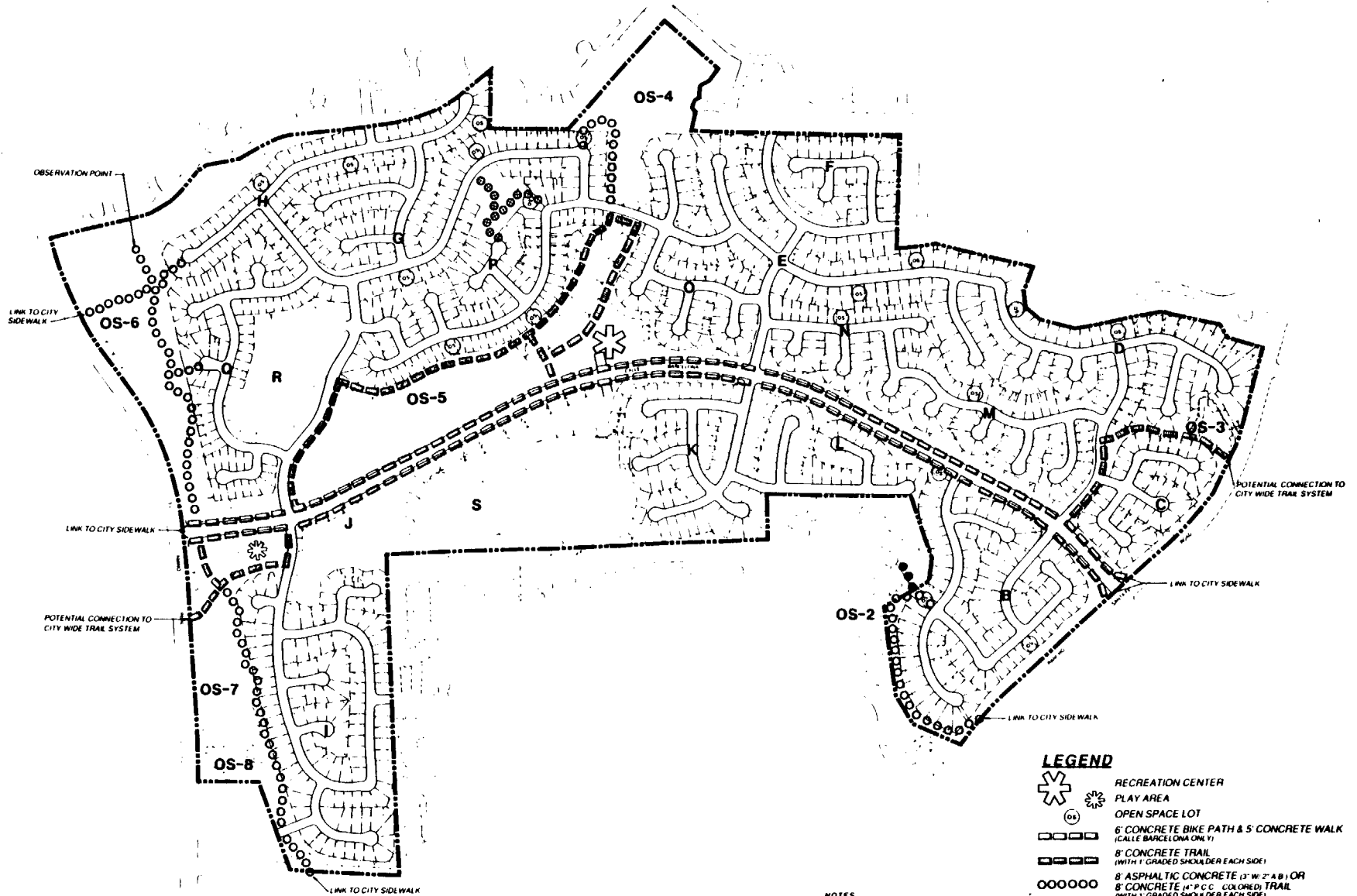
The first of these is the main bike path and walkway. It extends along Calle Barcelona from El Camino Real to Rancho Santa Fe Road, as shown by Exhibit 46 on page 93. This trail will have a concrete bike lane separated from the road and the pedestrian walk by a planting area. A section of this trail will also be extended north along the local collector street between Villages M and C to Open Space Area OS-3. The trail will then go into Open Space Area 3 between Villages C and D. The applicant has provided studies to the City showing that it would be possible to build a bicycle/pedestrian bridge across Rancho Santa Fe Road at this location. Trail sections are shown on Exhibit 47 on page 94. Special design treatments for the trail are shown on Exhibit 48 on page 95.

EXHIBIT 45

MASTER PLAN OPEN SPACE	Acres
Preservation of Natural Resources *	46.1
Outdoor Recreation **	44.1
Public Health and Safety ***	45.6
Managed Production of Resources****	0.0
TOTAL	135.8

Notes:

* Preservation of Natural Resources - preservation of plant & animal life, habitat for fish and wildlife species, ecological and other scientific study purposes; rivers, streams, bays, estuaries, beaches, lakeshores, banks of rivers & streams and watersheds.
** Outdoor Recreation - scenic, historic, or cultural value; parks and recreation, access to lakeshores, beaches, rivers, streams and areas that serve as a link between major recreation and open space areas, including utility easements, banks of rivers and streams, trails, and scenic highway corridors.
*** Public Health and Safety - require special management regulation due to hazardous or special conditions; earthquake fault zones, unstable soil areas, flood plains, watersheds, areas presenting high fire risks, protection of water quality and water reservoirs and for the protection and enhancement of air quality.
**** Managed production of Resources. - forest lands, range lands, agricultural lands, etc. Arroyo La Costa does not contain any such areas.



LEGEND

- RECREATION CENTER
- OPEN SPACE LOT
- 6' CONCRETE BIKE PATH & 5' CONCRETE WALK (CALLE BARCELONA ONLY)
- 8' CONCRETE TRAIL (WITH 1' GRADED SHOULDER EACH SIDE)
- 8' ASPHALTIC CONCRETE (3" W/ 2" A/B) OR 8' CONCRETE (4" P.C.C. COLORED) TRAIL (WITH 1' GRADED SHOULDER EACH SIDE)
- 5' ASPHALTIC CONCRETE (3" W/ 2" A/B) OR 5' CONCRETE (4" P.C.C. COLORED) TRAIL (WITH 1' GRADED SHOULDER EACH SIDE)
- POTENTIAL ASPHALTIC CONCRETE TRAIL (TO BE BUILT BY ADJACENT OWNERS)

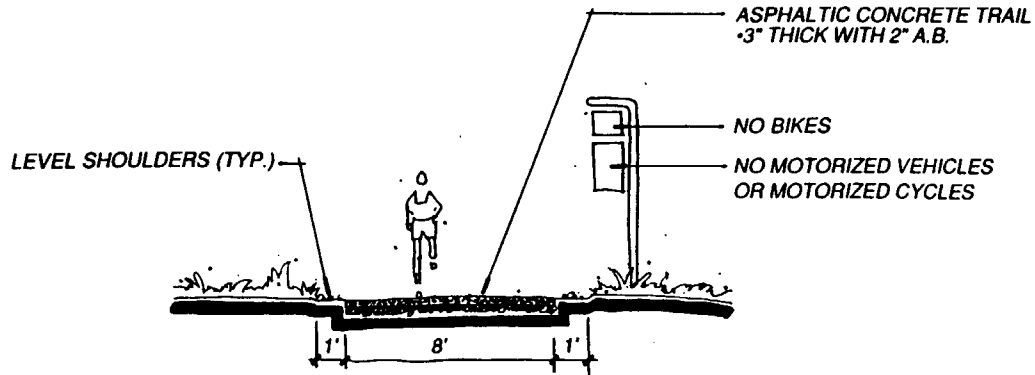
NOTES
 1 ALL TRAILS INDICATED ON THIS PLAN WILL BE INCLUDED IN A LANDSCAPE MAINTENANCE DISTRICT (LMD).
 2 ALL TRAILS WILL CONNECT WITH THE CITY WIDE TRAIL SYSTEMS WHERE FEASIBLE



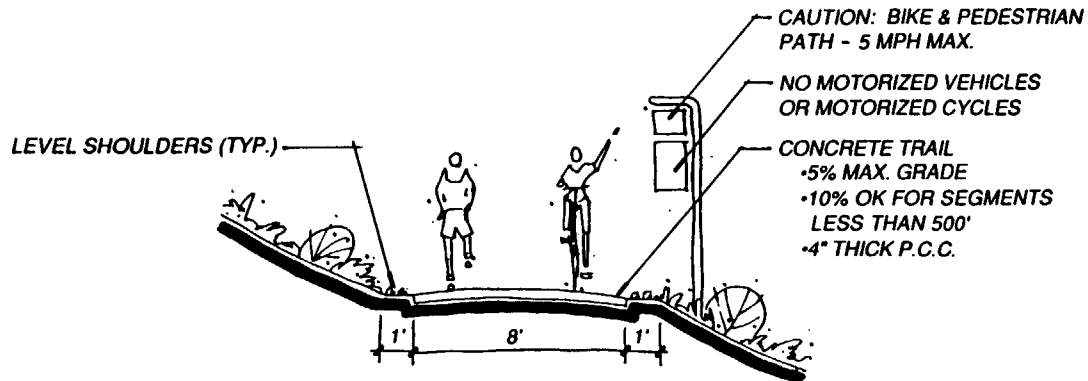
**Trails and Recreation Plan
 ARROYO LA COSTA**

EXHIBIT

46



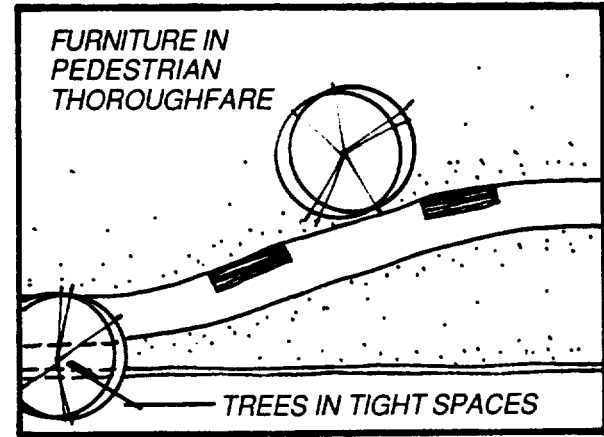
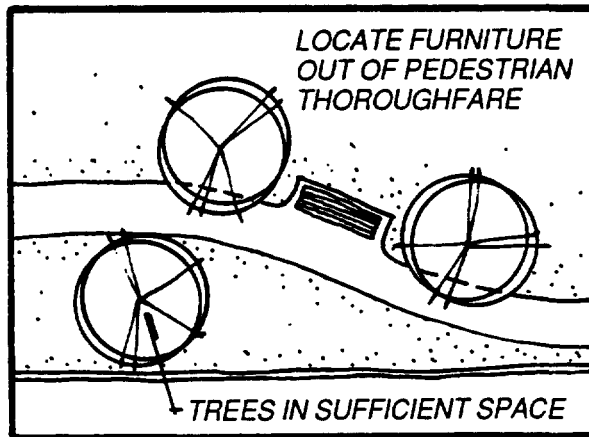
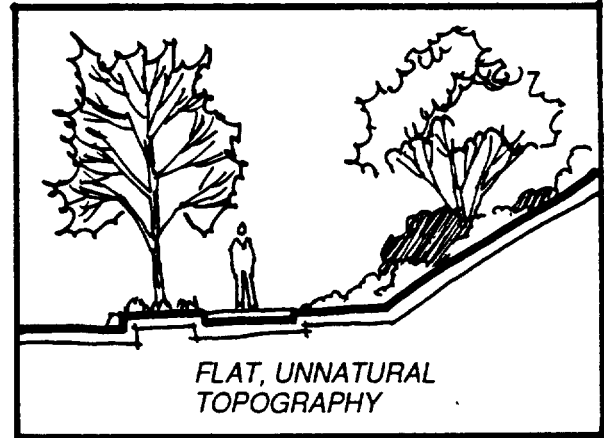
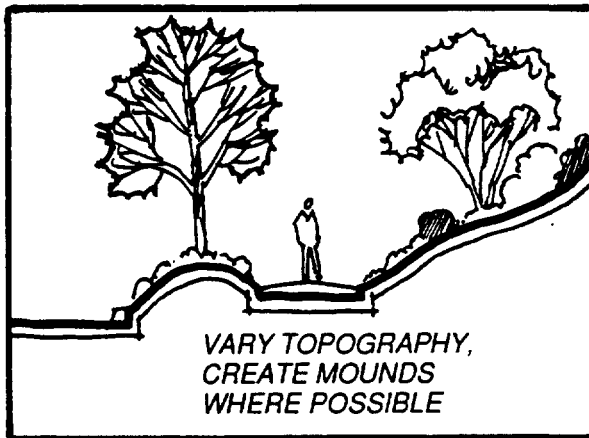
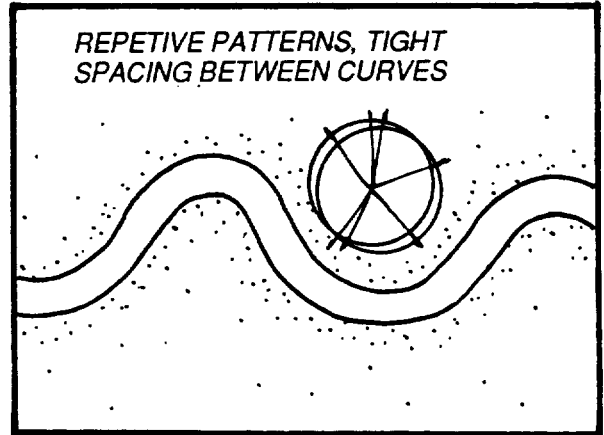
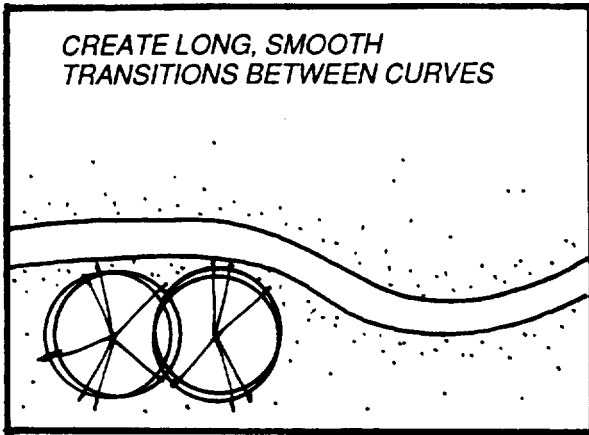
ASPHALTIC CONCRETE TRAIL



CONCRETE TRAIL

DO THIS

AVOID



b. Concrete Trail

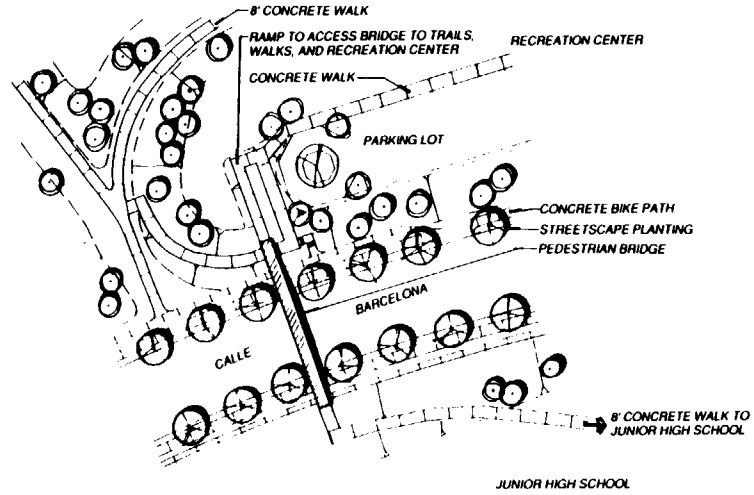
The second trail type is an 8 foot concrete trail, which encircles the major open space and riparian area. This trail will link the community recreation daycare center with the open space area in the northern central portion of the master plan. It will provide access to Open Space Area OS-3 in the north-eastern portion of Arroyo La Costa. It will also lead directly to the bicycle/pedestrian bridge spanning Calle Barcelona (see Exhibit 49, page 97). Both the City and the developer acknowledge that not all pedestrians will use the pedestrian bridge to cross Calle Barcelona. A bond has been posted by the applicant in case a traffic signal is needed at the intersection of the junior high school site and Calle Barcelona. This trail has been designed to allow for police and fire access for emergency situations.

c. Asphaltic Concrete/Concrete Trail

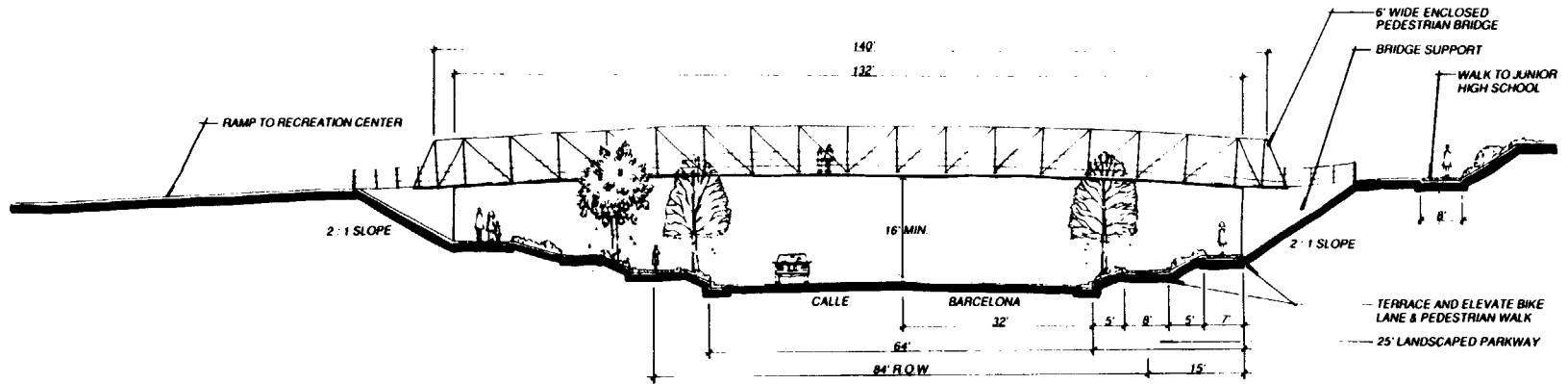
A 150 foot SDG&E transmission easement lies along the western boundary of the property. Within this easement will be an 8 foot wide asphaltic concrete/concrete trail. This trail will also function as an access road for SDG&E vehicles. Another 8 foot wide asphaltic concrete trail will connect Village B with Rancho Santa Fe Road. In addition, access to Open Space Area OS-4 will be provided by a similar trail. A smaller, 5 foot trail will run through an open space area in Village P, which contains a stand of native oak trees.

The trails shall be constructed to provide good drainage. A cross slope shall be maintained with a minimum two percent (2%) grade with berms and ditches utilized to prevent washouts of cuts and fills. Cut and fill slopes created by the construction of the trail system will not exceed 2:1. Trail entrance signs will be posted at trail entrances and street crossings. For any trail crossing a roadway, a crossing sign warning motorists will be set 300 feet before the crossing.

Bike racks will be located at the school sites, the common recreation/daycare center and both of the passive recreation areas to encourage bike use.



PEDESTRIAN BRIDGE - PLAN



PEDESTRIAN BRIDGE - SECTION

3. **LINKS TO CITYWIDE TRAIL SYSTEM**

The trail system has been designed to form the embryo of the future citywide trail system if the City decides to develop such a system. The applicant has provided plans showing how the trail could be linked to bicycle/pedestrian bridges crossing Rancho Santa Fe Road and El Camino Real. These bridges are not proposed as a part of this master plan. The applicant has provided the information for the sole purpose of showing that it would be physically possible to construct the bridges.

The construction of these bridges would require the cooperation of the City as well as the impacted property owners on the opposite sides of El Camino Real and Rancho Santa Fe Road. The potential bridge across El Camino Real would also require the approval of the Coastal Commission. The City of Carlsbad is in the process of preparing a study on the feasibility of a citywide trail system. This study will examine the desirability of these bridges and funding mechanisms for their construction and maintenance.

C. **MAINTENANCE**

The Master Homeowners' Association shall also be responsible for the maintenance of the open space/trail system. If a Citywide Open Space Maintenance District is formed, the city may assume maintenance and liability responsibility for the trail network.

VI. PUBLIC FACILITIES

A. INTRODUCTION

The Arroyo La Costa Master Plan land area lies entirely within Local Facilities Management Zone 12. The public facility requirements for this Master Plan are fully addressed in the Zone 12 Local Facilities Management Plan (LFMP) Amendment being processed concurrently with this Master Plan. The Zone 12 Local Facilities Management Plan Amendment was prepared pursuant to the City's Growth Management Program. The Zone 12 LFMP Amendment; (1) provides detailed description of how the zone will develop, (2) demonstrates how and when each required facility and improvement will be constructed to accommodate phased development within the Master Plan, and (3) provides a complete description of how each facility and improvement will be financed when mitigation is necessary.

The following are the mitigation requirements from the Zone 12 LFMP Amendment which shall be provided for by the Arroyo La Costa Master Plan. Unless otherwise specified, these conditions apply to the entire Arroyo La Costa Master Plan area.

B. CITY ADMINISTRATIVE FACILITIES

1. INVENTORY

a. Existing and Build Out City Administrative Demand:

Citywide projected population comes from the 1986 CFIP. Zone 12 projected population comes from the Zone 12 Local Facilities Management Plan.

	<u>Projected Population</u>	<u>Performance Standard Demand (Sq.Ft.)</u>
Existing (1/1/90)		
Citywide	67,320	100,980
Zone 12	1,455	2,183
Build Out		
Citywide (2013)	134,914	202,371
Zone 12	4,285	6,428

b. Inventory of Existing City Administrative Facilities:

The existing City Administrative Facilities owned and leased by the City of Carlsbad as of January 1, 1990 are:

	Permanent (Sq Ft)	Temporary (Sq Ft)	Leased (Sq Ft)
City Hall (1200 Carlsbad Village Drive)			
Main Building	12,899		
Finance Modular		2,700	
Purchasing/Personnel Modular		1,800	
Redevelopment (2965 B. Roosevelt)			3,200
Community Development (2075 Las Palmas Dr):	22,627		
Public Safety and Service Center (I) (2560 Orion Way):			
Police and Fire	53,700		
Vehicle Maintenance	10,358		
Water District Office	18,000		
	-----	-----	-----
Totals	117,584	4,500	3,200
	=====	=====	=====
TOTAL EXISTING FACILITIES			125,284

Existing City Administrative Facilities as of January 1, 1990 exceed the performance standard. However, 2.6 percent of the total square footage is leased and another 3.6 percent are in temporary modular units. If the leases are terminated or temporary facilities are no longer used, thereby reducing existing City Administrative facilities, this analysis would need to be re-done to assess compliance with the adopted performance standard. If compliance was not being maintained, all residential development in the City would be stopped until the appropriate mitigation could be implemented.

c. Inventory of Approved Future City Administrative Facilities:

The adopted 1989-1990 to Build Out Capital Improvement Program (CC Reso. No. 89-210) funds the following City Administrative Facilities for construction within 5 years (1994):

<u>Facility</u>	<u>Square Feet</u>	<u>Funding Year</u>	<u>Cost</u>	<u>Source</u>
Public Safety Center (II): Construction	62,000	'92-'93	\$3,955,000	PFF/S ¹
New City Hall	N/A	1999+	\$23,100,000	PFF

No other City Administrative Facilities are identified within the City's adopted CIP.

Existing City Administrative Facilities plus those scheduled for construction within five years in the adopted 1989-90 to Build Out CIP are as follows:

	<u>Permanent (Sq Ft)</u>	<u>Temporary (Sq Ft)</u>	<u>Leased (Sq Ft)</u>
Existing	117,584	4,500	3,200
1989-1990 CIP	62,000		
Subtotal	179,584	4,500	3,200
TOTAL FACILITIES	=====		187,284

2. **FINANCING**

The City collects a public facility fee (PFF) which is set at 3.5% of building permit valuation. This fee is paid at time of building permit issuance. In calculating the PFF the following expenditures were projected for City Administrative Facilities:

¹ PFF = Public Facilities Fee and S = Sewer Enterprise Fund.

Las Palmas Facility	\$2,000,000
Public Safety Center Phase II	\$3,455,000
City Hall - Future	\$23,100,000

TOTAL	\$29,055,000

In addition to the PFF funds, the adopted 1989-1990 to build out CIP indicates the use of sewer funds for part of the public safety center Phase II.

Public Facility Fees will continue to be paid by development in the zone. Thus, no special financing mechanism for City Administrative Facilities is required as a condition of development within Zone 12.

3. **SPECIAL CONDITIONS**

No special conditions.

C. **LIBRARY FACILITIES**

1. **INVENTORY**

a. **Existing and Build Out Library Demand**

Citywide projected population comes from the 1986 CFIP. Zone 12 projected population comes from the Zone 12 Local Facilities Management Plan.

	<u>Projected Population</u>	<u>Performance Standard Demand (Sq.Ft.)</u>
Existing (1/1/90)		
Citywide	67,320	53,856
Zone 12	1,455	1,164
Build Out		
Citywide (2013)	134,914	107,931
Zone 12 (1992)	4,285	3,428

b. Inventory of Existing Library Facilities:

Existing library facilities owned and leased by the City of Carlsbad as of January 1, 1990 are the following:

<u>Facility</u>	<u>Owned (Sq Ft)</u>	<u>Leased (Sq Ft)</u>
Civic Center Library (1200 Carlsbad Village Drive)	24,600	
Adult Learning Center (1207 Carlsbad Village Drive)		400
La Costa Area Library ² (7750 El Camino Real)		4,500
Warehouse (2075 Corte Del Nogal)	_____	<u>2,060</u>
Total	24,600	6,960
	=====	
TOTAL EXISTING FACILITIES		31,560

c. Inventory of Approved Future Library Facilities:

South Carlsbad Library

A six acre City owned site has been identified and designed for the South Carlsbad Library. This library is projected to be 64,000 square feet in size and to open in 1992.

According to City staff, the 6,960 square feet of existing leased library space will expire and be vacated when the South Carlsbad library is constructed. The 1989-90 to Build Out CIP allocates funds for debt financing between 1989-1999+.

The South Carlsbad library site was approved by the City Council on July 7, 1987. On April 10, 1990, the City Council approved expansion of this facility from 58,000 square feet to 64,000 square feet³. The site is near the northwest corner of El Camino Real and Alga Road.

² The existing 6,900 square feet of leased library space will expire when the new South Carlsbad Library is constructed.

³ The staff report for this action is contained in appendix A-2, Agenda Bill No. 10,578.

North Carlsbad Library Expansion

The 1989-90 to Build Out Capital Improvements program shows funds for construction of the North Carlsbad Library Expansion in 1994-99. This expansion will provide approximately 8,000 square feet of additional library space.

Build Out Library

Funds for an additional 17,331 square feet of Library space for Build Out are shown in 1999+ in the 1989-90 to Build Out Capital Improvements Program.

2. FINANCING

South Carlsbad Library:

On July 7, 1987, the City Council took action for the acquisition, grading, design and construction of the 58,000 square foot South Carlsbad Library. On April 10, 1990, the City Council approved expansion of this facility from 58,000 square feet to 64,000 square feet. Although the City Council has guaranteed the needed funds, the long term financing mechanisms may be modified at some time in the future.

The adopted 1989-90 to Build Out CIP has appropriated \$39,790,000 for library facilities. Approximately one-half of the \$30,782,000 budgeted for the South Carlsbad Library construction is to provide for debt financing. \$1,124,000 per year is budgeted for debt service payment which would be payable over the next 20 years.

North Carlsbad Library:

The 1989-90 to Build Out CIP shows \$3,948,000 for construction of the North Carlsbad Library expansion in 1994-99. This will provide an additional 8,000 square feet of library space at the existing library on 1250 Carlsbad Village Drive for a total of 32,600 square feet.

Build Out Library:

The 1989-90 to Build Out CIP indicates that \$5,060,000 for an additional 17,331 square feet of library facilities will be funded in 1999+ to fulfill the

demand for libraries at build out. This space will likely be added to existing facilities.

The primary source of funding will be Public Facility Fees (3.5% of building permit valuation). This fee is collected at the time building permits are issued for all residential, commercial and industrial developments.

The following is a summary of the 1989-90 to Build Out Capital Improvement Program funding allocation for library facilities:

South Carlsbad Library:

<u>Description</u>	<u>Funding Year</u>	<u>Cost ('89 dollars)</u>
Debt Financing	1989-1999+	\$28.1 million
TOTAL		----- \$28.1 million

North Carlsbad Library Expansion:

<u>Description</u>	<u>Funding Year</u>	<u>Cost ('89 dollars)</u>
Construction	1994-99	\$3.9 million

Build Out Library:

<u>Description</u>	<u>Funding Year</u>	<u>Cost ('89 dollars)</u>
Construction	1999+	\$5.1 million

3. SPECIAL CONDITIONS

No special conditions.

D. WASTEWATER TREATMENT CAPACITY

The following action shall be pursued jointly by each sewer district to ensure adequate wastewater treatment capacity through the year 2000:

1. Monitor Encina treatment plant flows on a monthly basis to determine actual flow rates and to have an early warning of capacity problems.

E. PARKS

1. **INVENTORY**

- a. Existing and Build Out Park Demand:

The projected population for Park District 4 comes from the Zone 12 Local Facilities Management Plan.

<u>Park District 4</u>	<u>Projected Population</u>	<u>Performance Standard Park Demand (Acres)</u>
Existing (1/1/90)	21,110	63.33
Build Out (2013)	42,817	128.45

Of this, the Zone 12 existing and projected build out population and demand is:

<u>Zone 12</u>	<u>Projected Population</u>	<u>Performance Standard Park Demand (Acres)</u>
Existing (1/1/90)	1,455	4.37
Build Out (1992)	4,285	12.86

- b. Inventory of Existing Park Facilities In Park District 4:

The inventory of existing parks listed below was approved on July 17, 1989 by the Parks and Recreation Commission. The locations of these parks are shown in the Zone 12 Local Facilities Management Plans.

<u>Community Parks</u>	<u>Type</u>	<u>Ownership</u>	<u>Acres</u>
La Costa Canyon	Active	City	12.34
Stagecoach	Active	City	<u>28.00</u>
TOTAL			40.34
<u>Special Use Areas</u>	<u>Type</u>	<u>Ownership</u>	<u>Acres</u>
Cadencia	Active	City	2.0
El Fuerte	Active	City	3.6

La Costa Heights Elementary (Levante Elem.)	Active	EUESD	5.4
La Costa Meadows Elementary (Fuerte Elem.)	Active	SMUSD	<u>2.0</u>
TOTAL			13.0

In addition, the adopted 1988 Parks Agreement Supplement between BCE Development and the City of Carlsbad (C.C. Reso. 88-52) guarantees the dedication of 35 acres of parkland and \$2,241,265 for the construction of 19.48 acres of additional parks in Park District 4 within a five year periods. This dedication of land and the guarantee to construct additional acreage will allow park supply to conform with the adopted performance standard. The adopted 1989-90 to Build Out Capital Improvements Plan shows 28 acres of Alga Norte Park scheduled and funded for construction within five years. This acreage is needed prior to January 1, 1993, in order to continue to meet the adopted performance standard. In the event that the yearly monitoring program shows that the adopted performance standard is not being met in 1993 or at any time, residential development in Zone 12 and Park District 4 will be stopped until the City Council takes action to construct additional park facilities. Park District 4 conforms with the adopted performance standard through build out.

<u>Community Parks</u>	<u>Type</u>	<u>Ownership</u>	<u>Acres</u>
Alga Norte	Active	City	<u>28.00</u>
TOTAL EXISTING FACILITIES			81.34

c. Inventory of Projected Future Park Facilities:

An inventory of projected park facilities was approved by the Parks and Recreation Commission on July 17, 1989. The locations of these parks are shown in the Zone 12 Local Facilities Management Plan. The following parks are listed in the inventory but not scheduled within five years in the adopted Capital Improvements Plan:

<u>Community Parks</u>	<u>Type</u>	<u>Ownership</u>	<u>Acres</u>
Macario Park	Active	City	25.00
Alga Norte Park	Active	City	7.00

Carrillo Ranch	Active	City	<u>18.78</u>
TOTAL PROPOSED FUTURE FACILITIES			50.78

d. Projected Build Out Adequacy/Inadequacy of Park Facilities:

81.34 acres of existing park facilities can be applied toward meeting the adopted parks performance standard. The 50.78 acres of projected future park facilities are proposed facilities per the City's adopted Parks Inventory.

Assuming these proposed facilities are scheduled and funded for construction prior to build out, the projected build out adequacy/inadequacy of park facilities in Park District 4 is as follows:

Existing Facilities	81.34
Proposed Future Facilities	<u>50.78</u>
Total Build Out Park Facilities	132.12 acres
Park District 4 Build Out Demand	<u>128.45</u>
Projected Park District 4 Adequacy/Inadequacy	3.67 acres

2. **FINANCING**

The City's approved Capital Improvement Program contains the following funding for park facilities in Park District 4:

<u>Park Project</u>	<u>1990-91</u>	<u>1991-92</u>	<u>1993-99</u>	<u>1999+</u>
Alga Norte (19.48 acres)	\$2,241,265 ⁴			
Alga Norte (15.52 acres)		\$1,000,000		\$ 805,000
<u>Park Project</u>	<u>1990-91</u>	<u>1991-92</u>	<u>1993-99</u>	<u>1999+</u>
Alga Norte Community Center				\$1,500,000

⁴ This cost estimate reflects an increase in the per acre cost to develop park land as well as guarantee that the park will be operational on schedule to meet the performance standard.

Leo Carrillo Park (18.78 acres)	\$2,075,000	\$ 977,500
Macario (25.0 credit)		\$7,000,000

The 19.48 and 15.52 acres of Alga Norte Park and the 10.28 acres of Carrillo can be used to meet the adopted performance standard because they are scheduled within five years in the adopted 1989-90 to Build Out CIP. These improvements will be financed by means of a combination of the existing Parks Agreement and Public Facilities Fees. The Parks agreement was first entered into between the City and BCED in 1982, prior to the initiation of the Growth Management Program. The agreement was amended in 1988 to ensure that Park District 4 would meet the adopted Parks Performance Standard (C.C. Resolution No. 88-52).

As amended, the agreement guarantees the dedication of 35 acres of park land and \$2,241,265 for the construction of 19.48 acres of additional parks in Park District 4 within a five year period from the execution of the Parks Agreement. This dedication of land and the guarantee to construct additional acreage will allow the park supply to conform with the adopted performance standard.

The amended Parks Agreement defines the specific park-in-lieu credits and other, if any, reimbursements to be received by BCE Development. The adopted 1989-90 to Build Out Capital Improvement Program identifies \$317,500 per year, for reimbursement to BCE Development, to begin in 1992-93 and to be paid in full after June 30, 2002.

3. SPECIAL CONDITIONS

The property owners of Zone 12 shall comply with the existing parks agreement between the City of Carlsbad and Fieldstone/La Costa Associates, dated March 3, 1988, and any amendments thereto. Currently, this agreement contains the following provisions:

- a. The secured dedication by Fieldstone/La Costa Associates of 35.0 acres of Alga Norte Park at a location to be determined acceptable to the City, including acceptable access to the park site subject to the approval of the City Engineer.
- b. Provide a letter of credit or some other secured financing acceptable to the City in the amount of \$2,435,000 guaranteeing the construction of 19.48 acres of park land, from a financial institution and upon terms and conditions acceptable to the Finance Director and City Attorney, at the time this agreement is executed.
- c. Provide for the operating expenses for the park.

- d. **The Parks Agreement must be consistent with the requirements of the City's Growth Management Program.**
 - e. **If any reimbursements and/or park-in-lieu fee credits are to be given, the Parks Agreement shall provide a mechanism to do so.**
2. **At any time the parks performance standard is not complied with within Park District 4, no further residential development will be allowed in Park District 4 or Zone 12.**

F. DRAINAGE

See Exhibit 50 on page 110 for Watershed Area boundaries.

SPECIAL CONDITIONS

1. **All future development within Zone 12 shall be required to construct any future Zone 12 storm drain facilities identified in the current Drainage Master Plan and the revised Master Drainage Plan as determined by the City Engineer. Any facilities necessary to accommodate future development must be financially guaranteed prior to the recordation of a final map, issuance of a grading or building permit, whichever occurs first for any development requiring future storm drain facilities in Zone 12.**
2. **Prior to the recordation of the first final map, issuance of a grading permit or building permit, whichever occurs first for any specific development within Zone 12, the developers of that project are required to:**
 - a. **Pay the required drainage area fees established in the current Master Drainage Plan and;**
 - b. **Enter into an agreement to pay any drainage area fees established in the forthcoming revised Master Drainage Plan.**
3. **Prior to the recordation of any final map within Zone 12, a comprehensive hydraulic study shall be completed to the satisfaction of the City Engineer. This study shall include an analysis of the Encinitas Creek drainage basin from Zone 11 all the way to Batiquitos Lagoon. The hydrologic analysis must propose alternate forms of mitigating peak storm runoff flows to include a possible flood attenuation action plan for the entire Encinitas Creek drainage basin. If the subsequent study identifies existing major storm drain facilities**

110

WATERSHED D

OS-4

OS-6

R

OS-5

WATERSHED A

OS-9

S

J

K

WATERSHED C

OS-3

OS-2

OS-7

OS-8

WATERSHED B



Watershed Area Boundaries
ARROYO LA COSTA



EXHIBIT

VI
50

that currently fall below the performance standard, a financing program shall be approved mitigating any deficient facility.

3. WATERSHED A

- a. Prior to the recordation of the first final map, issuance of grading permit or building permit, whichever occurs first, within Watershed A of Zone 12, the developers are required to financially guarantee the design and construction of the following storm drain facilities:
 - i. A 48" storm drain facility carrying water past a proposed road crossing in the north central portion of Zone 12.
 - ii. A 54" storm drain carrying water past a proposed road crossing north of the riparian area in Zone 12.
 - iii. A detention/desiltation facility north of Calle Barcelona in the western portion of the zone.
 - iv. A double barrel 42" storm drain facility carrying water from the detention/desiltation facility to the northeast corner of Calle Barcelona and El Camino Real.
 - v. A double 6 by 5 foot box culvert extension of the existing box culvert which currently carries water to the west side of El Camino Real.
 - vi. A 30" storm drain facility carrying water across Calle Barcelona in the western portion of the zone.
 - vii. A 30" storm drain facility carrying water across Calle Barcelona in central portion of zone.
 - viii. A 30" storm drain facility connecting to the 48" storm drain facility in the north central portion of Zone 12.
 - ix. A 30" storm drain facility in the northwestern portion of Zone 12.

4. WATERSHED B

No special conditions.

5. WATERSHED C

- a. Prior to the recordation of the first final map, issuance of a grading permit or building permit, whichever occurs first within Watershed C of Zone 12, the developers shall financially guarantee the design and construction of the following drainage facilities:
 - i. A proposed 36" storm drain carrying water from Santa Fe Glens through La Costa SW I to Olivenhain Road.
 - ii. A 30" storm drain facility along the alignment of Calle Barcelona carrying water across Rancho Santa Fe Road.

G. CIRCULATION

See Exhibit 51 on page 113 for Circulation Element Roadways.

SPECIAL CONDITIONS

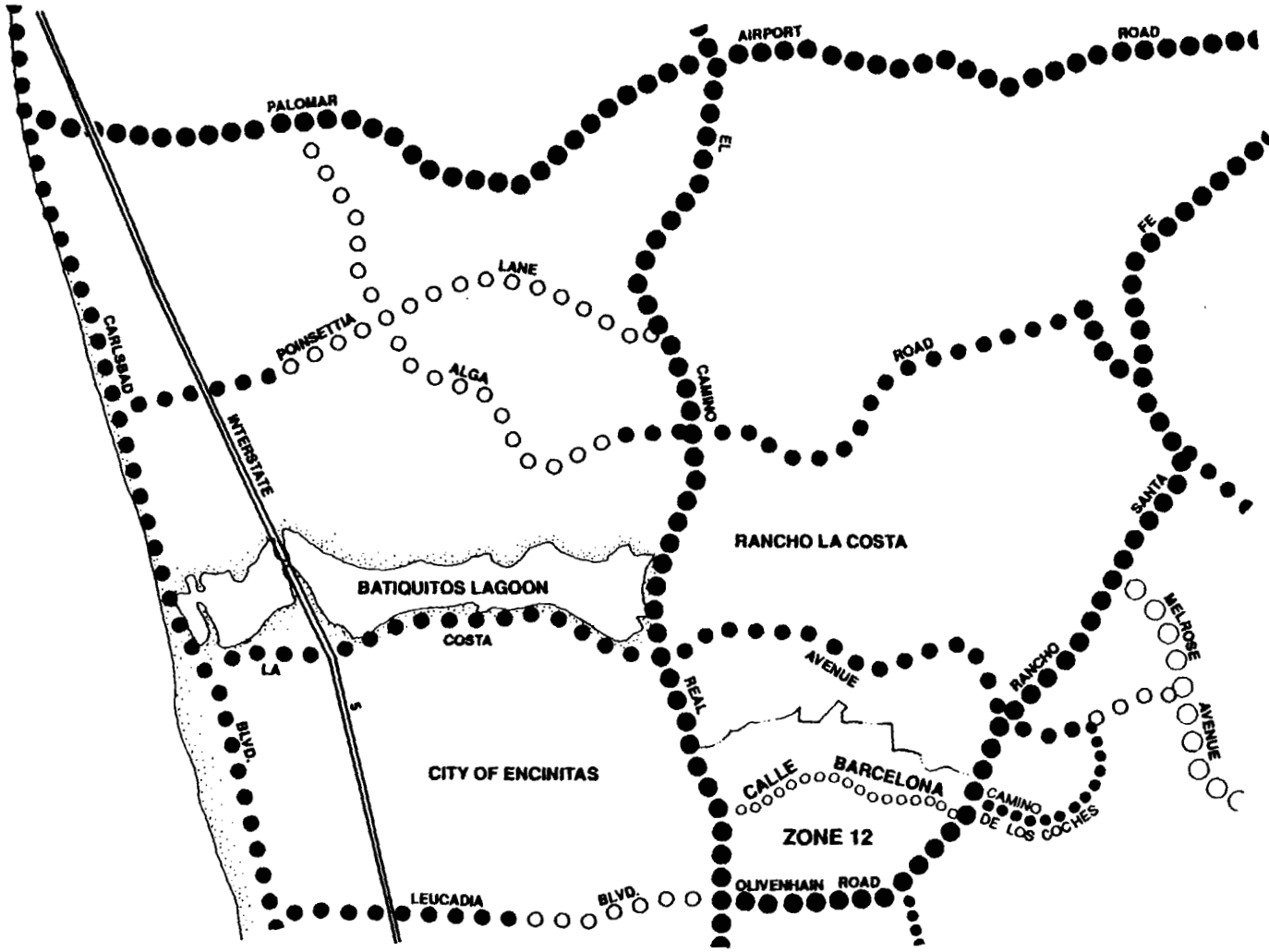
- 1. An on-going monitoring program shall be established to evaluate the aspects of improvements, development, and demand on circulation facilities. The required timing of improvements is based upon the projected demand of development in the zone and the surrounding region. This timing may be modified without amendment to this plan, however, any deletions or additions to the improvements will require amending this local plan.
- 2. Prior to recordation of the first final map, issuance of grading permit or building permit, whichever occurs first, within Zone 12, a comprehensive financing program guaranteeing construction of the following circulation improvements shall be approved:
- 3. Prior to recordation of the first final map, issuance of grading permit or building permit, whichever occurs first, within Zone 12, a comprehensive financing program guaranteeing construction of the following circulation improvements shall be approved:

a. IMPROVEMENTS NEEDED NOW

i. Rancho Santa Fe Road

Three road segments from Melrose Avenue North to La Costa Avenue shall be constructed to include the following improvements:

- a. Complete grading of Rancho Santa Fe Road to ultimate right-of-way width to prime arterial standards;



- LEGEND:**
- PRIME ARTERIAL - EXISTING
 - MAJOR ARTERIAL - EXISTING
 - SECONDARY ARTERIAL - EXISTING
 - ○ ○ ○ ○ PRIME ARTERIAL - PROPOSED
 - ○ ○ ○ MAJOR ARTERIAL - PROPOSED
 - ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ SECONDARY ARTERIAL - PROPOSED



Circulation Element Roadways
ARROYO LA COSTA

EXHIBIT
 VI
 51

- b. Construction of four through lanes, two in each direction including a fully landscaped median;
- c. Intersection signalization as required to meet traffic warrants by the City Engineer.

Completion Date - 1990

ii. Olivenhain Road

Olivenhain Road between El Camino Real and Rancho Santa Fe Road shall be constructed to include the following:

- a. Complete grading for four lane interim improvement;
- b. Construction of interim four lanes;
- c. Intersection improvements at El Camino Real/Olivenhain intersection.

Completion Date - 1990

b. IMPROVEMENTS NEEDED BY 1991

i. El Camino Real/Calle Barcelona

Improvements to the intersection of El Camino Real and Calle Barcelona.

Completion Date - 1991

c. IMPROVEMENTS NEEDED BY 1993

i. La Costa Avenue

La Costa Avenue between El Camino Real and I-5 northbound on-ramps shall be constructed to include the following:

- a. Complete grading to ultimate right-of-way width to major arterial standards;
- b. Construction of one additional through travel lane in each direction;

Completion Date - 1993

d. **IMPROVEMENTS NEEDED BY 1995**

i. **Rancho Santa Fe Road**

Rancho Santa Fe Road from Melrose Avenue North to Camino de los Coches shall be constructed to include the following:

- a. Complete grading to ultimate right-of-way width to prime arterial standards;
- b. Construction of four through travel lanes, two in each direction to include intersection improvements including a fully landscaped meeting;

Completion Date - 1995

ii. **Olivenhain Road**

Olivenhain Road from El Camino Real to Rancho Santa Fe Road shall be constructed to include the following:

- a. Construction of six through travel lanes, three in each direction to full prime arterial standards;
- b. Improvement of the Olivenhain Road intersections with El Camino Real and Rancho Santa Fe Road.

Completion Date - 1995

iii. **Calle Barcelona**

Calle Barcelona from El Camino Real to Rancho Santa Fe Road shall be constructed to include the following:

- a. Complete grading to ultimate right-of-way width;
- b. Construction of two through travel lanes in each direction;

This requirement is needed concurrent Phase II of the Arroyo La Costa project in Zone 12. For purposes of this analysis, it is assumed to in place prior to 1994 (Zone 12 Build Out).

Completion Date - 1995

iv. El Camino Real/La Costa Avenue

Improvement of the intersection of El Camino Real and La Costa Avenue.

Completion Date - 1995

e. IMPROVEMENTS NEEDED BY 2000

No improvements necessary.

f. IMPROVEMENTS NEEDED BY BUILD OUT

i. El Camino Real

El Camino Real between La Costa Avenue and Olivenhain Road shall be constructed to include the following:

- a. Complete grading to ultimate right-of-way width to prime arterial standards;
- b. Construction of six through travel lanes, three in each direction, to full prime arterial standards;
- c. Improvements of the intersections of El Camino Real and La Costa Avenue, Levante Street, and Calle Barcelona.

Completion Date - Build Out

ii. Rancho Santa Fe Road Intersections

Improvements to the intersections of Rancho Santa Fe Road and Melrose Avenue North, Questhaven Road, Melrose South, La Costa Avenue, and Calle Barcelona.

Completion Date - Build Out

H. FIRE

1. INVENTORY

At the present time, Fire Station No. 2 and Temporary Station No. 6 serve Zones 6, 11, and 12 within the southeast area of Carlsbad. Zone 10 is currently served by Fire Stations 2 and 5, however, future development in Zone 10 will be entirely within the five minute response time of Fire Station No. 2. Zones 17 and 18 are not included in this analysis since they are served by Fire Station No.5. Fire Station No. 2 is located at 1906 Arenal Road. Temporary Fire Station No. 6 is located at 3131 Levante Street.

The City of Carlsbad originally purchased the current Fire Station No. 6 site with the intent of constructing a permanent fire station. Since that time, it has been determined that Rancho Santa Fe Road will be realigned to the east. With this realignment, a suitable land transfer must take place to provide the City with a permanent location for Fire Station No. 6.

The City of Carlsbad has entered into an agreement with BCE Development which provided for construction of temporary facilities. The 1989-90 to Build Out Capital Improvements Program shows \$550,000 appropriated for the design and construction of temporary Fire Station No. 6 as a part of the agreement. In addition, this agreement provides for relocation of Fire Station No. 6 to the future Rancho Santa Fe Road alignment.

Fire Stations No. 2 and 6 will continue to provide fire support to Zone 12 until build out. The City of Carlsbad and BCE Development have entered into an agreement which guarantees funding for the relocation of Fire station No. 6 to the permanent location prior to build out.

2. SPECIAL CONDITIONS

No special conditions.

I. OPEN SPACE

SPECIAL CONDITIONS

1. All future development within this zone shall be required to show how it contributes to meeting the open space performance standard and that the development does not preclude the provision of performance standard open space at build out of Zone 12.
2. Open space compliance will be monitored annually and as individual projects are reviewed within this zone.

3. Prior to the approval of any development within this zone, the Planning Director shall be required to find that the development does not preclude the provision of performance standard open space at build out of Zone 12.

J. SCHOOLS

1. INVENTORY

Two General Plan School sites are designated within the Arroyo La Costa Master Plan. Although these sites are not listed as requirements within the Special Conditions for the Zone 12 Local Facilities Management Plan, they are provided to meet the requirements of the Carlsbad General Plan, the Encinitas Union Elementary School District, and the San Dieguito High School District.

This Master Plan provides two school sites as follows:

1. A 13.3 gross acre Elementary School site, and
2. A 27.4 gross acre Junior High School site.

These sites have been approved by both districts as satisfying the requirements for the Arroyo La Costa Master Plan.

2. SPECIAL CONDITIONS

No special conditions.

K. SEWER DISTRICT

SPECIAL CONDITIONS

1. All development within Zone 12 shall pay the required sewer connection fee to the Leucadia County Water District.

2. Sewer Basin A

The following Special Conditions shall apply to Villages E, F, G, H, I, J, K, L, N, O, P, and Q:

- a. Prior to the recordation of the first final map, issuance of a grading permit or building permit, whichever occurs first, for any development in Sewer Basin A, a financing mechanism guaranteeing the construction of the following sewer facilities shall be provided to the satisfaction of the Leucadia County Water District:

- i. the proposed 10-inch sewer line within Calle Barcelona must be installed;
 - ii. The improvements recommended by the LCWD Planning Study will continue to be made by LCWD to maintain conformance with the adopted performance standard;
3. **Sewer Basin B**

The following Special Conditions shall apply to Villages B, C, D, M, I, E and F:

- a. Prior to the recordation of the first final map, issuance of a grading permit or building permit, whichever occurs first, for any development in Sewer Basin B, a financing mechanism guaranteeing the construction of the following sewer facilities shall be provided to the satisfaction of the Leucadia County Water District:
 - i. The improvements recommended by the LCWD Planning Study will continue to be made by the LCWD to maintain conformance with the adopted performance standard.

L. WATER DISTRICT

SPECIAL CONDITIONS

1. **Water Service Area A**

The following Special Conditions shall apply to Villages D, E, and M:

- a. Water facilities shall be provided at the time of development to the satisfaction of OMWD. The water district may require improvements outside of Water Service Boundaries if deemed necessary to serve development.
- b. All development within Water Service Area A shall pay the appropriate water fees established by OMWD.

2. **Water Service Area B**

The following Special Conditions shall apply to Villages B,C,E, I, J, K, L, M, N, O, P and Q:

- a. Water Facilities shall be provided concurrent with development to the satisfaction of OMWD. A portion of the existing 12" water line in Calle

Barcelona shall be removed and an extension/connection made to the 12" main in the new alignment of Calle Barcelona as well as its extension and connection to the 16" main in El Camino Real and the 12 inch line in Rancho Santa Fe Road, as required by OMWD.

- b. All development within Water Service Area B shall pay the appropriate water fees established by OMWD.

3. Water Service Area C

The following Special Conditions shall apply to Villages E, F, G, H, Q, and P:

- a. Water Facilities shall be provided concurrent with development to the satisfaction of OMWD.
- b. The existing 14" water line in the northwesterly portion on Zone 12 shall be removed and replaced with a 16" water line in Levante Street/Anillo Way with a connection at the La Costa pressure reducing station and at the 16" main in El Camino Real.
- c. All development within Water Service Area C shall pay the appropriate fees established by the OMWD.

M. FINANCING

The following Exhibits 52 through 57 on pages 121 through 126, summarize facility financing for Zone 12 public facilities as shown in the Zone 12 Local Facilities Management Plan. These matrices summarize the individual facility to be financed, its estimated cost and timing of construction the existing budgeted Carlsbad Capital Improvements Plan monies available for the facility and the future funding options.

EXHIBIT 52 - ZONE 12 - CITYWIDE FACILITY FINANCING AS OF 1/1/90.

CITY ADMINISTRATION	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
1. Las Palmas Debt Service	22,627 sf	\$2,000,000	1989-99	City - PFF			PFF=Public Facility Fees S=Sewer Funds
2. Safety Center Phase II	62,000 sf	\$3,955,000	1992-93	City - PFF/S			
3. New City Hall	NA	\$23,100,000	1999+	City - PFF			
TOTAL CITY ADMINISTRATION COSTS		\$29,055,000					
1989-'90 CIP Budget: 1992-'93 \$3,455,000 (PFF); \$500,000 (S) for Safety Center Phase II. 1999+ \$23,100,000 for New City Hall.				Balance Forward:		\$128,650 (Safety Center Phase II). \$148,071 (Las Palmas Purchase).	

LIBRARY FACILITIES	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
1. Library Remodel	8000 sf	\$3,948,000	1994-99	City - PFF			
2. Library - For Build Out Population	15,331 sf	\$5,060,000	1999+	City - PFF			
3. Library - South Carlsbad	64,000 sf	\$30,782,000	1989-2009	City - PFF			
TOTAL LIBRARY COSTS		\$39,790,000					
1988-'89 CIP Balance Forward: \$2,669,432 (South Carlsbad Library Site)							

WASTEWATER FACILITIES	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
			FIRST	SECOND	THIRD	
1. Encina Outfall Upgrade	\$4,600,000	1994-1999	Sewer Fees			
3. Encina Phase IV Expansion	\$13,983,000	1989-1999+	Sewer Fees			
4. Solids Management Program	\$12,800,000	1989-1999+	Sewer Fees			
TOTAL WASTEWATER COSTS		\$31,383,000				

EXHIBIT 53 - ZONE 12 - PARKS FINANCING AS OF 1/1/90.

FACILITY	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
PARK FACILITIES - PARK DISTRICT 4							
1. LAND ACQUISITION							
-Alga Norte Park	35.0 ac	\$5,168,000	1989	Developer Dedicates w/ Future PIL Fee Credit/Reimbursement			PIL - Park-in- Lieu (1)
2. CONSTRUCTION							
-Alga Norte Park	15.52 ac	\$1,000,000 \$805,000	1991 1999	City - PFF City - PFF			
	19.48 ac	\$2,241,265	1990	Developer w/ future reimbursement			
-Alga Norte Community Center	NA	\$1,500,000	1999+	City - PFF			
-Leo Carrillo Park	10.28 ac	\$2,075,000	1993-99	City - PFF			
	8.52 ac	\$977,500	1999+	City - PFF			
-Macario	25 ac	\$7,000,000	1999+	City - PFF			
TOTAL PARKS COSTS		\$20,766,765					
CIP Budget: 90'-91' \$2,241,265 (Alga Norte) 1994-'99 \$1,870,000 (Carrillo) 91'-92' \$1,000,000 (Alga Norte) 1999+ \$7,000,000 (Macario); \$805,000 (Alga Norte) 93'-94' \$205,000 (Carrillo) Balance Forward \$25,000 (Macario)							
Notes: (1) All credits and future reimbursements are part of the revised Parks agreement with the La Costa Ranch Co.							

EXHIBIT 54 - ZONE 12 - DRAINAGE FACILITY FINANCING AS OF 1/1/90.

FACILITY	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
DRAINAGE FACILITIES							
WATERSHED A:							
2. 48" Storm Drain -inlet/outlet	230 LF 1 ea.	\$34,500 \$19,500	Concurrent w/ Development	Developers of Watershed A			LF - Lineal Feet
3. 54" Storm Drain -inlet/outlet	100 LF 1 ea.	\$17,000 \$22,000	Concurrent w/ Development	Developers of Watershed A			
4. Detention/Desiltation Basin	1 ea.	\$220,000	Concurrent w/ Development	Developers of Watershed A			
5. Double Barrel 42" Storm Drain -inlet/outlet	170 LF 2 ea.	\$37,400 \$40,000	Concurrent w/ Development	Developers of Watershed A			
6. Double 6 x 5' box culvert -inlet only	170 LF 1 ea.	\$181,900 \$21,500	Concurrent w/ Development	Developers of Watershed A			
7. 30" Storm Drain (western zone)	180 LF	\$18,000	Concurrent w/ Development	Developers of Watershed A			
8. 30" Storm Drain (central zone)	740 LF	\$17,400	"	"			
9. 30" Storm Drain (n. central)	1,430 LF	\$143,000	"	"			
10. 30" Storm Drain (n.w. zone)	200 LF	\$20,000	"	"			
WATERSHED C:							
12. 36" Storm Drain	1,000 LF	\$120,000	Concurrent w/ Development	Developers of Watershed C	Drainage Fee (1)		
13. 30" Storm Drain (eastern zone)	580 LF	\$58,000					
	SUBTOTAL	\$970,200					
	10% Contingency	\$97,020					
	TOTAL DRAINAGE FACILITY COSTS	\$1,067,220					

EXHIBIT 55 - ZONE 12 - CIRCULATION FINANCING MATRIX AS OF 1/1/90

FACILITY	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
CIRCULATION FACILITIES							
1. IMPROVEMENTS NEEDED NOW							
-Rancho Santa Fe Rd. fr/Melrose Ave. north to La Costa Ave.	4 Lanes	\$12,000,000	1990	Developer	Mello Roos		(1)-Included in cost estimates fo Calle Barcelona, 1995.
-Olivenhain Rd fr/El Camino Real to Rancho Santa Fe	4 Lanes	\$1,500,000	1990	Developer	Mello Roos		
2. IMPROVEMENTS NEEDED BY 1991							
-El Camino Real/ Calle Barcelona intersection	Full	(1)					(2)-Included in cost estimates fo La Costa Ave.,199
3. IMPROVEMENTS NEEDED BY 1993							
-La Costa Ave. fr/El Camino Real to I-5 Northbound On Ramps	Full	\$5,000,000	1990	Developer	Mello Roos		(3)-Included in cost estimates fo Rancho Santa Fe R 1995.
4. IMPROVEMENTS NEEDED BY 1995							
-Rancho Santa Fe Rd. fr/ Melrose Ave. North to Camino De Los Coches	Full	\$42,000,000	1995	Developer	Mello Roos		
-Olivenhain Rd fr/ El Camino Real to Rancho Santa Fe Rd	Full	\$8,700,000					
-Calle Barcelona fr/ El Camino Real to Rancho Santa Fe Rd.	Full	\$5,600,000	1995	Developer			
-El Camino Real/ La Costa Ave intersection	Full	(2)					
5. IMPROVEMENTS NEEDED BY BUILD OUT							
-El Camino Real fr/ La Costa Ave to Olivenhain Rd	Full	\$3,700,000	Build Out	Developer	Mello Roos		
-Rancho Santa Fe Rd. intersections	Full	(3)					
TOTAL CIRCULATION COSTS		\$78,500,000					

EXHIBIT 56 - ZONE 12 - FIRE AND SCHOOLS FINANCING AS OF 1/1/90.

FACILITY	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
FIRE FACILITIES							
1. Fire Station No. 6							
-Construction and Equipment		\$550,000	1988-89	City PFF w/ Developer Reimbursement for Relocation			(1)
TOTAL FIRE COSTS		\$550,000					
CIP Budget: 1988-'89 Appropriated \$550,000 (Fire Station No. 6 and Apparatus) - SOURCE: PFF Notes: (1) Details of financing agreement in 1988 Fire Station Agreement.							

FACILITY	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
SCHOOL FACILITIES							
1. ENCINITAS							
-Mission Estancia Elementary		\$3,500,000	1990	State	School Fees		
-Elem. No. 3		\$3,500,000	1998+	State	School Fees		
2. SAN DIEGUITO							
-High School		\$35,000,000	1989-92	State	North City West School Facilities Authority	School Fees	
-Jr. High		Not Available		State	School Fees		
TOTAL SCHOOL COSTS		\$42,000,000					

EXHIBIT 57 - ZONE 12 - SEWER AND WATER FINANCING AS OF 1/1/90.

FACILITY	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
SEWER FACILITIES							
1. PHASE A:							
-10" Sewer Main	720 LF	\$27,100	Concurrent w/ Development	Developer			LF=Lineal Feet
	SUBTOTAL	\$27,100					
	10% Contingency	\$2,710					
	TOTAL SEWER COSTS	\$29,810					

FACILITY	AMOUNT	ESTIMATED COST	TIMING	FUNDING OPTIONS			NOTES
				FIRST	SECOND	THIRD	
WATER FACILITIES							
1. PHASE B:							
-12" Pipe Main	6,900 LF	\$230,450	W/ Development	Developer			
-Loop exist. 12" Pipe Main		\$25,550	W/ Development	Developer			
2. PHASE C:							
-16" Pipe Main	3,780 LF	\$215,600	W/ Development	Developer			
-Remove exist. 12" Pipe Main		\$44,400	W/ Development	Developer			
-10" tie from 18" to 16"	1,360 LF	\$40,080	W/ Development	Developer			
	SUBTOTAL	\$556,080					
	10% Contingency	\$55,608					
	TOTAL WATER COSTS	\$611,688					

VII. VILLAGE AND OPEN SPACE AREAS DEVELOPMENT STANDARDS

A. INTRODUCTION

The Arroyo La Costa Master Plan has been divided into 19 Villages and 9 Open Space Areas. All but three of the Villages will be developed with detached single family residences. Villages R & S will be developed with an elementary school and a junior high school respectively. Village J will be developed as a church site.

No residential development will occur in any of the Open Space areas. All Open Space areas except OS-8 and OS-9 will be left in their natural state with only a trail system. Open Space Area OS-8 is the location designated for recreational vehicle storage. Open Space Area OS-9 will contain the common recreation building and daycare center. Each Village and Open Space Area subsection of this chapter will contain exhibits and special design criteria applicable to that particular Village or Open Space Area.

Village A consists of the previously developed Santa Fe Ridge project. This project was developed under the original La Costa Master Plan. In the Zone 12 Local Facilities Management Plan this area is subdivided in two areas for purposes of identifying the two types of General Plan Land Use designations on the project. In this Master Plan the Santa Fe Ridge project is simply designated as Village A. The provisions and requirements of the Arroyo La Costa Master Plan do not apply to this village. It is only included in the Master Plan because it was a part of the original La Costa Master Plan.

Open Space Area OS-1 consists of the open space area that is associated with the previously approved Santa Fe Ridge project.

B. COMMON VILLAGE DEVELOPMENT STANDARDS

All residential villages within the Arroyo La Costa Master Plan shall comply with the following common development standards and design criteria.

1. PERMITTED USES

Single family detached dwellings, accessory structures and associated recreation areas.

2. DWELLING LOT COVERAGE

A maximum of 50% dwelling unit coverage of the net lot square footage shall be permitted.

3. SETBACKS

a. Front

20 feet from property line

b. Street sideyard

10 feet from property line

c. Side/Rear

All units shall comply with section 21.45.090 of the Carlsbad Municipal Code (Development Standards section of the Planned Development Ordinance). In addition, all units shall comply with the City of Carlsbad's Architectural Guidelines for small lot single family detached units. An increased rear yard or enhanced rear elevations shall be required for slopes which can be viewed from Rancho Santa Fe Road, Olivenhain Road, and Calle Barcelona. Patios and accessory structures for lots located along these roadways shall be setback a minimum of five feet from top of slope.

4. PROJECTIONS

Fireplace structures, cornices, eaves, belt courses, sills, buttresses, and other similar architectural features projecting from a building may intrude up to two feet into the required distance between buildings.

5. ARCHITECTURAL REVIEW BOARD

Prior to approval of the first final map, the applicant shall establish the Arroyo La Costa Architectural Review Board. The Architectural Review Board shall be responsible for the review and approval of all room additions, patio covers, decks, patios and other structures requiring a building permit.

6. ROOM ADDITIONS

All proposed room additions, porch covers, patios, decks and other construction requiring building permit from the City of Carlsbad shall be approved by the Arroyo La Costa Architectural Review Board. No plans will be reviewed by the City unless the approval of the Arroyo La Costa Architectural Review Board is first obtained. All room additions and porch covers shall comply with the setback and lot coverage requirements established in this chapter.

7. ACCESSORY STRUCTURES

Patios and accessory structures not exceeding six feet in height (including peaked roof) within rear yards shall be allowed up to five feet from the rear property line.

8. HEIGHT

The maximum height in the Arroyo La Costa Master Plan shall not exceed 35 feet as defined by Section 21.04.065 of the Carlsbad Municipal Code.

9. NEIGHBORHOOD IDENTITY

a. Monuments

Each village shall provide entry monuments and other signs at the locations shown in the individual village Design Criteria Exhibits. These monuments shall meet the specifications of the Community Development Standards section of this Master Plan.

b. Walls and Fences

Community theme wall, village wall and fencing, and project fencing shall be provided at locations shown in the individual village wall/fence exhibits. These walls and fences shall be per the specifications shown in the Community Development Standards section of this Master Plan.

10. LANDSCAPE

All community-wide landscape standards described in the Community Development Standards section shall be incorporated into each planning area. The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscape

areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes may vary subject to the approval of the individual village associations within the Arroyo La Costa Master Plan.

11. COMPATIBILITY

The average lot size of all lots along the northern and southern perimeter of the Arroyo La Costa Master Plan shall be equal to or greater than the average lot size of the lots in the existing adjacent neighborhoods.

C. VILLAGES

Village A

Village A consists of the existing 170 single family homes that make up the portion of the Santa Fe Ridge project which lies within the boundaries of the Arroyo La Costa Master Plan. This project is located west of the Ponderosa project, north of Rancho Santa Fe Road and south of the future alignment of Calle Barcelona. None of the standards or requirements of the Arroyo La Costa Master Plan are applicable to this project.

As mentioned previously in this Master Plan, the Santa Fe Ridge Project is only included in the Master Plan because it is a part of the southwest portion of the original La Costa Master Plan.

Village B

1. Description

Village B is located immediately south of Calle Barcelona, west of Rancho Santa Fe Road and east of the existing Santa Fe Ridge development. Village B has a gross acreage of 37.39 acres and a net developable acreage of 34.34 acres. The existing topography slopes down toward Rancho Santa Fe Road and provides back country views to the south and east. An open space area separates this Village from the existing Santa Fe Ridge project.

2. Use Allocation

General Plan Land Use RLM (0-4 DU/acre).
Arroyo La Costa Master Plan allows 100 units.

3. Lot Size: Minimum - 6,000 square feet.

4. Pad Size: Minimum - 6,000 square feet.

5. **Special Design Criteria**

All community-wide design standards described in the Community Development Standards shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Special attention shall be given to incorporating the adjacent open space area as an amenity to the project.
- Special attention shall be given to the rear elevations of the units backing on Rancho Santa Fe Road to assure the rear elevations of the homes are as attractive as the front.
- Sound walls shall be used to mitigate noise along Calle Barcelona and Rancho Santa Fe Road.
- Although architectural style does not need to be of an identical style with Santa Fe Ridge, it shall be compatible.
- The slopes along Rancho Santa Fe Road shall be undulated to simulate natural topography.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Calle Barcelona and Rancho Santa Fe Road.
- Units shall be designed to take advantage of back country views to the south and southwest.
- All residences shall be setback a minimum of 30 feet from the edge of the Calle Barcelona right-of-way and 50 feet from the edge of the Rancho Santa Fe right-of-way.

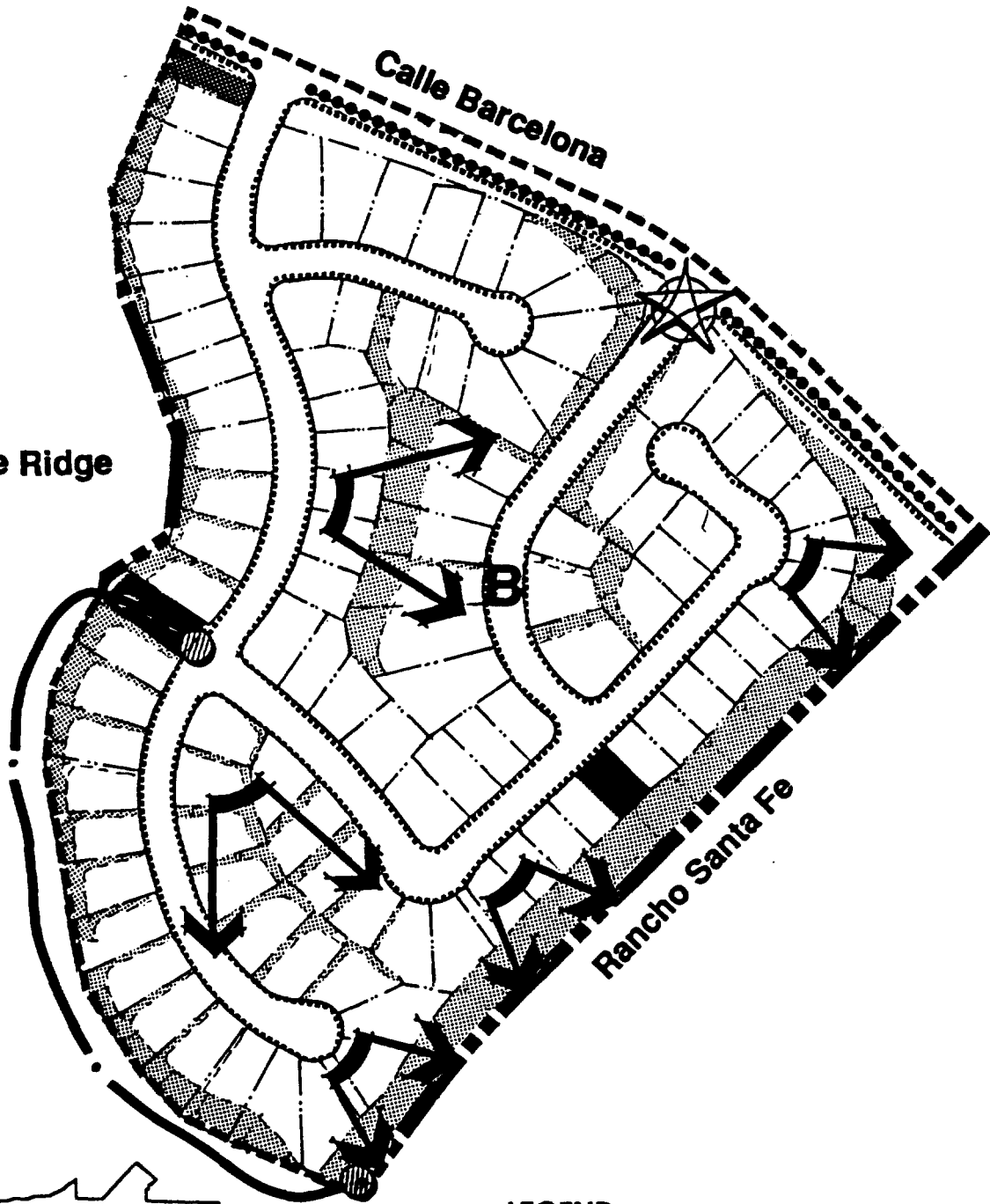
6. **Open Space/Trails**

A connection between Village B and the adjacent open space area (OS-2) will be made via an open space lot to be landscaped, including trail, per the requirements of the Open Space Chapter of this Master Plan. This trail shall be designed, to the extent possible, to preclude views from the trail into the rear yards of adjacent residences. In addition, a bike/pedestrian trail shall be constructed along Calle Barcelona.

7. **Architectural Style**

The architectural style shall be Traditional Monterey. This style is typified by stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. In addition, covered balconies, window and door lintels, recessed windows, wood shutters, potshelves, and exposed beams contribute to this style. Typical colors are soft earthtones and white on stucco and wood surfaces. The exact style may be modified subject to the requirements of Development Review Process Chapter of this Master Plan.

Santa Fe Ridge



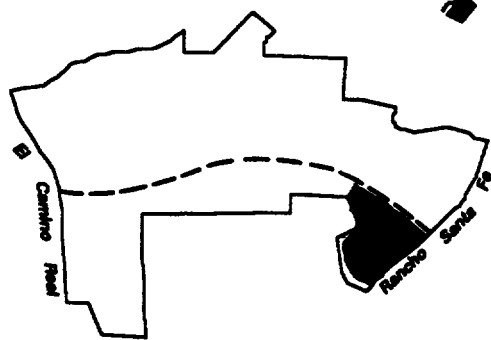
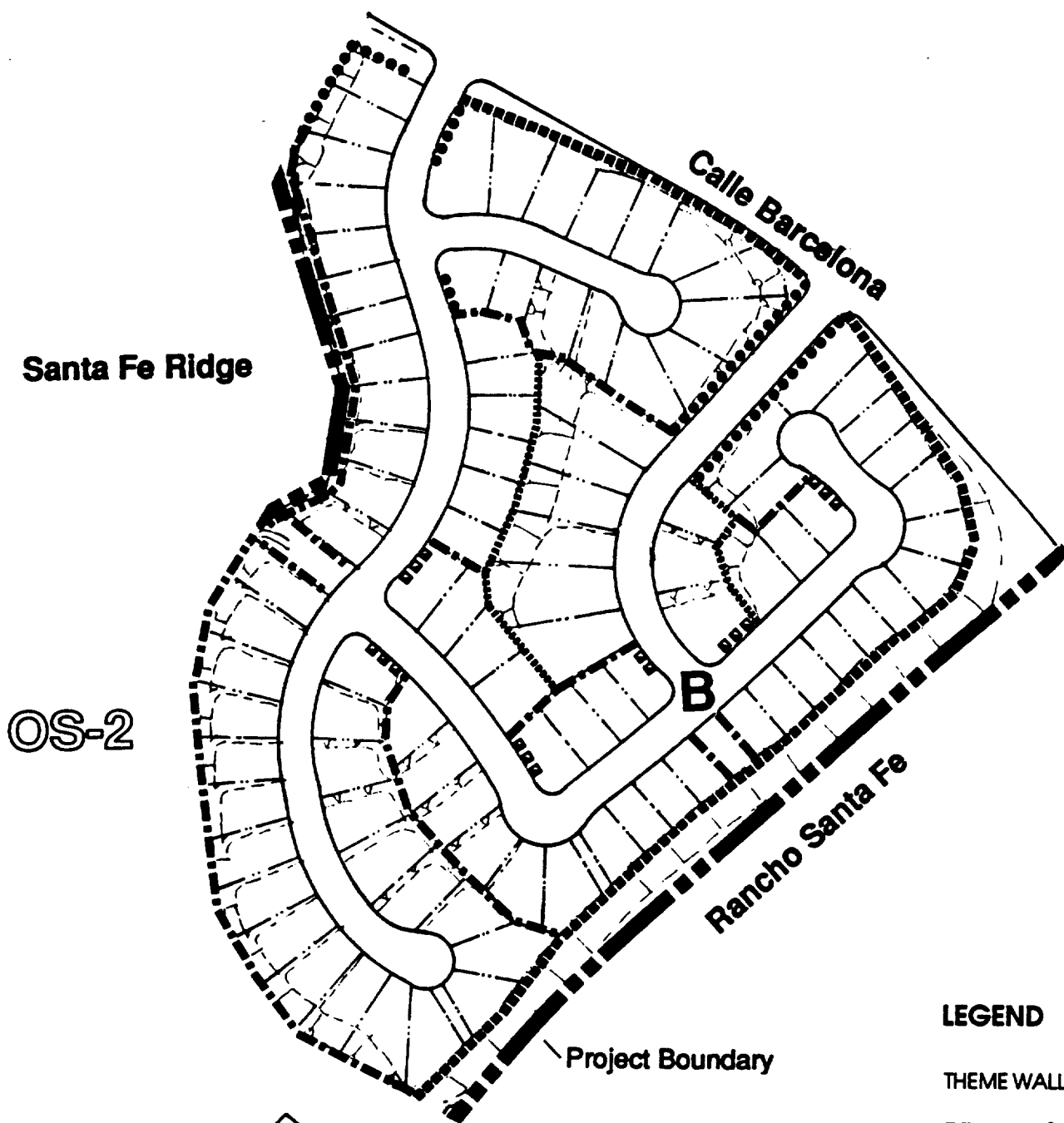
LEGEND

- Village Entry
- Trailhead
- Trail
- Bikeway
- Views
- Concrete Sidewalk
- Open Space Lots
- Refined Slopes
- Project Boundary
- Village Boundary



VILLAGE B
Design Criteria





LEGEND

THEME WALL

■■■■■■ Solid / View

VILLAGE WALL

●●●●● Solid

PROJECT FENCING

□□□□ Village

■■■■ Standard

■■■■■■ Open



Village B
Wall / Fence Location



EXHIBIT
VII
59

Village C

1. Description

Village C is located immediately north of Calle Barcelona, west of Rancho Santa Fe Road and south of Levante Street. Village C has a gross area of 13.52 acres and a net developable area of 12.92 acres. A small riparian area exists along the northern edge of Village C. The topography of the site slopes down towards Rancho Santa Fe Road, providing back country views to the south and east.

2. Description

General Plan Land Use RM (4-8 du/ac).
Arroyo La Costa Master Plan allows 51 units.

3. Lot Size: Minimum 6000 square feet.

4. Pad Size: Minimum 6000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Special attention shall be given to incorporating the adjacent open space area as an amenity to the project. If a Rancho Santa Fe Road pedestrian overpass is constructed in the future, a directional sign indicating the pedestrian overpass shall be provided at the intersection of the local collector street which provides access to Village C and Calle Barcelona. This sign shall meet the specifications for set forth in the Community Development Standards section of this Master Plan.
- The slopes along Rancho Santa Fe Road shall be undulated to simulate natural topography.
- Special attention shall be given to the rear elevations of all units backing onto Rancho Santa Fe Road and Calle Barcelona to ensure that the rear elevations are as attractive as the front of the homes.
- Site planning and structural elevations shall be coordinated to ensure preservation of back country views to the east.

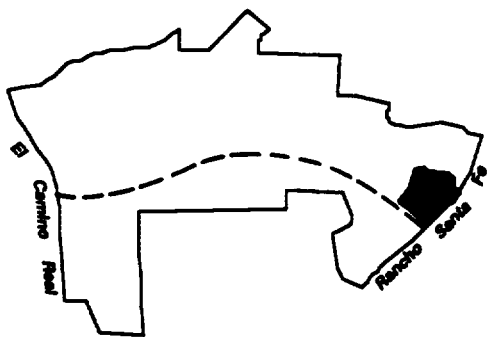
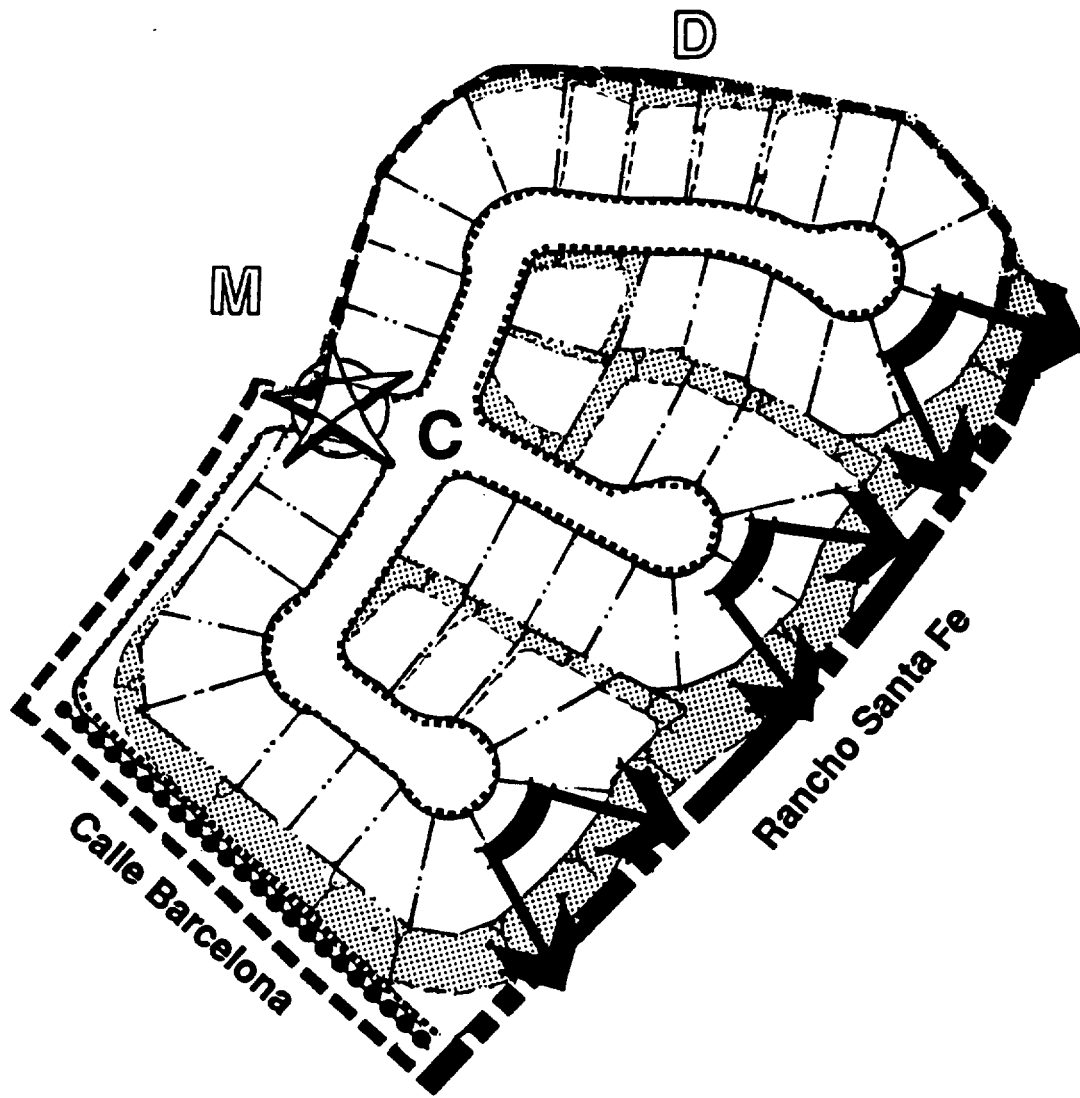
- Sound walls shall be used to mitigate noise along Calle Barcelona and Rancho Santa Fe Road.
- All residences shall be setback a minimum of 30 feet from the edge of the Calle Barcelona Right-of-Way and 50 feet from the edge of the Rancho Santa Fe Right-of-Way.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Calle Barcelona and Rancho Santa Fe Road.

6. Open Space/Trails








A pedestrian/bike trail shall be constructed along the local collector street which provides access to Village C and along Calle Barcelona. The trail shall be maintained by the community open space maintenance district. This trail shall be designed, to the extent possible, to preclude views from the trail into the rear yards of adjacent residences. This trail will link with the trail in Open Space Area OS-3 to the north of this village.

7. Architectural Style

The architectural style shall be Traditional Monterey. This style is typified by the use of stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. The use of other elements such as covered balconies, window and door lintels, recessed windows, wood shutters, potshelves and exposed beams also contribute to the integrity of this style. Typical colors are soft earthtones and white on wood and stucco elements. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.



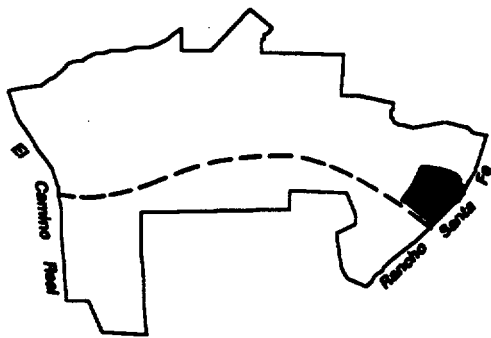
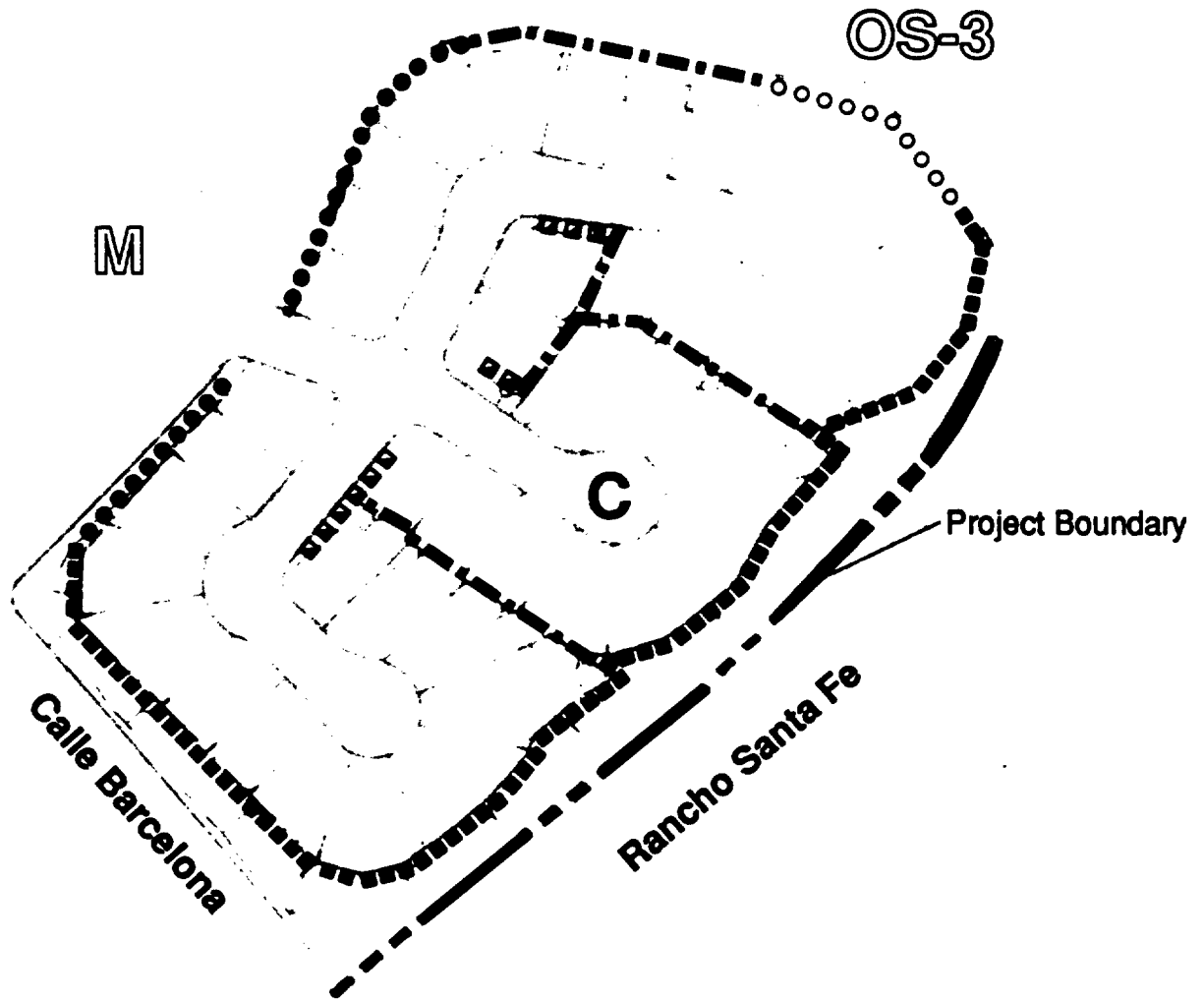
LEGEND

-  Village Entry
-  Bikeway
-  Views
-  Concrete Sidewalk
-  Refined Slopes
-  Project Boundary
-  Village Boundary



VILLAGE C
Design Criteria





LEGEND

THEME WALL

■■■■■■ Solid / Views

VILLAGEWALL

●●●●● Solid
 ○○○○○ Open

PROJECT FENCING

■■■■■ Village
 ■■■■■ Standard



Village C
 Wall / Fence Location



Village D

1. Description

Village D is located north of Calle Barcelona, west of Rancho Santa Fe Road and immediately south of Levante St. Village D has a gross area of 19.96 acres and a net developable area of 18.36 acres. This village borders against existing single family development to the north. A 40 foot wide open space easement exists along the northern boundary of the Village, adjacent to the existing development. To the south, is a small riparian area. Much of the existing vegetation in this Village has been heavily disturbed. This area is relatively level, however there may be opportunities for internal views and back country views from a small portion of the lots.

2. Use Allocation

General Plan Land use RLM (0-4 DU/acre).
Arroyo La Costa Master Plan allows 63 units.

3. Lot Size: Minimum - 7,000 square feet.

4. Pad Area: Minimum - 7,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Site planning and structural elevations shall be coordinated to ensure preservation of back country views to the south and east.
- Site planning for all lots adjacent to OS-3 shall be designed to incorporate views into the open space/willows (OS-3) adjacent to this village.
- Sound walls shall be used to mitigate noise along Rancho Santa Fe Road.
- All residences shall be setback a minimum of 50 feet from the edge of the Rancho Santa Fe Right-of-Way.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Rancho Santa Fe Road.

All units located along the northern boundary of this village shall maintain a fifteen foot setback from the existing forty foot open space easement. This will create a fifty-five foot deep rear yard. This rear yard can be divided into two zones referred to as Zones as shown on Exhibit 64 on page 143:

- a. Zone 1 is defined as the 15' setback from the open space easement. Allowed uses in Zone 1 include:
 - i. Room additions
 - ii. Patio covers
 - iii. Accessory Structures
 - iv. Pools and Spas
 - v. Barbecues and other recreational related facilities.

- b. Zone 2 is defined as the 40' open space easement. No structure over six feet in height as measured from existing grade shall be permitted. Allowed uses in Zone 2 include:
 - i. Accessory structures equal to or less than 6' in height.
 - ii. In-ground pools and spas
 - iii. Barbecue and other recreational related facilities equal to or less than 6' in height.

This shall be recorded as a deed restriction for affected properties.

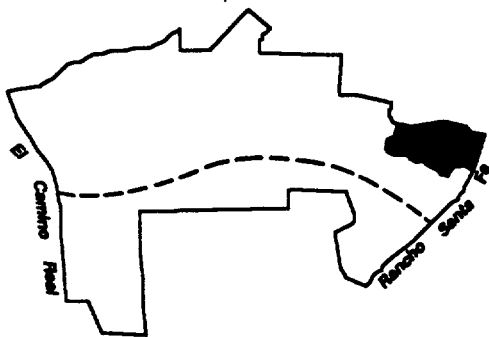
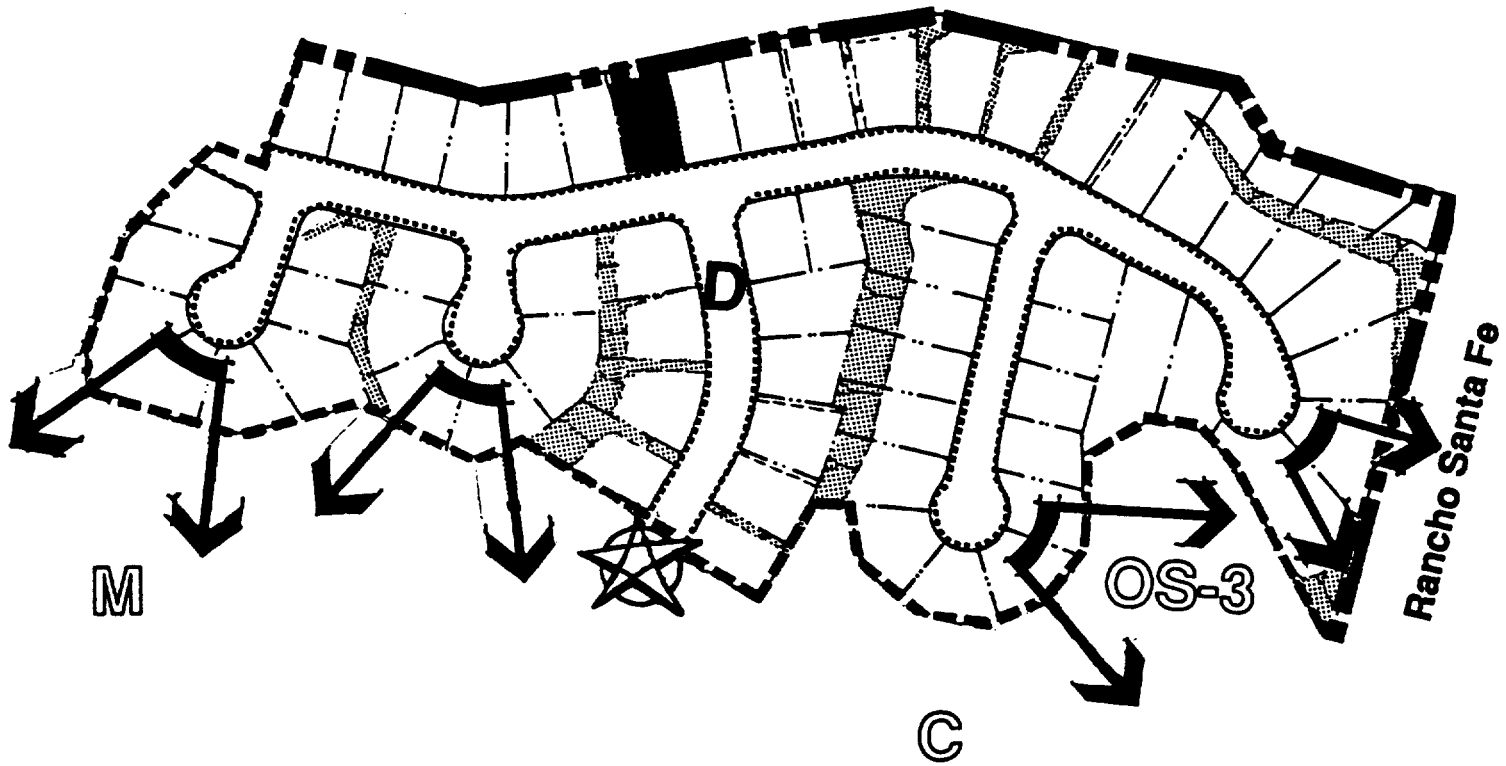
6. Open Space/Trails

Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie in to the bike/pedestrian trail in the adjacent open space area.








7. Architectural Style

The architectural style shall be Traditional Estate. This style is typified by the use of brick and siding, hipped roofs, and flat tile. Other elements are windows in garage doors, brick and wood columns, painted shutters, and the use of entry wall and gates. The exact style may be modified subject to the requirements of Development Review Process Chapter of this Master Plan.

Santa Fe Glens



LEGEND

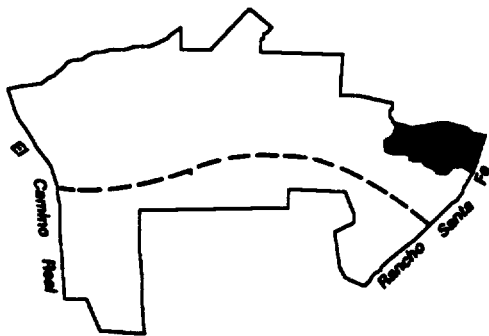
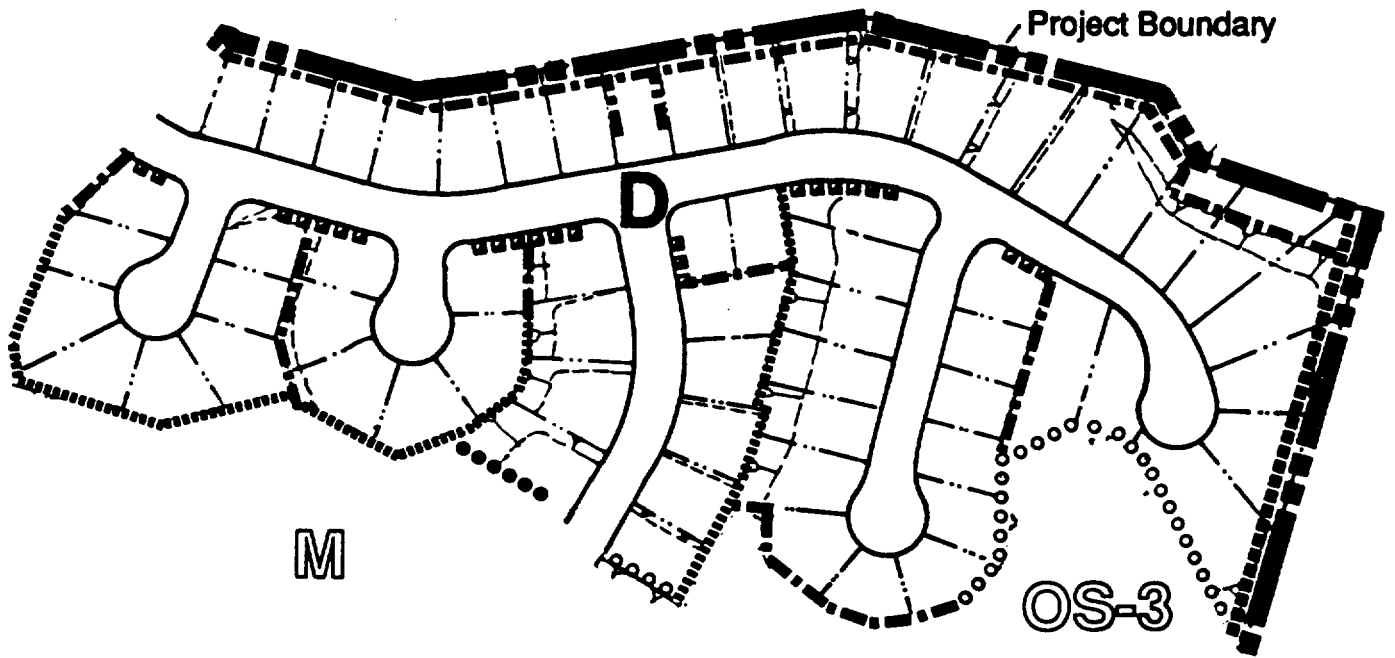
-  Village Entry
-  Views
-  Concrete Sidewalk
-  Refined Slopes
-  Open Space Lots
-  Project Boundary
-  Village Boundary



VILLAGE D
Design Criteria



Santa Fe Glens



LEGEND

THEME WALL

■■■■■■ Solid / View

VILLAGE WALL

●●●●● Solid
○ ○ ○ ○ ○ Open

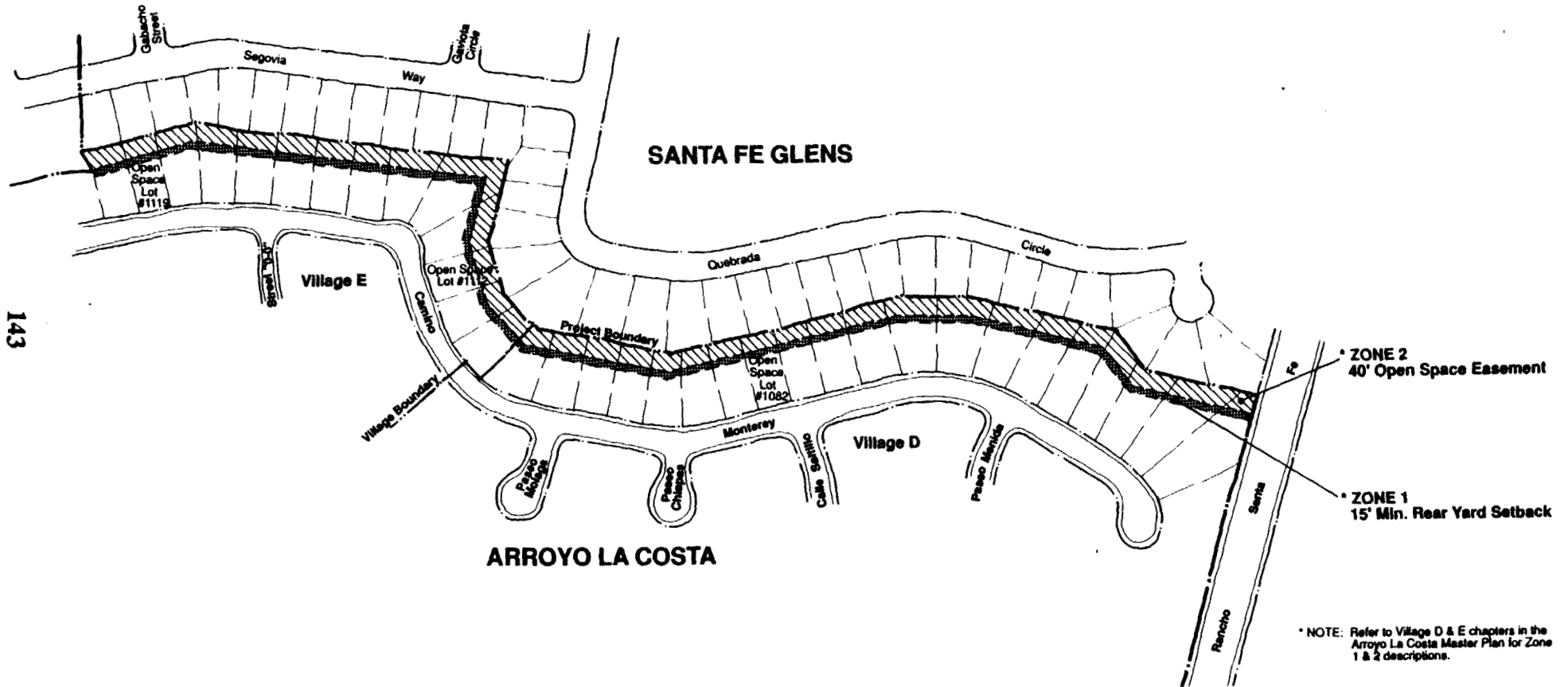
PROJECT FENCING

▣▣▣▣▣ Village
■■■■■■ Standard
○○○○○○ Open



Village D
Wall / Fence Location





143



**40' Open Space Easement
ARROYO LA COSTA**



Village E

1. Description

Village E is located north of Calle Barcelona, east of El Camino Real and south of Levante St. Village E has a gross area of 32.45 acres and a net developable area of 31.15 acres. A portion of this Village is adjacent to the existing Segovia Way and single family residences to the north. An existing degraded riparian habitat is located along the northwestern edge of this Village. The western portion of this Village affords views into the main open space/riparian corridor. A 40 foot wide open space easement exists along the northern edge of the Village which impacts fifteen of the proposed lots in Village E.

2. Use Allocation

General Plan Land Use RLM (0-4 DU/acre).
Arroyo La Costa Master Plan 99 units.

3. Lot Size: Minimum - 7,000 square feet.

4. Pad Area: Minimum - 7,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- . All units located along the northern boundary of this village shall maintain a fifteen foot setback from the existing forty foot open space easement. This will create a fifty-five foot deep rear yard. This rear yard can be divided into two zones referred to as Zones as shown on Exhibit 67 on page 148:
 - a. Zone 1 is defined as the 15' setback from the open space easement. Allowed uses in Zone 1 include:
 - i. Room additions
 - ii. Patio covers
 - iii. Accessory Structures
 - iv. Pools and Spas
 - v. Barbecues and other recreational related facilities.

b. Zone 2 is defined as the 40' open space easement. No use over six feet in height as measured from the existing grade shall be permitted. Allowed uses in Zone 2 include:

- i. Accessory structures equal to or less than 6' in height.
- ii. Pools and spas
- iii. Barbecue and other recreational related facilities equal to or less than 6' in height.

This shall be recorded as a deed restriction for affected properties.

• Site planning for lots adjacent to the central open space corridor (OS-4) shall incorporate views into the central open space corridor (OS-4).

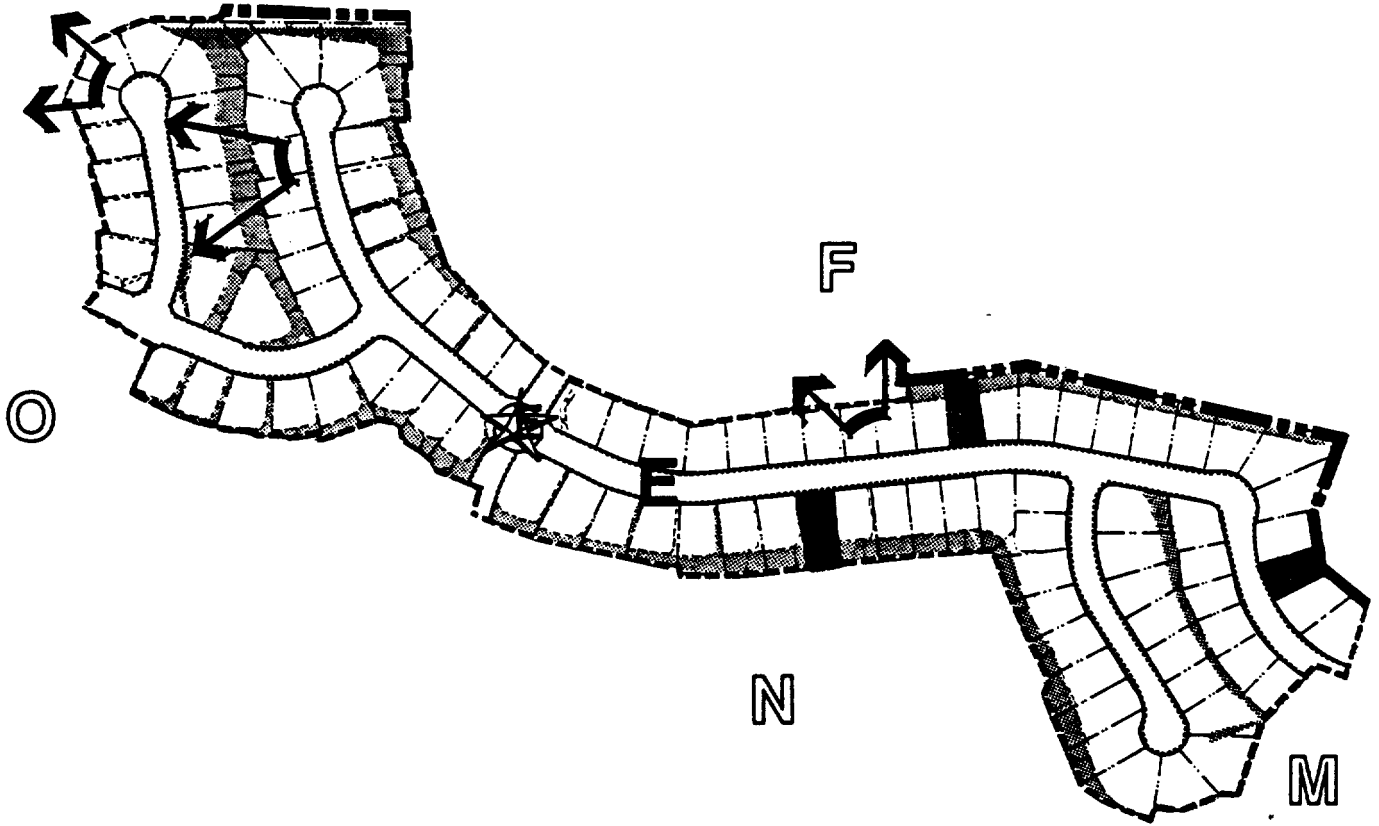
6. Open Space/Trails

Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie in to the bike/pedestrian trail in the adjacent open space area to the west in the central project open space corridor.








7. Architectural Style

The architectural style for this village shall be Traditional Estate. This style is typified by the use of brick and siding, hipped roofs, and flat tile. Other elements are windows in garage doors, brick and wood columns, painted shutters, and the use of entry wall and gates. The exact style may be modified subject to the requirements of Development Review Process Chapter of this Master Plan.

La Costa South



LEGEND

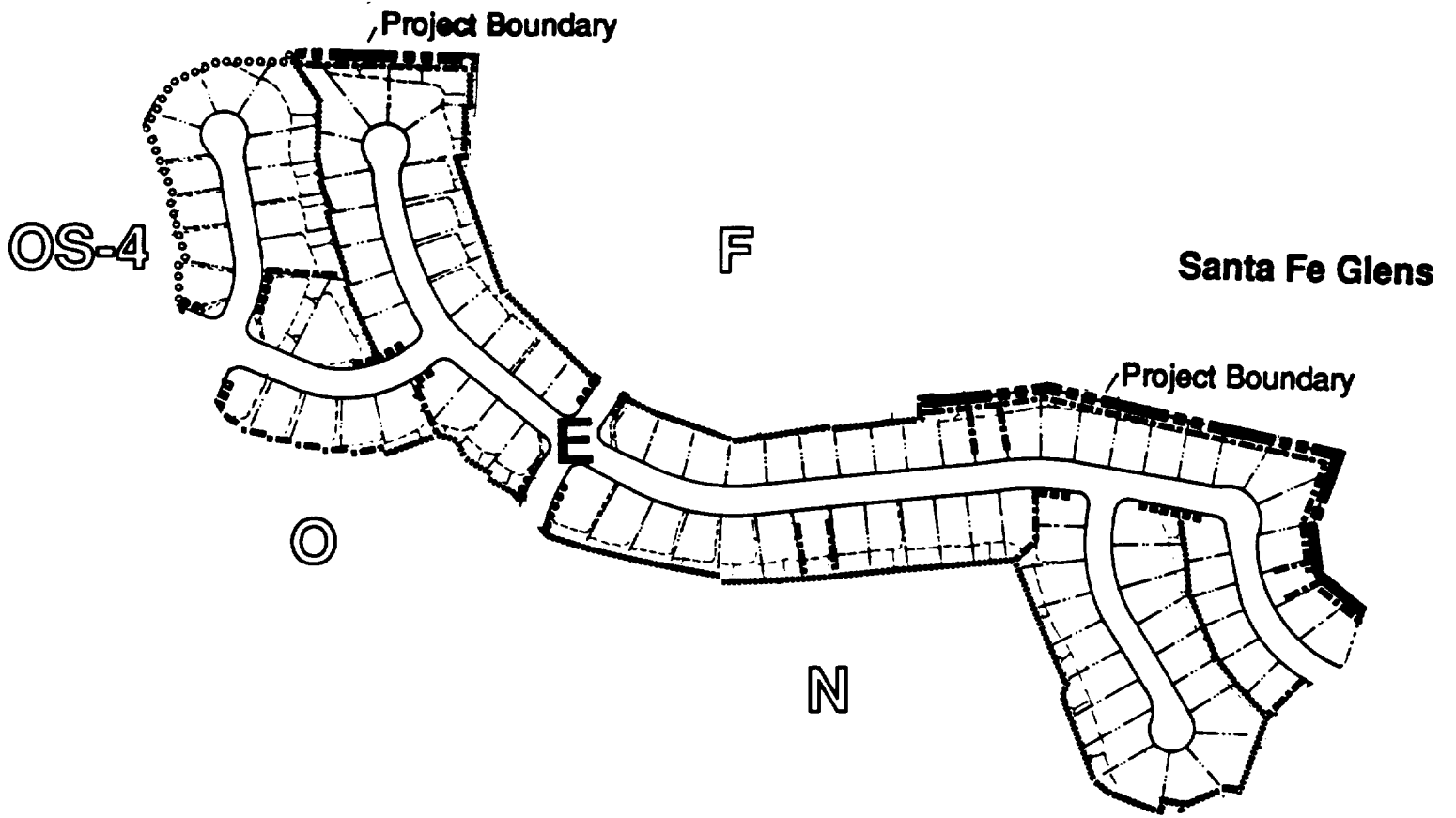
-  Village Entry
-  Views
-  Concrete Sidewalk
-  Refined Slopes
-  Open Space Lots
-  Project Boundary
-  Village Boundary



VILLAGE E
Design Criteria



La Costa South



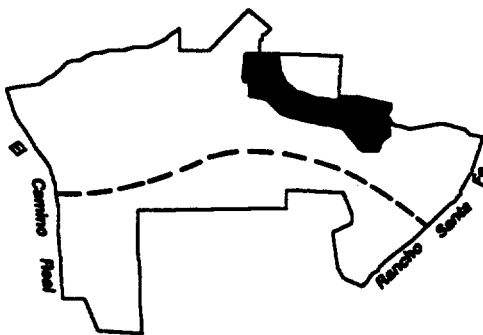
LEGEND

VILLAGE WALL

- Solid
- ○ ○ ○ ○ Open

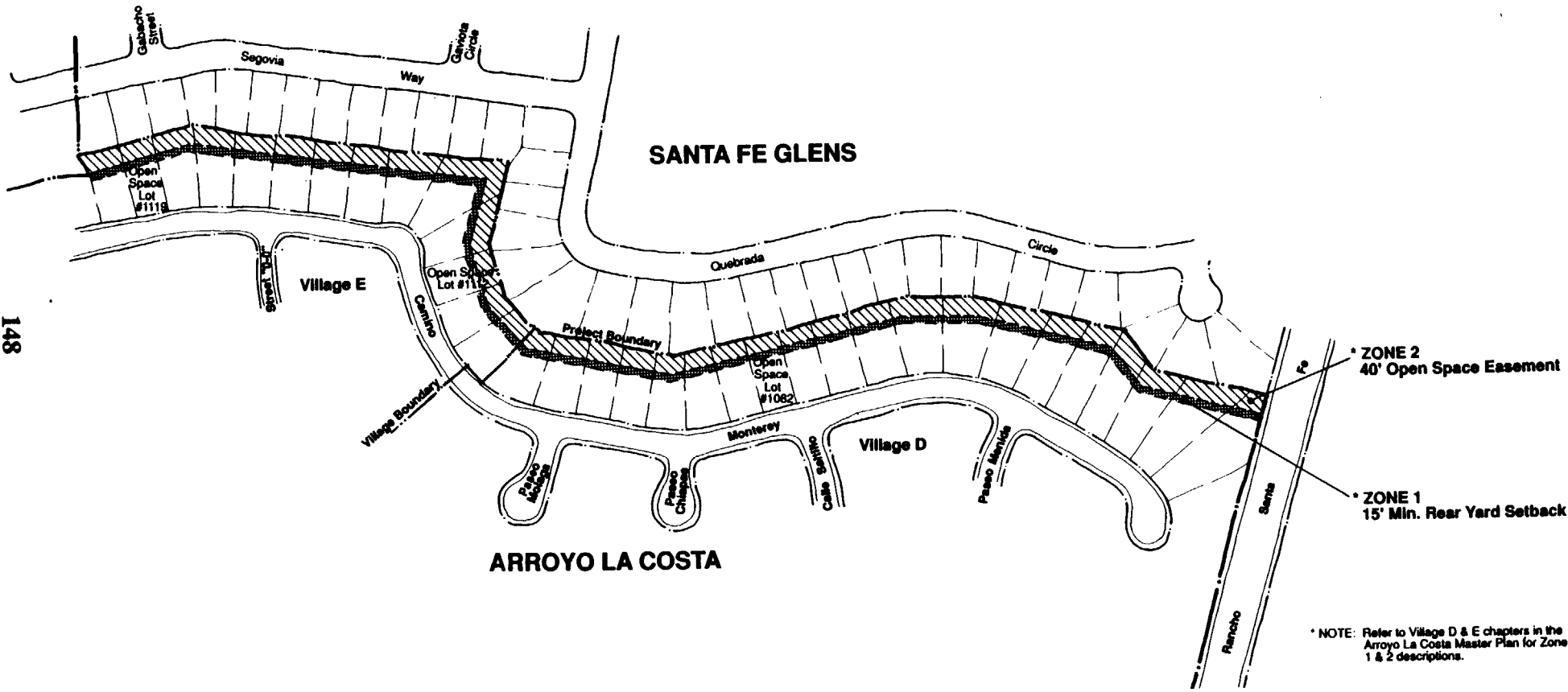
PROJECT FENCING

- ▣▣▣▣▣ Village
- ▬▬▬▬▬ Standard
- ⋯⋯⋯⋯⋯ Open



Village E
Wall / Fence Location





40' Open Space Easement
ARROYO LA COSTA



Village F

1. Description

Village F is located immediately north of Segovia Way, and east of El Camino Real. Village F has a gross area of 16.45 acres and a net developable area of 15.85 acres. This Village abuts existing single family development to the north and east (Santa Fe Glens and La Costa South). The existing topography slopes down from north to south. There is some potential for views into the main open space/riparian corridor from this area.

2. Use Allocation

General Plan Land Use RLM (0-4 DU/acre).
Arroyo La Costa Master Plan allows 48 units.

3. Lot Size: Minimum - 7,000 square feet.

4. Pad Area: Minimum - 7,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This village shall be designed with existing Segovia Way and surrounding development as major design constraints.

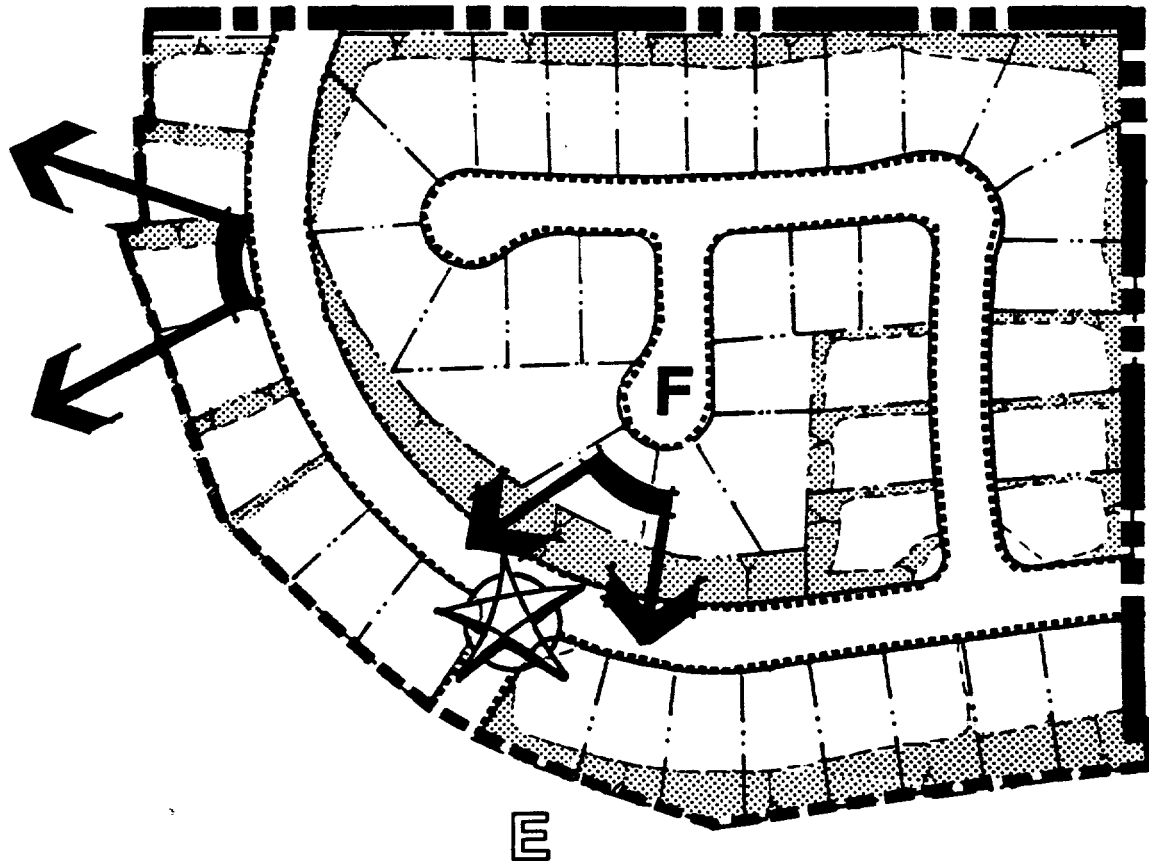
6. Open Space/Trails

Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie in to the bike/pedestrian trail in the adjacent open space area to the west in the central project open space corridor.

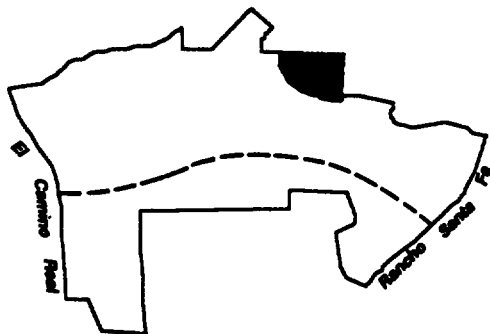
7. Architectural Style

The architectural style for this village shall be Traditional Estate. This style is typified by the use of brick and siding, hipped roofs, and flat tile. Other elements are windows in garage doors, brick and wood columns, painted shutters, and the use of entry wall and gates. The exact style may be modified subject to the requirements of Development Review Process Chapter of this Master Plan.







La Costa South



Santa Fe Glens



LEGEND

-  Village Entry
-  Views
-  Concrete Sidewalk
-  Refined Slopes
-  Project Boundary
-  Village Boundary

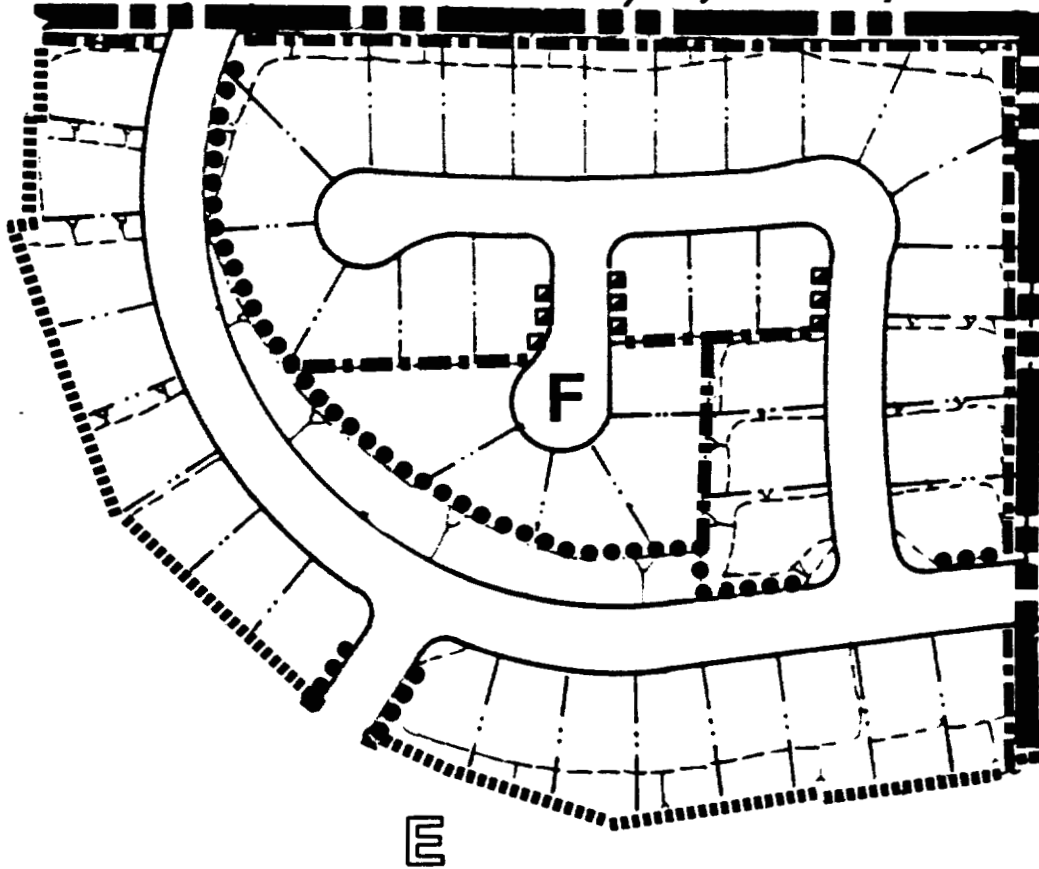


VILLAGE F
Design Criteria



La Costa South

Project Boundary



Santa Fe Glens

E

LEGEND

VILLAGE WALL

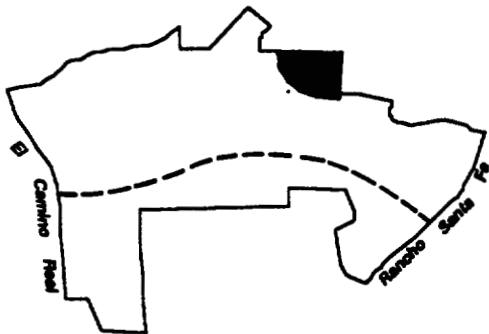
●●●●● Solid

PROJECT FENCING

▣▣▣▣▣ Village

▣▣▣▣▣ Standard

●●●●●●●● Open



Village F
Wall / Fence Location



Village G

1. Descriptions

Village G is located north of Calle Barcelona, east of El Camino Real and south of Levante St. Village G has a gross area of 25.3 acres and a net developable area of 25.3 acres. The existing topography of this Village slopes down to the south providing some potential interior views. The western edge of the project abuts the main open space/riparian corridor. The oak grove located adjacent to the southern edge of this Village will be preserved and enhanced as a part of Village P.

2. Use Allocation

General Plan Land Use RLM (0-4 DU/acre). Arroyo La Costa Master Plan allows 94 units.

3. **Lot Size:** Minimum - 6,000 square feet.

4. **Pad Area:** Minimum - 6,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

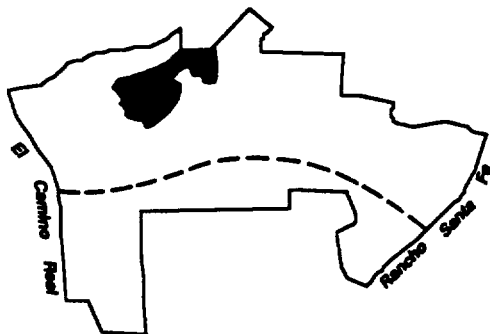
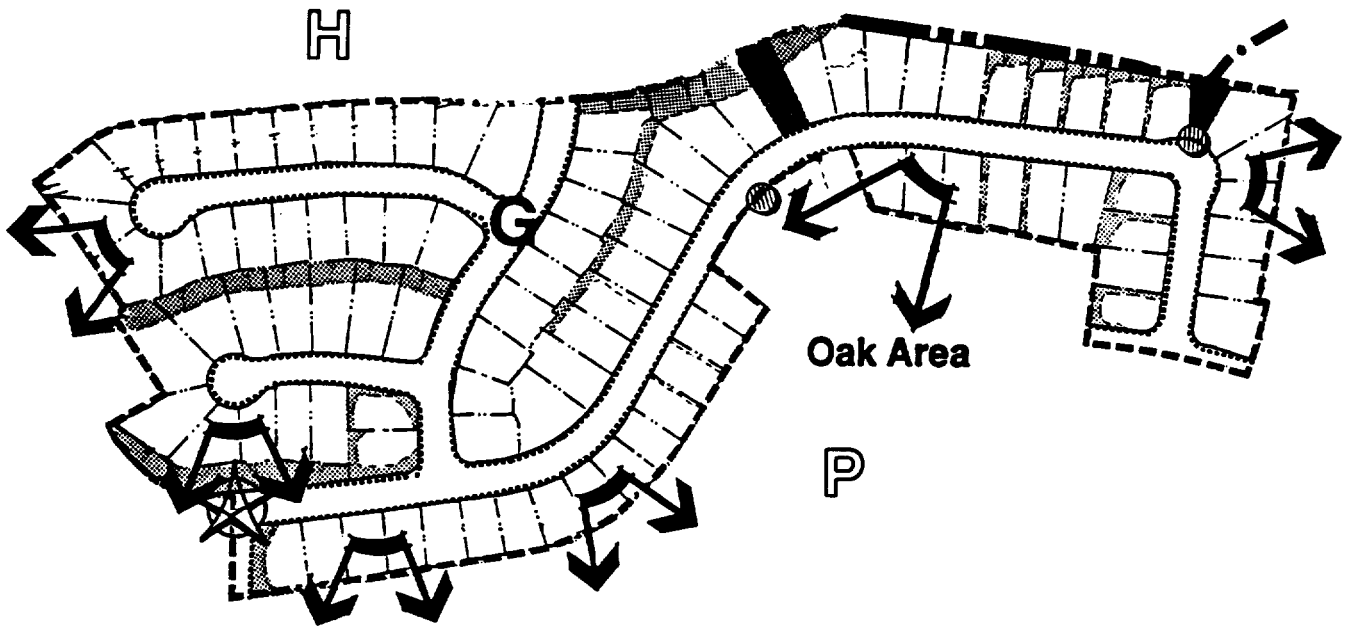
- This village shall provide an open space lot for the purpose of providing access to adjacent open space corridor (OS-4).
- Lots adjacent to the Oak grove in Village P shall be designed to incorporate views into the Oak grove.
- Wherever possible units shall be designed to take advantage of interior views into the Master Plan area.

6. Open Space/Trails










Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie in to the bike/pedestrian trail in the adjacent open space area (OS-4) via an open space lot. This lot will contain a trail head marker and be landscaped per the Open Space Chapter of this Master Plan.

7. **Architectural Style**

The architectural style shall be Traditional Monterey. This style is typified by the use of stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. The use of other elements such as covered balconies, window and door lintels, recessed windows, wood shutters, potshelves and exposed beams also contribute to the integrity of this style. Typical colors are soft earthtones and white on wood and stucco elements. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.



LEGEND

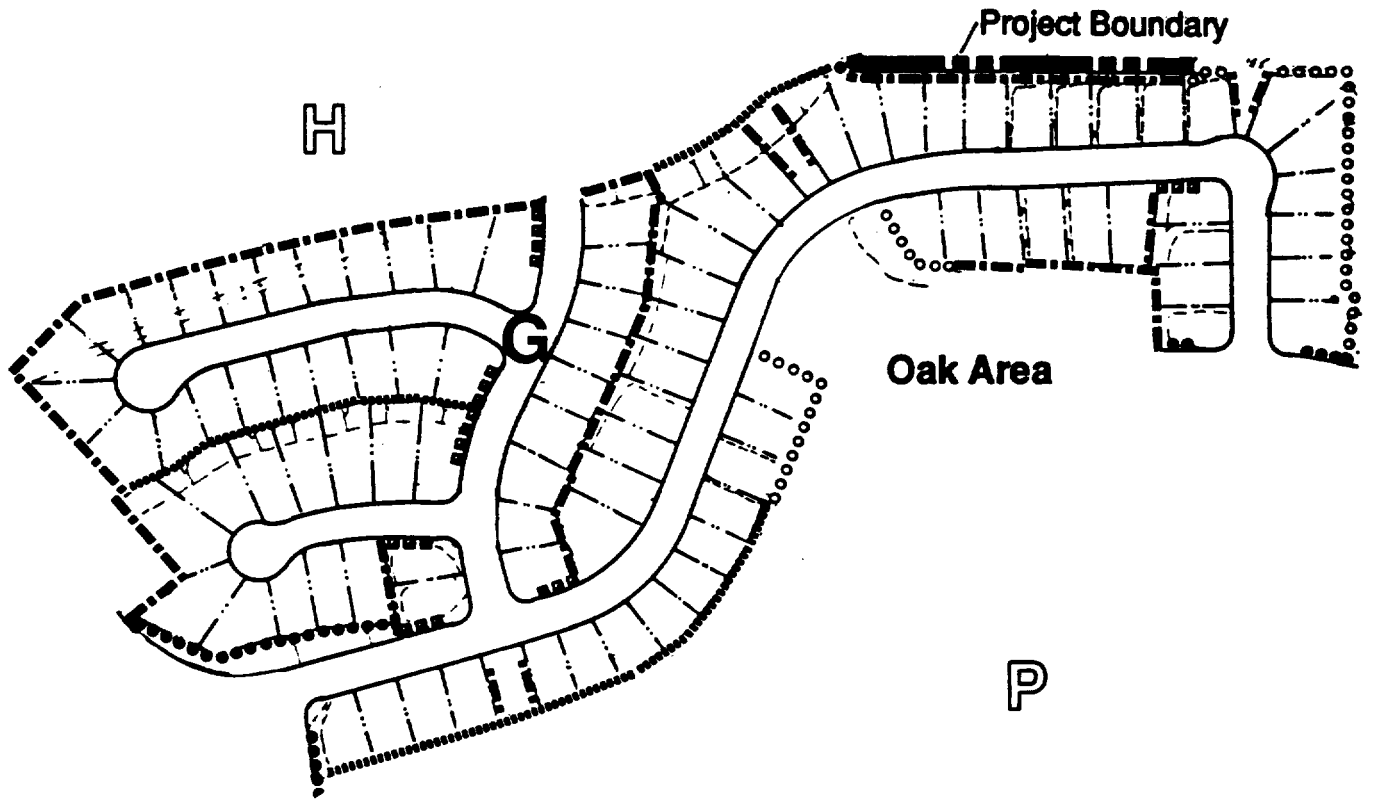
-  Village Entry
-  Trail Head
-  Trail
-  Views
-  Concrete Sidewalk
-  Open Space Lots
-  Refined Slopes
-  Project Boundary
-  Village Boundary

THE
VILLAGES OF
LA COSTA

VILLAGE G
Design Criteria



La Costa South



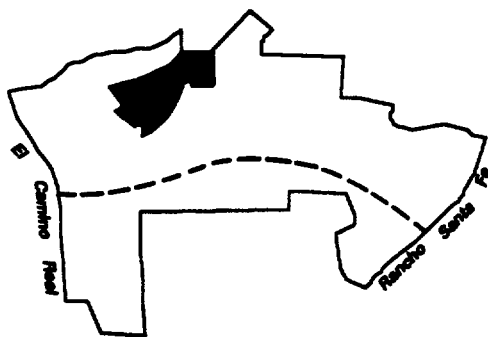
LEGEND

VILLAGE WALL

- Solid
- ○ ○ ○ ○ Open

PROJECT FENCING

- ▣▣▣▣▣ Village
- ▣▣▣▣▣ Standard
- ▣▣▣▣▣ Open



Village G
Wall / Fence Location



Village H

1. Description

Village H is located north of Calle Barcelona, east of El Camino Real and immediately south of Levante St. Village H has a gross area of 24.1 acres and a net developable area of 22.35 acres. This Village is located on top of a ridge which slopes down to the north and south. There are views of Batiquitos Lagoon and Green Valley from the western portion of the Village. The eastern portion of Village H is adjacent to the existing single family homes on the north side of Levante Street (Spanish Village). An elementary school site is located on the south side of Village H.

2. Use Allocation

General Plan Land Use RLM (0-4 DU/acre).
Arroyo La Costa Master Plan allows 78 units.

3. Lot Size: Minimum - 6,000 square feet.

4. Pad Area: Minimum - 6,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Wherever possible, site planning for lots in Village H shall incorporate lagoon views to the northwest, and interior views.
- For lots immediately adjacent to the Elementary School Site, disclosure to future homeowners shall be provided by means of a Declaration of Notice to be recorded with the County Records office making the buyers aware that the homes are adjacent to a future school site.
- As mitigation for the aesthetic loss of the eucalyptus grove onsite, the northerly entrance to Village H, as well as the interior slopes of Village H, shall be enhanced with additional tree planting.

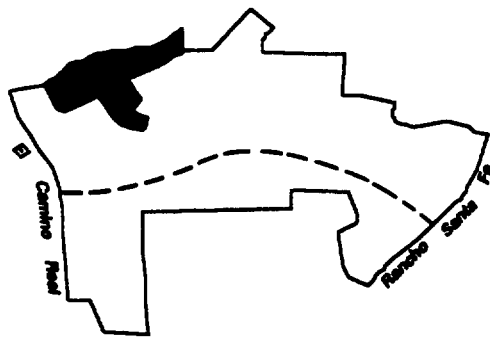
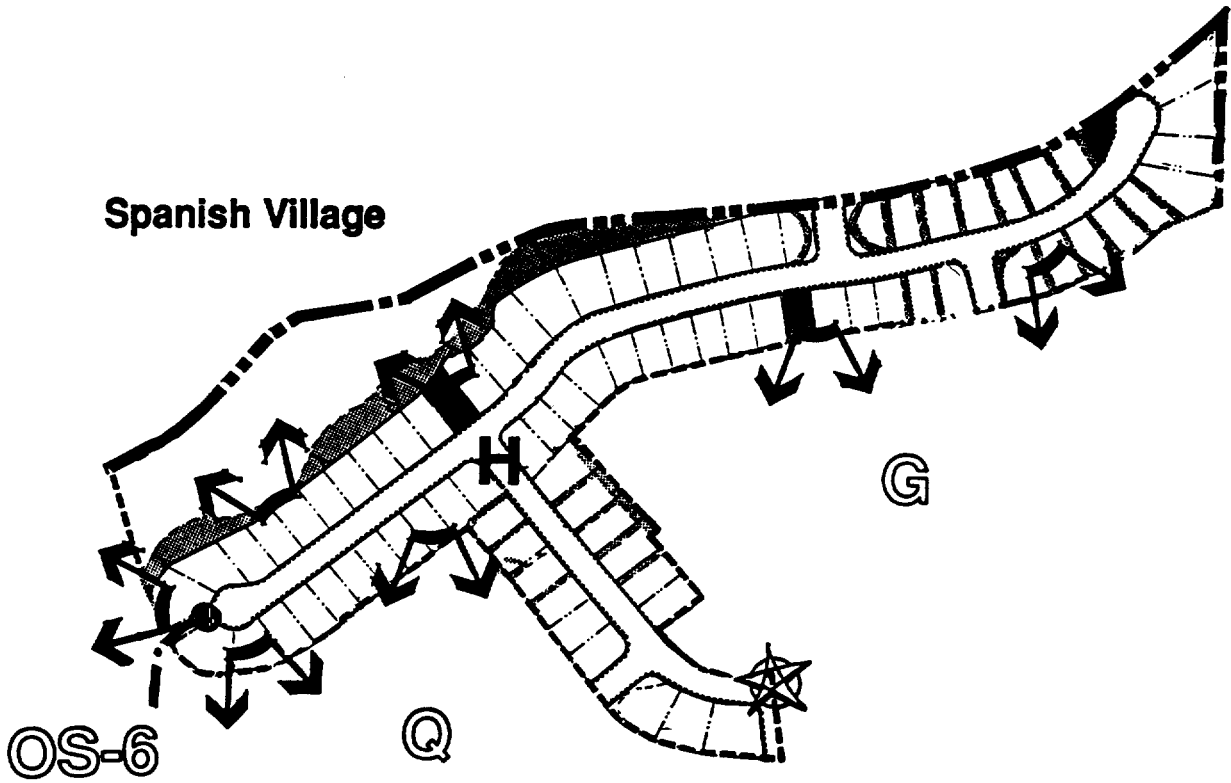
6. **Open Space/Trails**

Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie into the sidewalk system which leads to the bike/pedestrian trail.

7. **Architectural Style**

The architectural style shall be Traditional Monterey. This style is typified by the use of stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. The use of other elements such as covered balconies, window and door lintels, recessed windows, wood shutters, potshelves and exposed beams also contribute to the integrity of this style. Typical colors are soft earthtones and white on wood and stucco elements. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.

Spanish Village



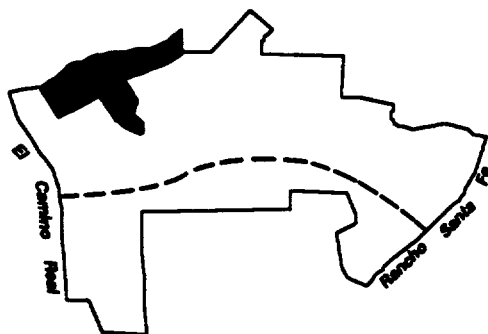
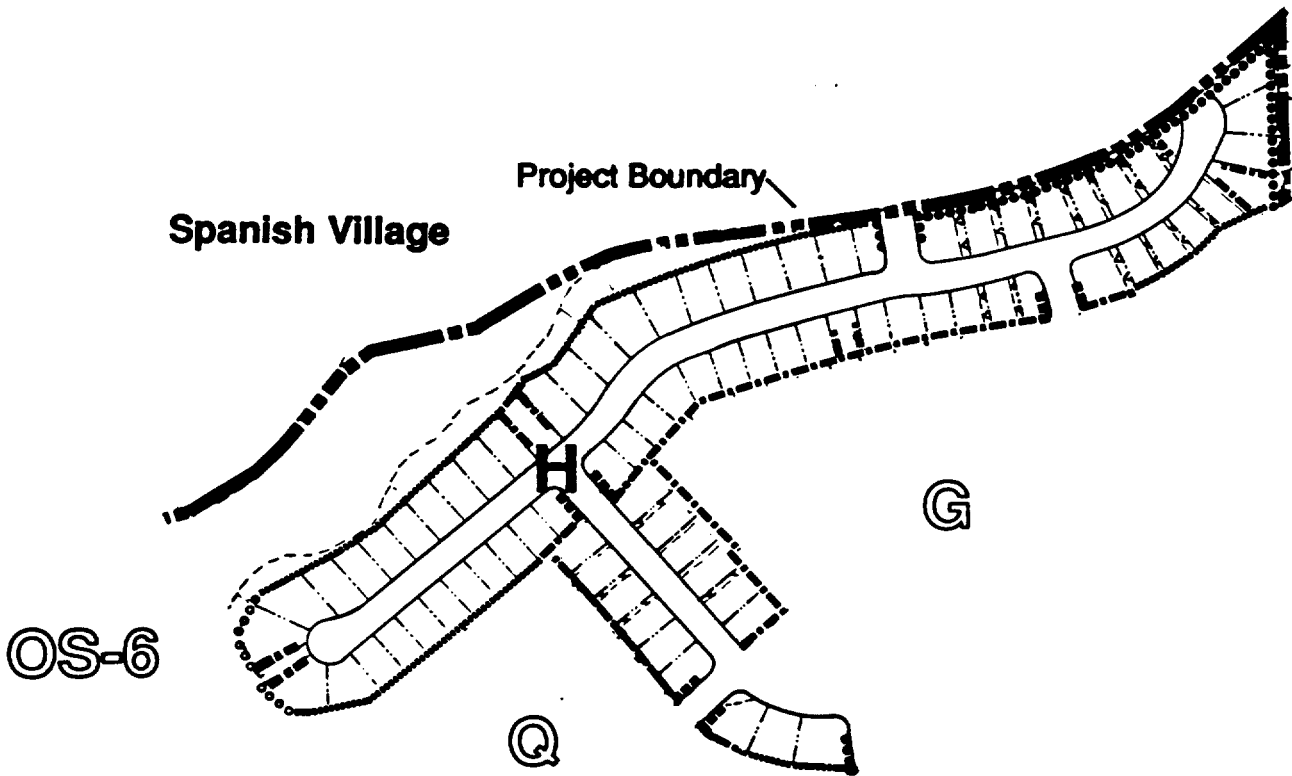
LEGEND

- Village Entry
- Trail Head
- Trail
- Views
- Concrete Sidewalk
- Open Space Lots
- Refined Slopes
- Project Boundary
- Village Boundary



VILLAGE H
Design Criteria





LEGEND

VILLAGE WALL

- Solid
- ○ ○ ○ ○ Open

PROJECT FENCING

- ▣▣▣▣▣ Village
- ▬▬▬▬▬ Standard
- ▬▬▬▬▬ Open



Village H
Wall / Fence Location



Village I

1. Description

Village I is located south of Calle Barcelona, east of El Camino Real and west of the Rancho Ponderosa development. Village I has a gross area of 43.65 acres and a net developable area of 39.95 acres. Village I will be located on top of a hill which slopes down to the north, south and east providing opportunities for some views into the Olivenhain Valley, and the central valley topography of the Arroyo La Costa area. A 150 foot wide SDG&E easement forms the western boundary of the Village. On the east, the village is bounded by the existing Ponderosa project. At the northern end of Village I, a 1.1 acre recreation area will be provided. This village is required to provide access to the RV storage area in Open Space Area OS-8.

2. Use Allocation

General Plan Land Use RLM (0-4 DU/acre).
Arroyo La Costa Master Plan allows 122 units.

3. Lot Size: Minimum - 6,000 square feet.

4. Pad Area: Minimum - 6,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- An recreation area shall be provided at the northern end of Village I.
- Special attention shall be given to the rear elevations of the units backing on Olivenhain Road to assure the rear elevations of the homes are as attractive as the front.
- Sound walls shall be used to mitigate noise along Calle Barcelona and Olivenhain Road.
- Although architectural style does not need to be of an identical style with Rancho Del Ponderosa, it shall be compatible.

- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Calle Barcelona and Olivenhain Road.
- Village I shall provide access to the adjacent RV site via an open space lot in the western portion of the village. The access shall have a lockable, bollard type gate to discourage access to vehicles other than homeowner's RV's. Residences adjacent to this access lot shall be adequately buffered from noise and light via walls and landscaping within the open space/access lot. All future residents of Village I shall be made aware by means of a Declaration of Notice to be recorded with the County Recorder's Office of the existence of the RV storage area when they purchase their homes.
- All residences shall be setback a minimum of 50 feet from the Olivenhain Road right-of-way.
- Residents of Village I shall be made aware by means of a Declaration of Notice to be recorded with the County Recorder's Office that the stub street at the Southwest corner of Village I will eventually connect to future development that will gain access through Village I.
- Residents of Village I located adjacent to Village J shall be made aware by means of a Declaration of Notice to be recorded with the County Recorder's Office that the property to the north has been designated as a potential church site.

6. Open Space/Trails

A pedestrian/bike trail shall be constructed along Calle Barcelona. The trail shall be maintained by the community open space maintenance district. This trail shall be designed, to the extent possible, to preclude views from the trail into the rear yards of adjacent residences.

7. Architectural Style

The architectural style shall be Traditional Monterey. This style is typified by the use of stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. The use of other elements such as covered balconies, window and door lintels, recessed windows, wood shutters, potshelves and exposed beams also contribute to the integrity of this style. Typical colors are soft earthtones and

white on wood and stucco elements. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.

Calle Barcelona

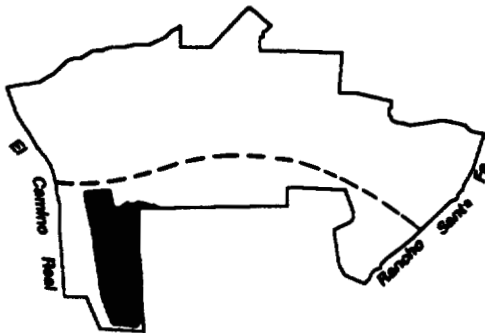
J

OS-7

OS-8






Rancho Del Ponderosa

Olivenhain Road



LEGEND

-  Village Entry
-  Trail
-  Bikeway
-  Views

-  Concrete Sidewalk
-  Open Space Lots
-  Refined Slopes
-  Project Boundary
-  Village Boundary



VILLAGE I
Design Criteria



Calle Barcelona

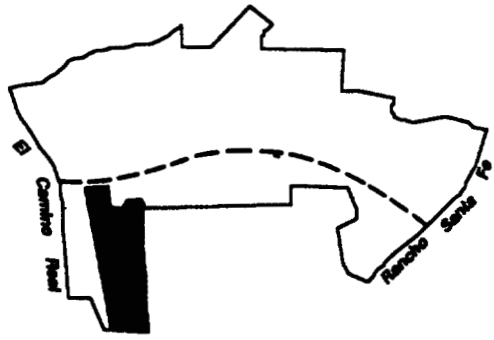
OS-7

OS-8

Rancho Del Ponderosa

Project Boundary

Olivenhain Road



LEGEND

THEME WALL

- Solid
- Open

VILLAGE WALL

- Solid
- ○ ○ ○ ○ Open

PROJECT FENCING

- ▣▣▣▣▣ Village
- ■ ■ ■ ■ Standard
- ▤▤▤▤▤ Open



Village I
Wall / Fence Location



Village J

1. Description

Village J is designated as a church site. This village is located south of Calle Barcelona, east of El Camino Real and north of the Rancho Ponderosa development. Neighborhood J has a gross area of 7.6 acres and a net developable area of 6.60 acres. The existing topography of this village slopes gently down northward towards the future alignment of Calle Barcelona.

2. Use Allocation

Although this village carries the RLM General Plan Land Use (0-4 DU/acre), it has been designated as a church site by The Arroyo La Costa Master Plan. Any change in this designation would require an amendment as determined in the Amendments section of this Master Plan. As mentioned above, this village has a net usable acreage of 6.6 acres. The average church site in Carlsbad has a net usable acreage of two (2) acres. The site's unusual shape and some soils problems will require substantial grading and the possible use of retaining walls to develop this site to its full potential. For this reason, an alternative church site has been reserved in Village Q. If the Planning Commission does not approve a Site Development Plan for a church on this site, the site shall remain in permanent open space and the southern portion of Village Q shall be developed as a church site.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Prior to any development on this site other than the grading required for Calle Barcelona, a Site Development Plan must be approved by the Planning Commission.
- The Church developed on this site shall be designed to take advantage of the existing topography with a minimal amount of grading

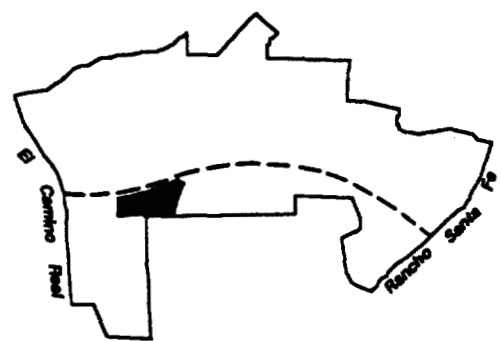
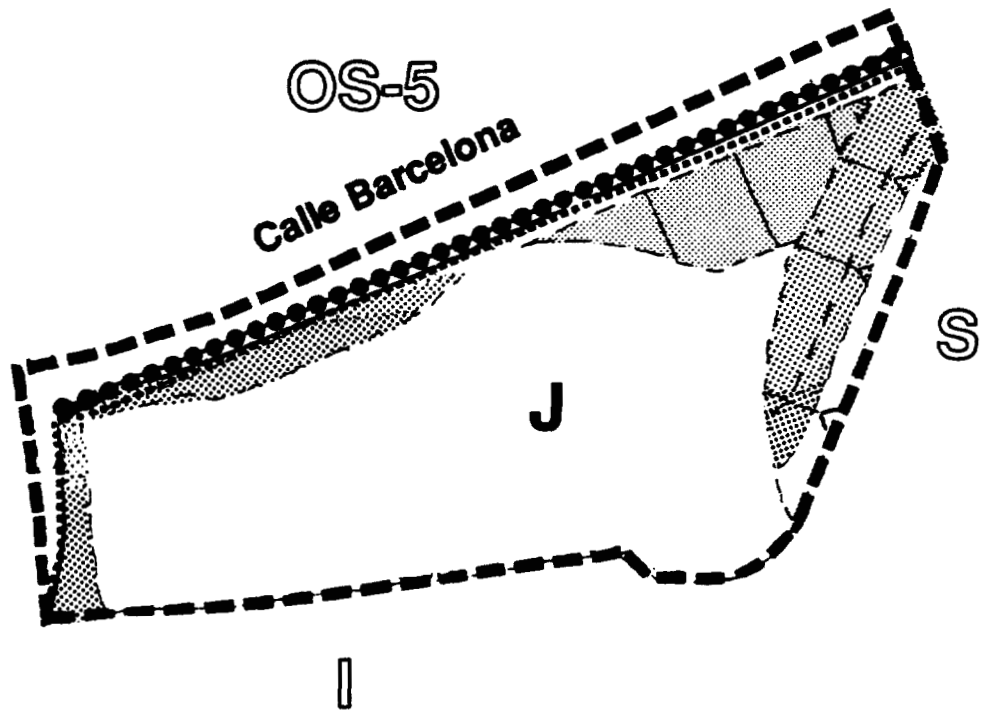
4. Open Space/Trails

A pedestrian/bike trail shall be constructed along Calle Barcelona. The exact details of the trail system are included in the Community

Development Standards section of this Master Plan. The trail shall be maintained by the community open space maintenance district.

5. Architectural Style

The architectural style of church structures shall be harmonious with, but not necessarily identical to, the architectural styles of Village I, Village Q, and the Junior High School site. The exact architecture for the church shall be approved by the Planning Director in a Site Development Plan review procedure.



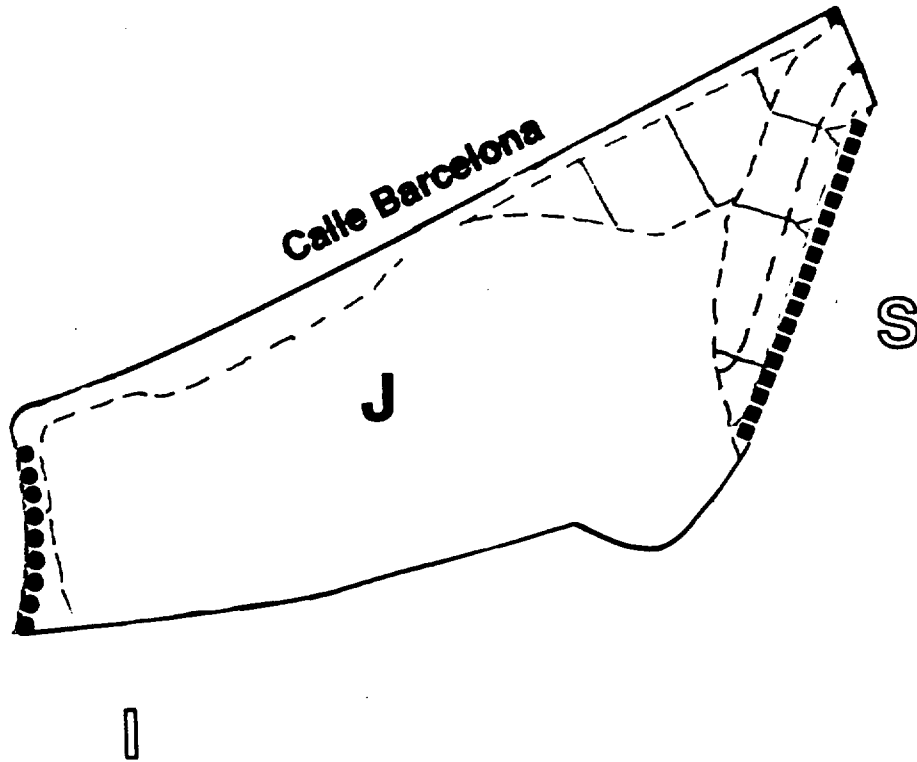
LEGEND

- Bikeway
- ■ ■ ■ Concrete Sidewalk
- ▨ Refined Slopes
- — — Village Boundary



VILLAGE J
Design Criteria





LEGEND

THEME WALL

■■■■■■ Solid

VILLAGE WALL

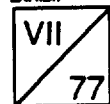
●●●●● Solid



Village J
Wall / Fence Location



EXHIBIT



Village K

1. Description

Village K is located south of Calle Barcelona, east of El Camino Real and immediately north of the Ponderosa development. Village K has a gross area of 20.9 acres and a net developable area of 19.85 acres. The existing topography of this site slopes down to the north and west. There is an opportunity for internal views along the northern and western edges of the village. To the west, Village K is bounded by a junior high school site. Existing single family homes (Rancho del Ponderosa) are to the south of Village K.

2. Use Allocation

General Plan Land Use RLM (0-4 DU/acre).
Arroyo La Costa Master Plan allows 63 units.

3. **Lot Size:** Minimum - 6,000 square feet.

4. **Pad Area:** Minimum - 6,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Sound walls shall be used to mitigate noise from Calle Barcelona.
- For lots immediately adjacent to the Junior High School Site, disclosure to future homeowners shall be provided by means of a Declaration of Notice to be recorded with the County Recorders office making the buyers aware that the homes are adjacent to a future school site.
- Units developed at the ends of the cul-de-sacs shall be designed to take advantage of views to the west.

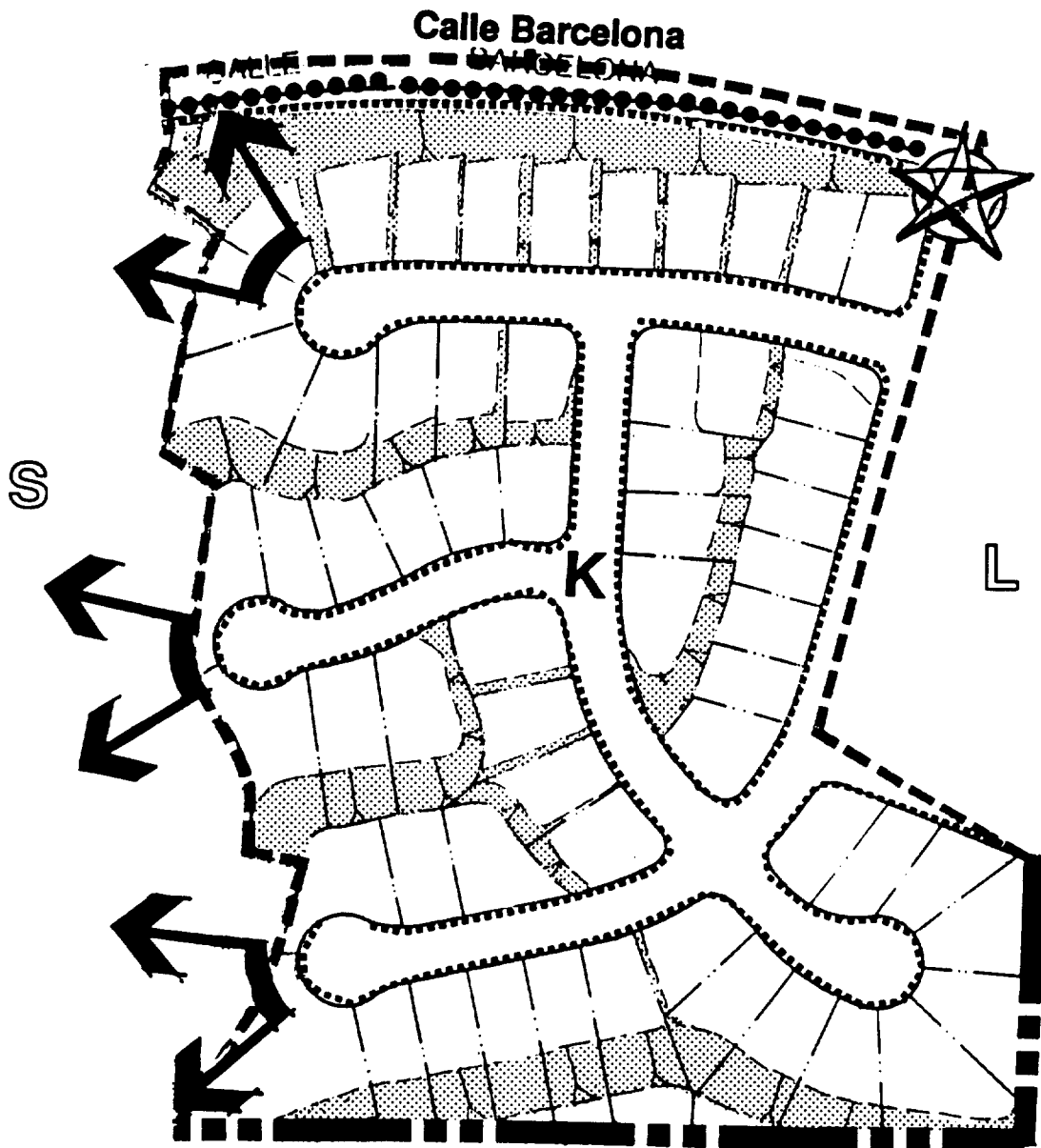
6. Open Space/Trails

A pedestrian/bike trail shall be constructed along Calle Barcelona as described in the Community Development Standards section of this Master Plan. The trail shall be maintained by the community open space maintenance district. This trail shall be designed, to the extent

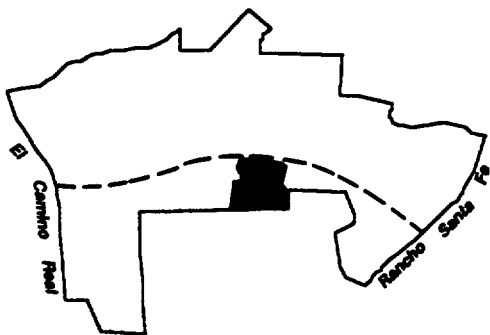
possible, to preclude views from the trail into the rear yards of adjacent residences.

7. Architectural Style








The architectural style shall be Traditional Monterey. This style is typified by the use of stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. The use of other elements such as covered balconies, window and door lintels, recessed windows, wood shutters, potshelves and exposed beams also contribute to the integrity of this style. Typical colors are soft earthtones and white on wood and stucco elements. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.



Rancho Del Ponderosa

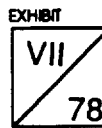


LEGEND

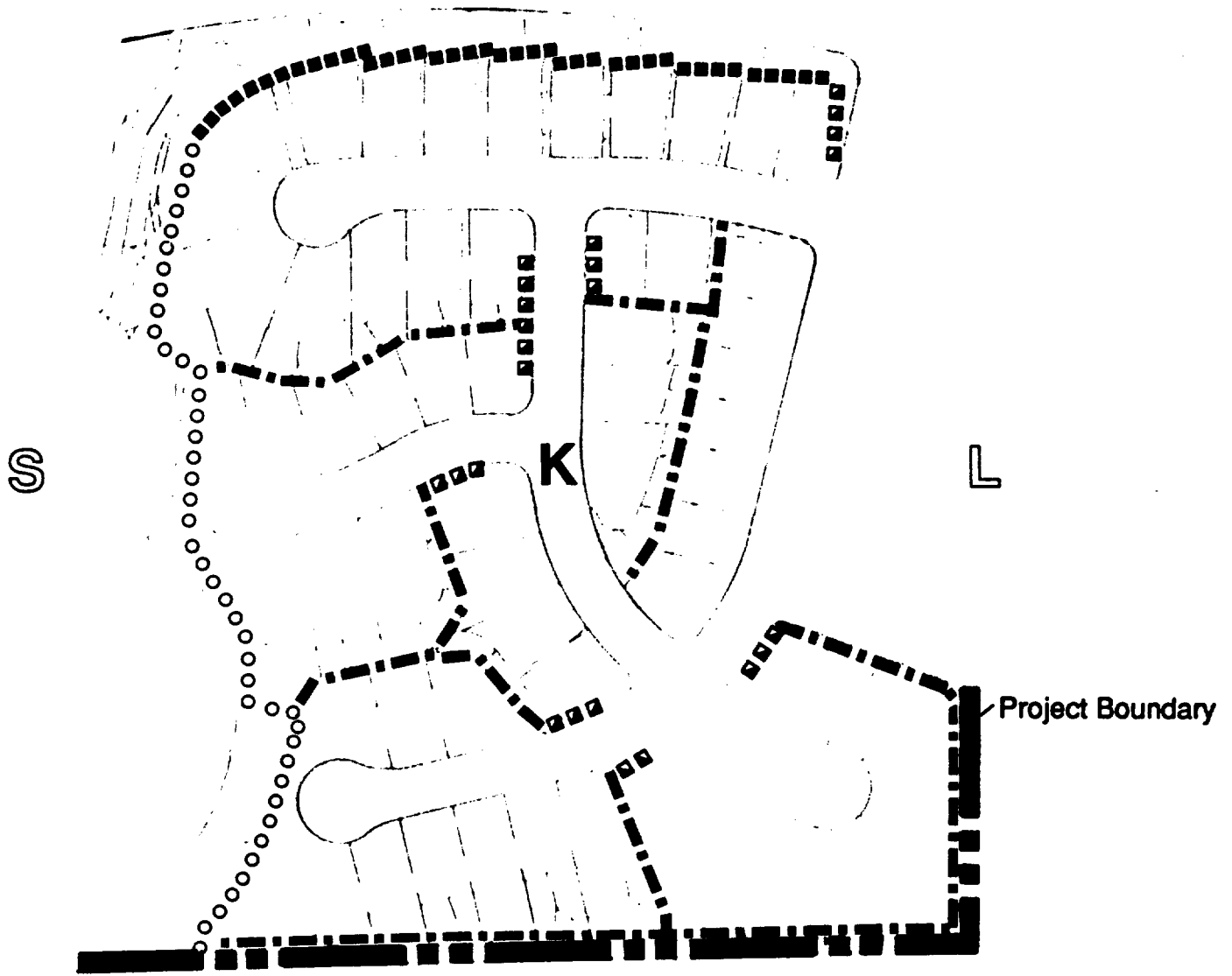
-  Village Entry
-  Bikeway
-  Views
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary
-  Project Boundary



VILLAGE K
Design Criteria



Calle Barcelona



Rancho Del Ponderosa

LEGEND

THEME WALL

■■■■■■ Solid

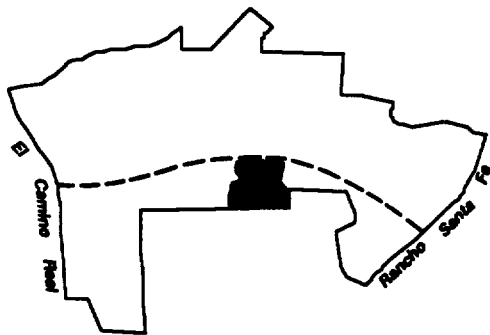
VILLAGE WALL

○○○○○ Open

PROJECT FENCING

▣▣▣▣▣ Village

▬▬▬▬▬ Standard



Village K
Wall / Fence Location



Village L

1. Description

Village L is located south of Calle Barcelona, east of El Camino Real and immediately north of the Santa Fe Ridge development. Village L has a gross area of 15.8 acres and a net developable area of 14.6 acres. The existing topography of this village slopes down to the west providing some limited opportunity for internal views. To the south, Village L is bounded by existing single family residences (Santa Fe Ridge).

2. Use Allocation

General Plan Land Use RM (4-8 DU/acre).
Arroyo La Costa Master Plan allows 55 units.

3. Lot Size: Minimum - 6,000 square feet.

4. Pad Area: Minimum - 6,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

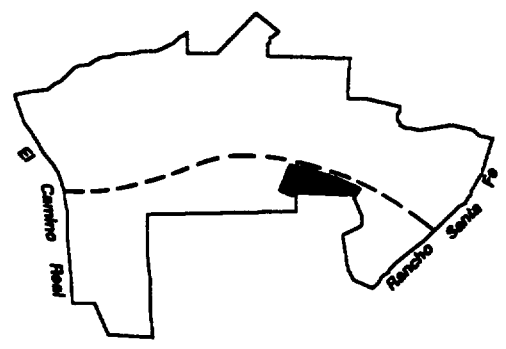
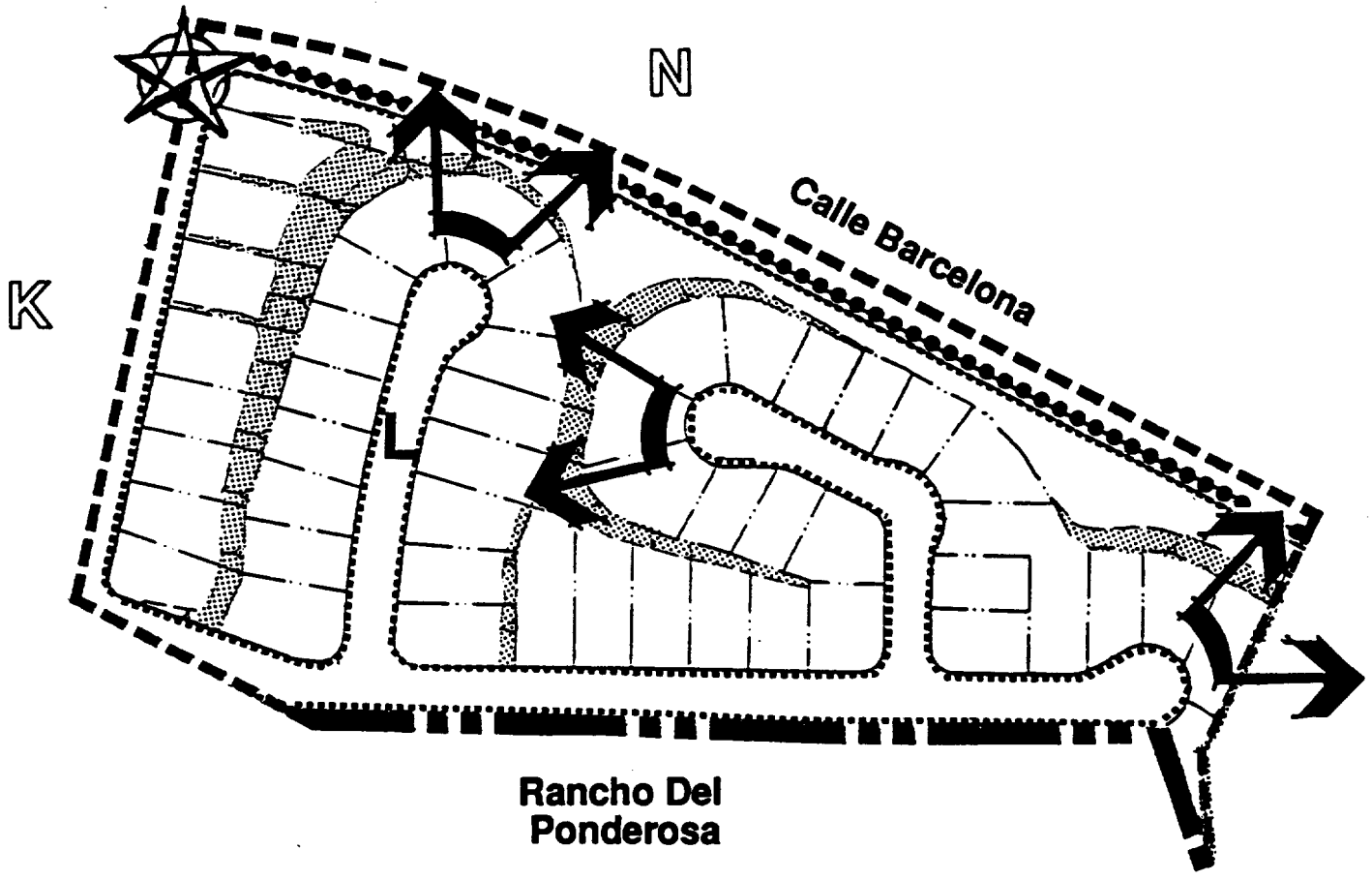
- Sound walls shall be used to mitigate noise from Calle Barcelona.
- All residences shall be setback a minimum of 30 feet from the Calle Barcelona right-of-way.

6. Open Space/Trails








A pedestrian/bike trail shall be constructed along Calle Barcelona as described in the Community Development Standards section of this Master Plan. The trail shall be maintained by the community open space maintenance district. This trail shall be designed, to the extent possible, to preclude views from the trail into the rear yards of adjacent residences.

7. **Architectural Style**

The architectural style shall be Traditional Monterey. This style is typified by the use of stucco exteriors, hip and gabled roofs with Spanish tile and exposed rafter tails at the eaves. The use of other elements such as covered balconies, window and door lintels, recessed windows, wood shutters, potshelves and exposed beams also contribute to the integrity of this style. Typical colors are soft earthtones and white on wood and stucco elements. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.



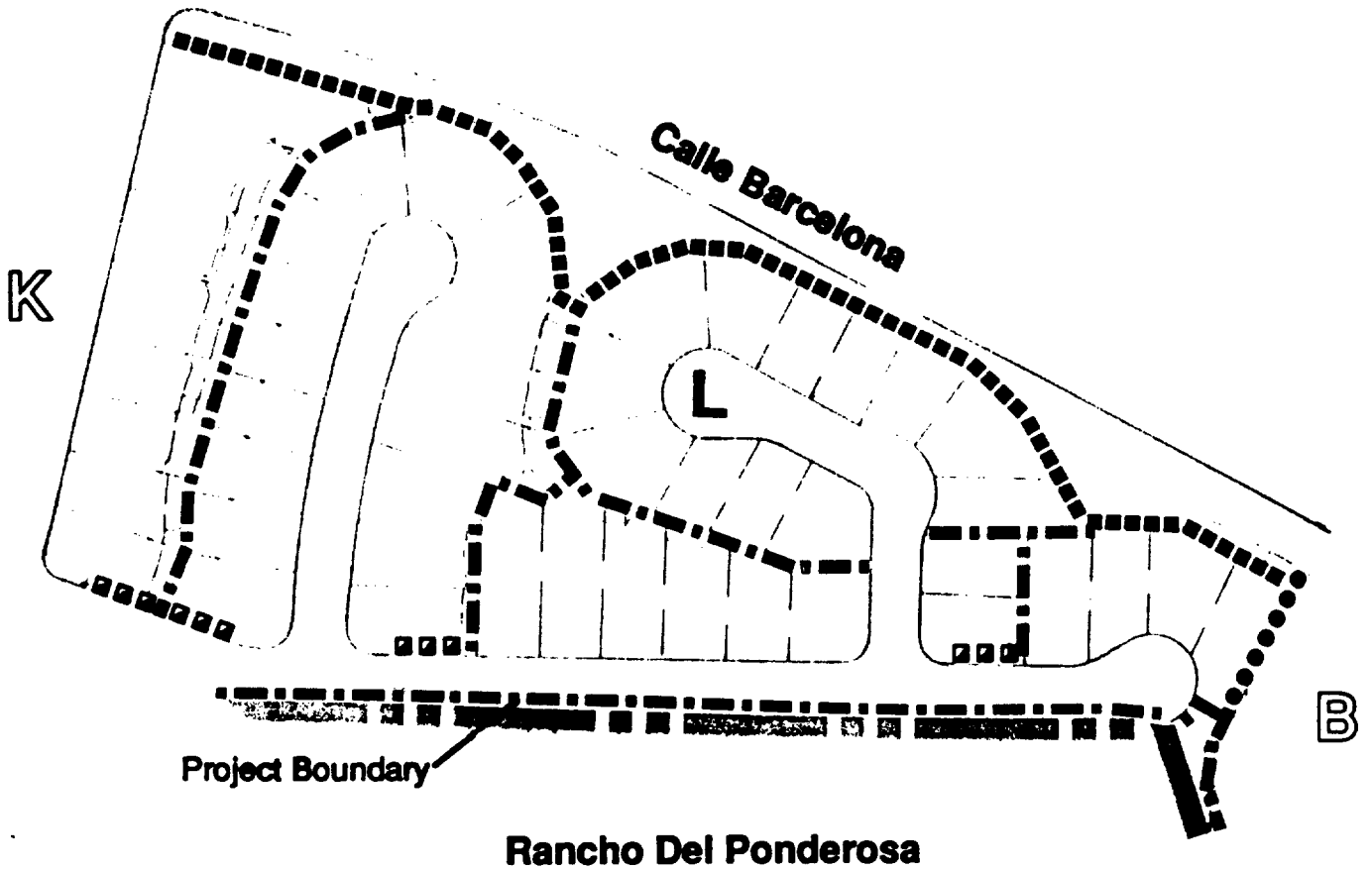
LEGEND

-  Village Entry
-  Bikeway
-  Views
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary
-  Project Boundary

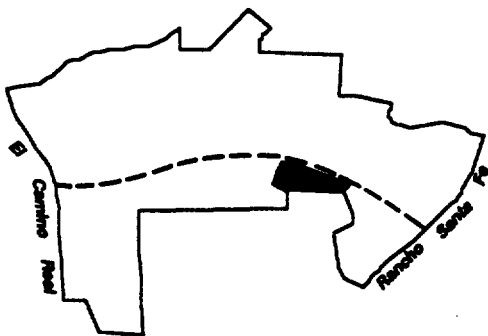


VILLAGE L
Design Criteria





Rancho Del Ponderosa



LEGEND

THEME WALL

■■■■■■ Solid

VILLAGE WALL

●●●●● Solid

PROJECT FENCING

□□□□ Village

■■■■■■ Standard



Village L
Wall / Fence Location



Village M

1. Description

Village M is located north of Calle Barcelona, west of Rancho Santa Fe Road and immediately south of Levante St. Village M has a gross area of 15.1 acres and a net developable area of 13.75 acres. The existing topography of Village M slopes gently down to the south, providing some limited internal views to the south.

2. Use Allocation

General Plan Land Use RM (4-8 DU/acre).
Arroyo La Costa Master Plan allows 56 units.

3. **Lot Size:** Minimum - 5,000 square feet.

4. **Pad Area:** Minimum - 5,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

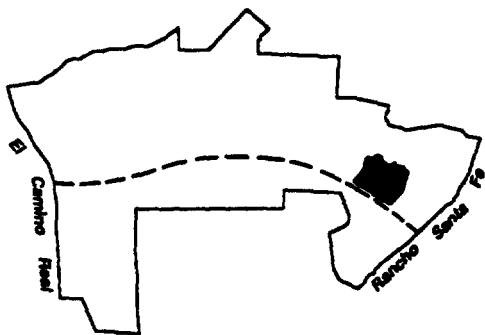
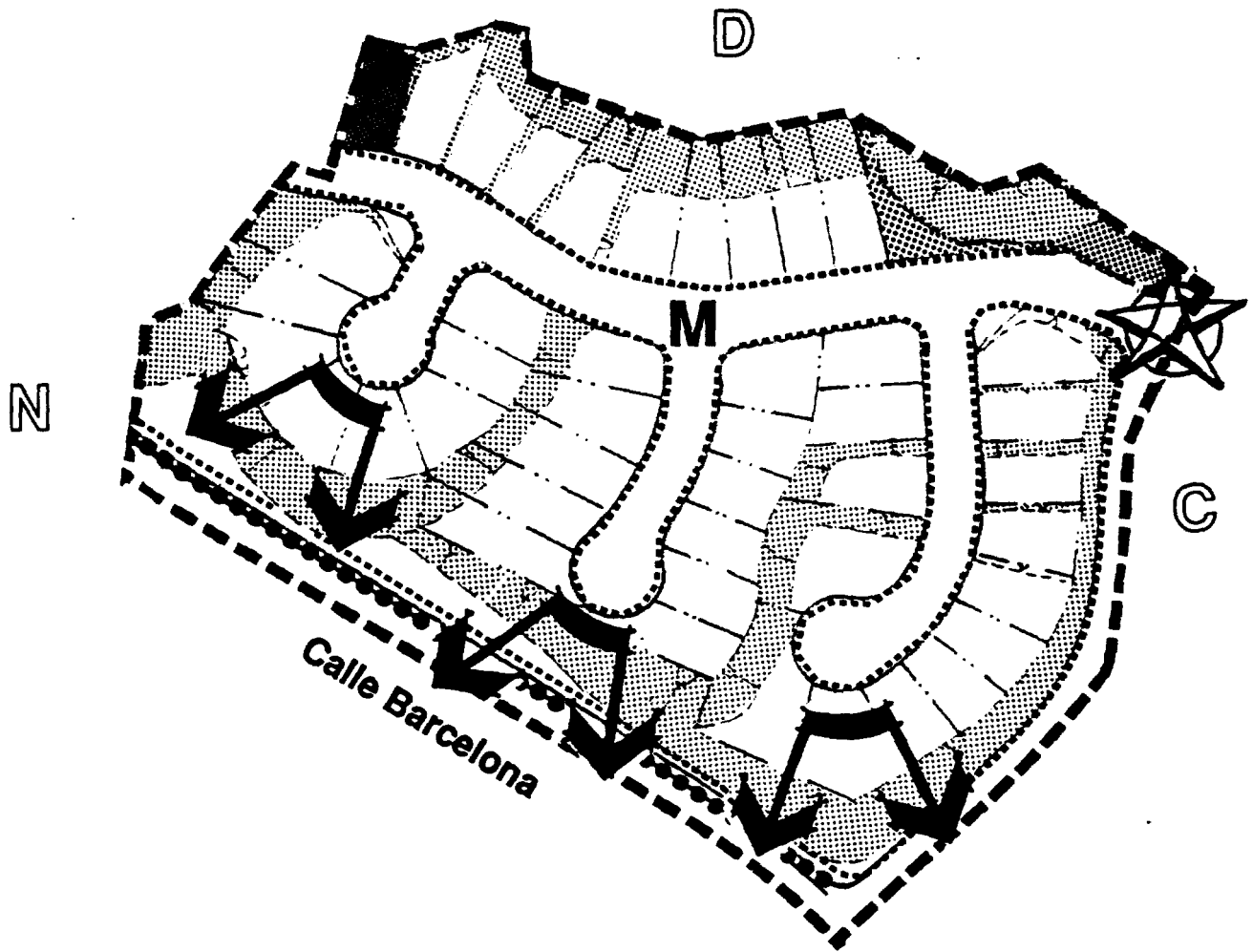
- Sound walls shall be used to mitigate noise from Calle Barcelona.
- All residences shall be setback a minimum of 30 feet from the edge of the Calle Barcelona right-of-way.
- Units shall be designed to take advantage of interior views to the south.

6. Open Space/Trails








A pedestrian/bike trail shall be constructed along Calle Barcelona and along the eastern village boundary as described in the Community Development Standards section of this Master Plan. The trail shall be maintained by the community open space maintenance district. This trail shall be designed, to the extent possible, to preclude views from the trail into the rear yards of adjacent residences.

7. **Architectural Style**

The architectural style shall be California Contemporary Mediterranean. This style is characterized by stucco exteriors and Spanish tile roofs. Some key elements in detailing are the use of deeply recessed windows and doors, arched elements, tile accents, corbels, stucco wainscoting, and a mixture of gabled and hip roofs. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.



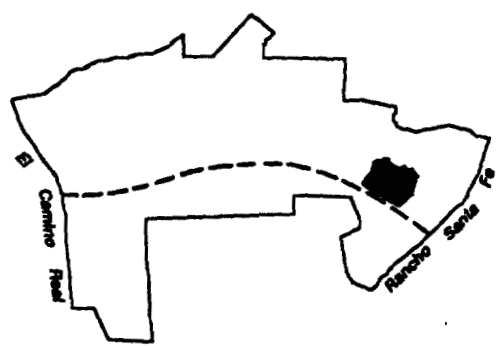
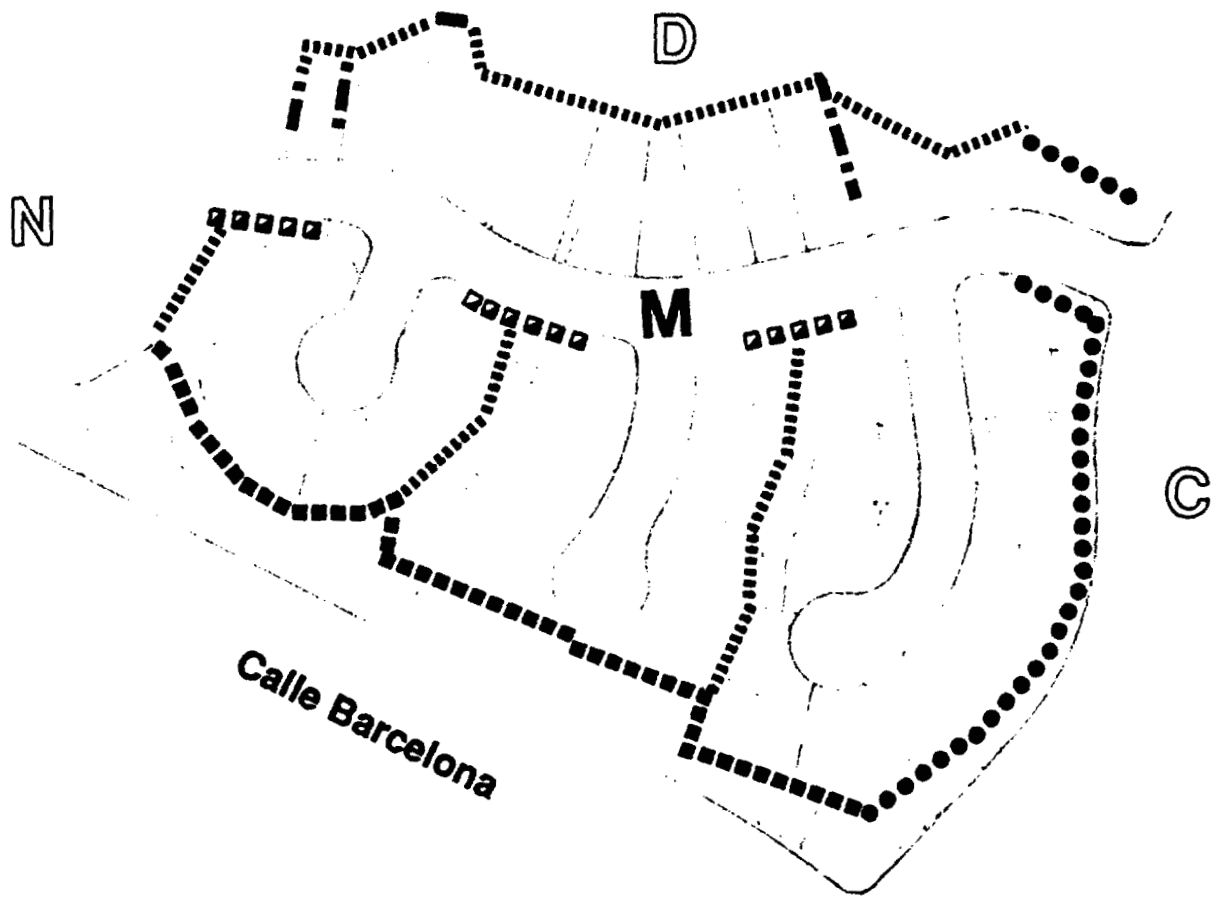
LEGEND

-  Village Entry
-  Bikeway
-  Views
-  Concrete Sidewalk
-  Open Space Lots
-  Refined Slopes
-  Village Boundary



VILLAGE M
Design Criteria





LEGEND

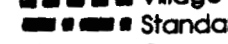
THEME WALL



VILLAGE WALL



PROJECT FENCING



Village M
Wall / Fence Location



Village N

1. Description

Village N is located immediately north of Calle Barcelona, east of El Camino Real and south of Levante Street. Village N has a gross area of 20.06 acres and a net developable area of 18.86 acres. This village will be located on a ridge which slopes down on the south side. A portion of the northern edge of the village slopes gently down to the north. Most of the view potential of this site is to the south, with some limited opportunities to the north.

2. Use Allocation

General Plan Land Use RM (4-8 DU/acre).
Arroyo La Costa Master Plan allows 76 units.

3. **Lot Size:** Minimum - 5,000 square feet.

4. **Pad Area:** Minimum - 5,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

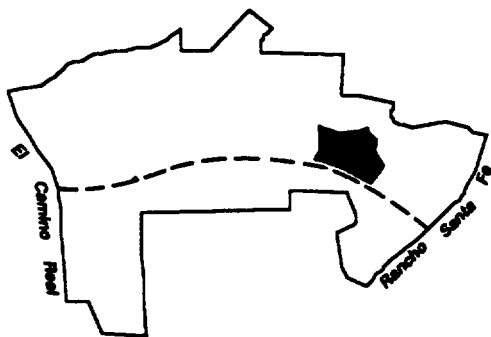
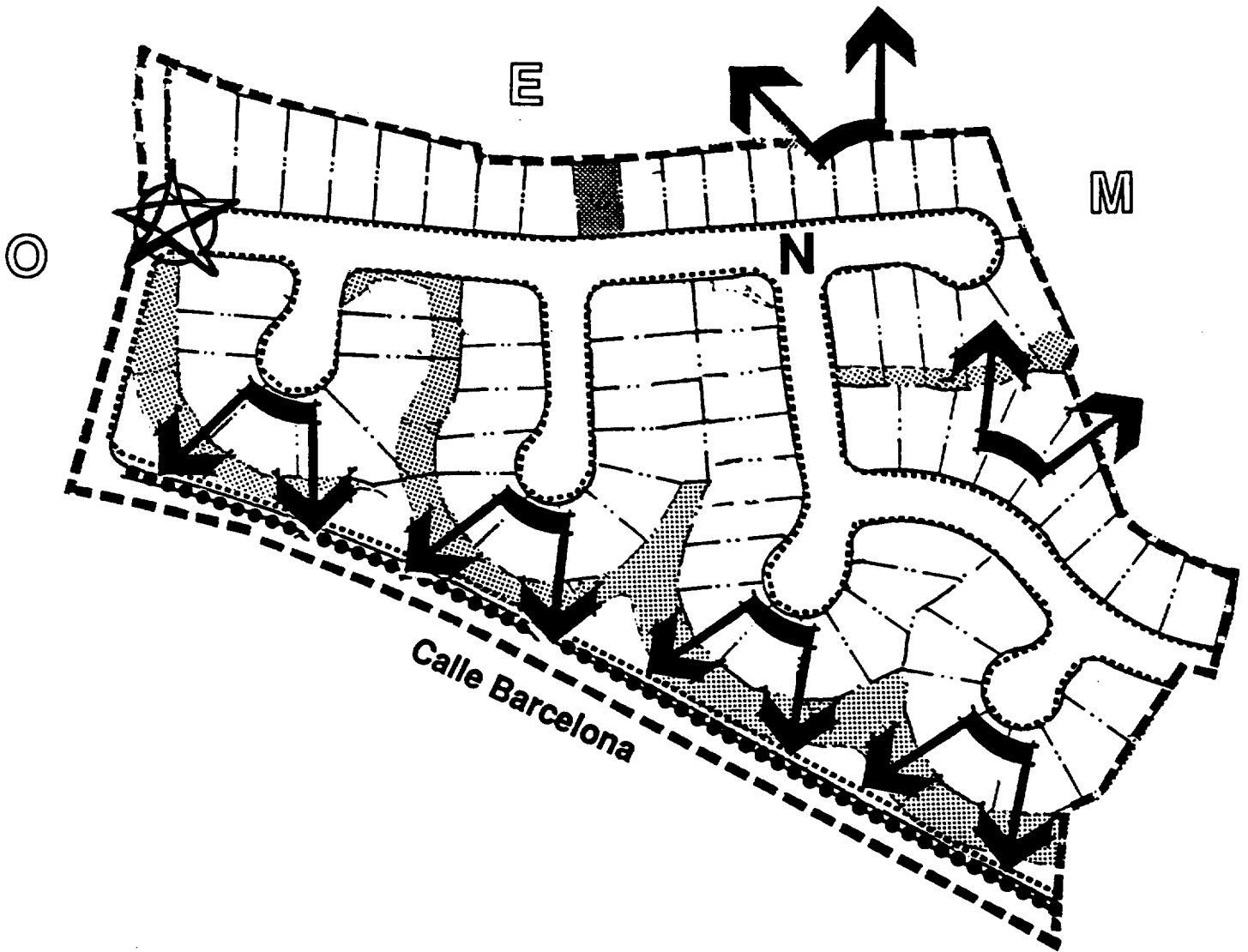
- Sound walls shall be used, where necessary, to mitigate noise along Calle Barcelona.
- All residences shall be setback a minimum of 30 feet from the edge of the Calle Barcelona right-of-way.
- Units shall be designed to take advantage of views to the north and south.

6. Open Space/Trails








A pedestrian/bike trail shall be constructed along Calle Barcelona as described in the Community Development Standards section of this Master Plan. The trail shall be maintained by the community open space maintenance district. This trail shall be designed, to the extent possible, to preclude views from the trail into the rear yards of adjacent residences.

7. **Architectural Style**

The architectural style shall be California Contemporary Mediterranean. This style is characterized by stucco exteriors and Spanish tile roofs. Some key elements in detailing are the use of deeply recessed windows and doors, arched elements, tile accents, corbels, stucco wainscoting, and a mixture of gabled and hip roofs. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.

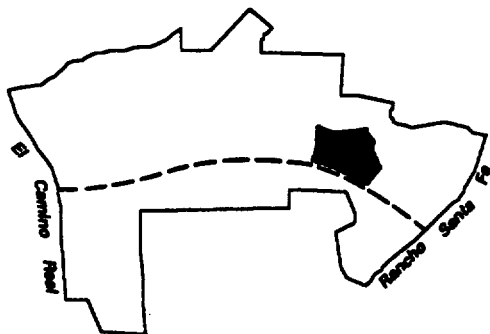
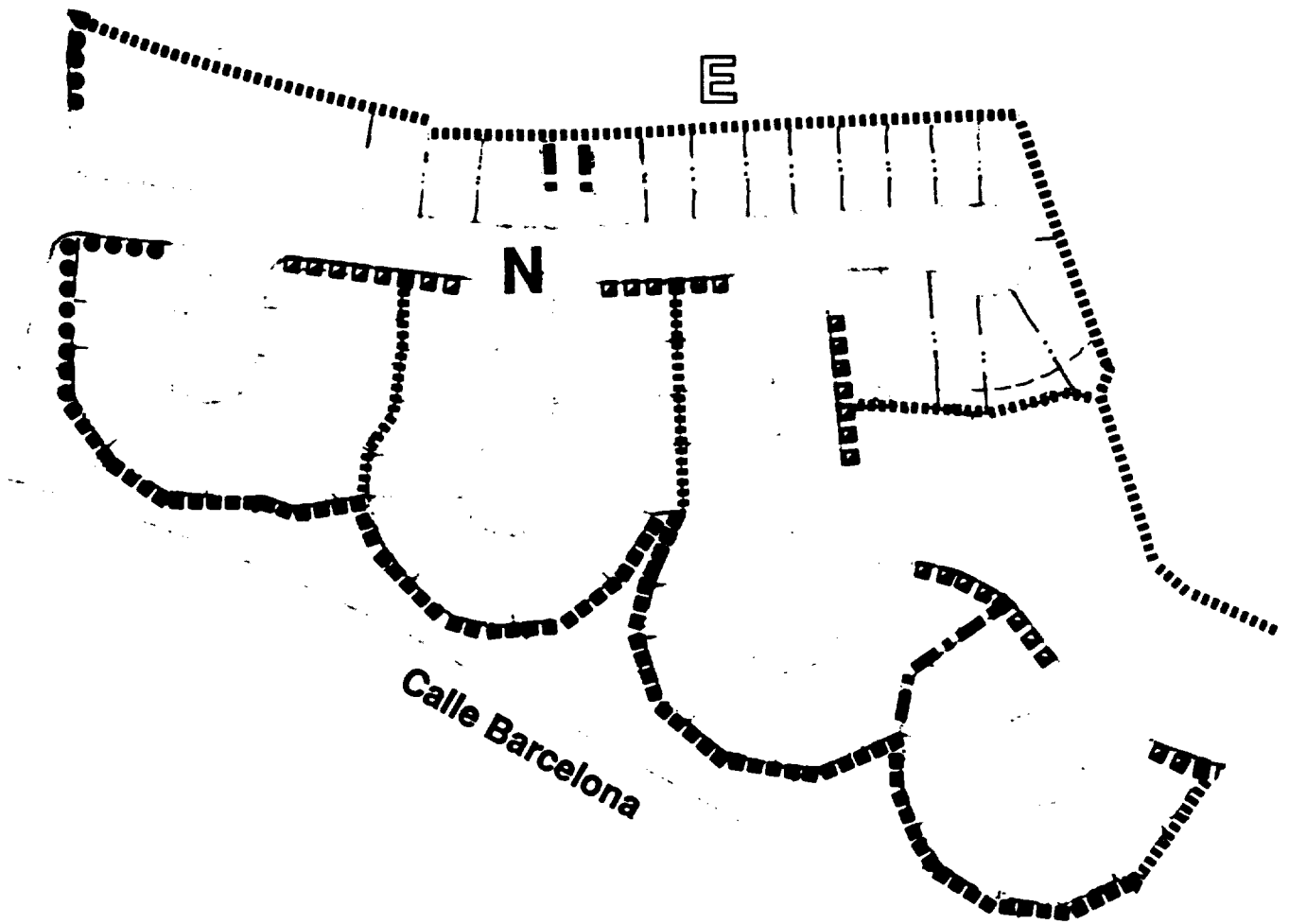


LEGEND

-  Village Entry
-  Bikeway
-  Views
-  Concrete Sidewalk
-  Open Space Lots
-  Refined Slopes
-  Village Boundary



©



LEGEND

THEME WALL

■■■■■■ Solid / Views

VILLAGE WALL

●●●●● Solid

PROJECT FENCING

□□□□□ Village

■■■■■■ Standard

■■■■■■■■■■ Open



Village N
Wall / Fence Location



Village O

1. Description

Village O is located immediately north of Calle Barcelona, east of El Camino Real and south of Levante Street. Village O has a gross area of 12.90 acres and a net developable area of 11.2 acres. This village will be located at the end of a ridge which slopes down to the north, south, and west. The western edge of this village is adjacent to the Common Recreation/Daycare Center site and the central open space/riparian corridor. This site has excellent interior views to the west and some interior views to the south.

2. Use Allocation

General Plan Land Use RM (4-8 DU/acre).
Arroyo La Costa Master Plan allows 56 units.

3. Lot Size: Minimum - 5,000 square feet.

4. Pad Area: Minimum - 5,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

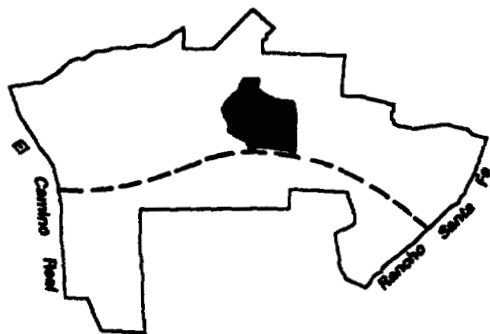
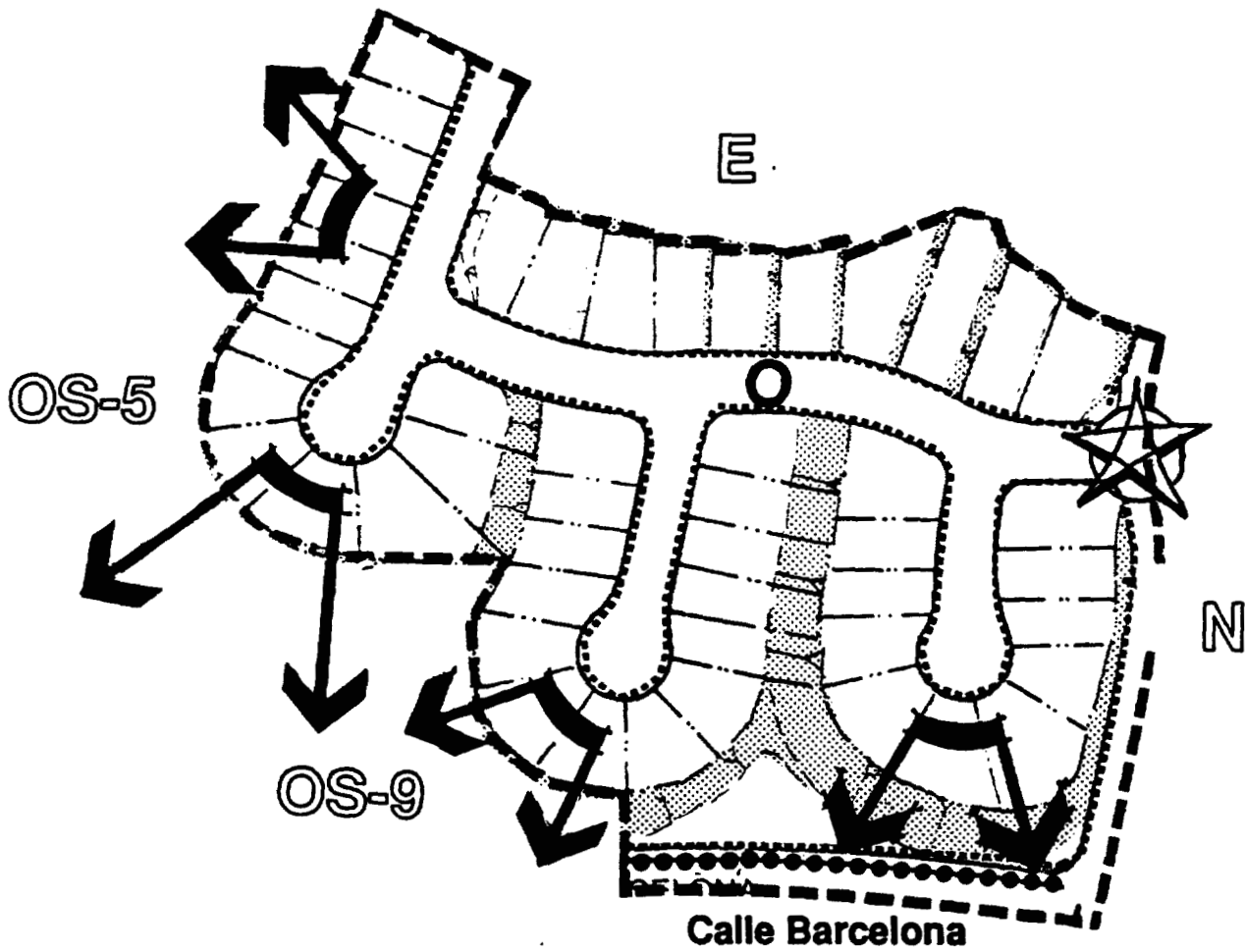
- Site planning for all lots adjacent to open space planning area OS-5 shall be designed to incorporate views into the OS-5 area adjacent to this village.
- For lots immediately adjacent to the Community Recreation/Daycare Center, disclosure to future homeowners shall be provided by means of a Declaration of Notice recorded with the County Recorder's office making the buyers aware that the homes are adjacent to a future Recreation/Daycare site.
- Sound walls shall be used, where necessary, to mitigate noise along Calle Barcelona.
- All residences shall be setback a minimum of 30 feet from the Calle Barcelona Right-of-way.

6. Open Space/Trails

A pedestrian/bike trail shall be constructed along Calle Barcelona as described in the Community Development Standards section of this Master Plan. The trail shall be maintained by the community open space maintenance district. This trail shall be designed, to the extent possible, to preclude views from the trail into the rear yards of adjacent residences.

7. Architectural Style

The architectural style shall be California Contemporary Mediterranean. This style is characterized by stucco exteriors and Spanish tile roofs. Some key elements in detailing are the use of deeply recessed windows and doors, arched elements, tile accents, corbels, stucco wainscoting, and a mixture of gabled and hip roofs. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.



LEGEND



Village Entry



Bikeway



Views

■ ■ ■ ■ Concrete Sidewalk



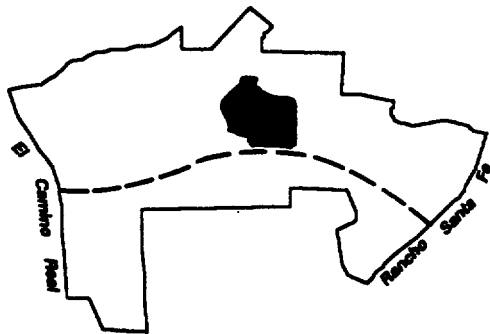
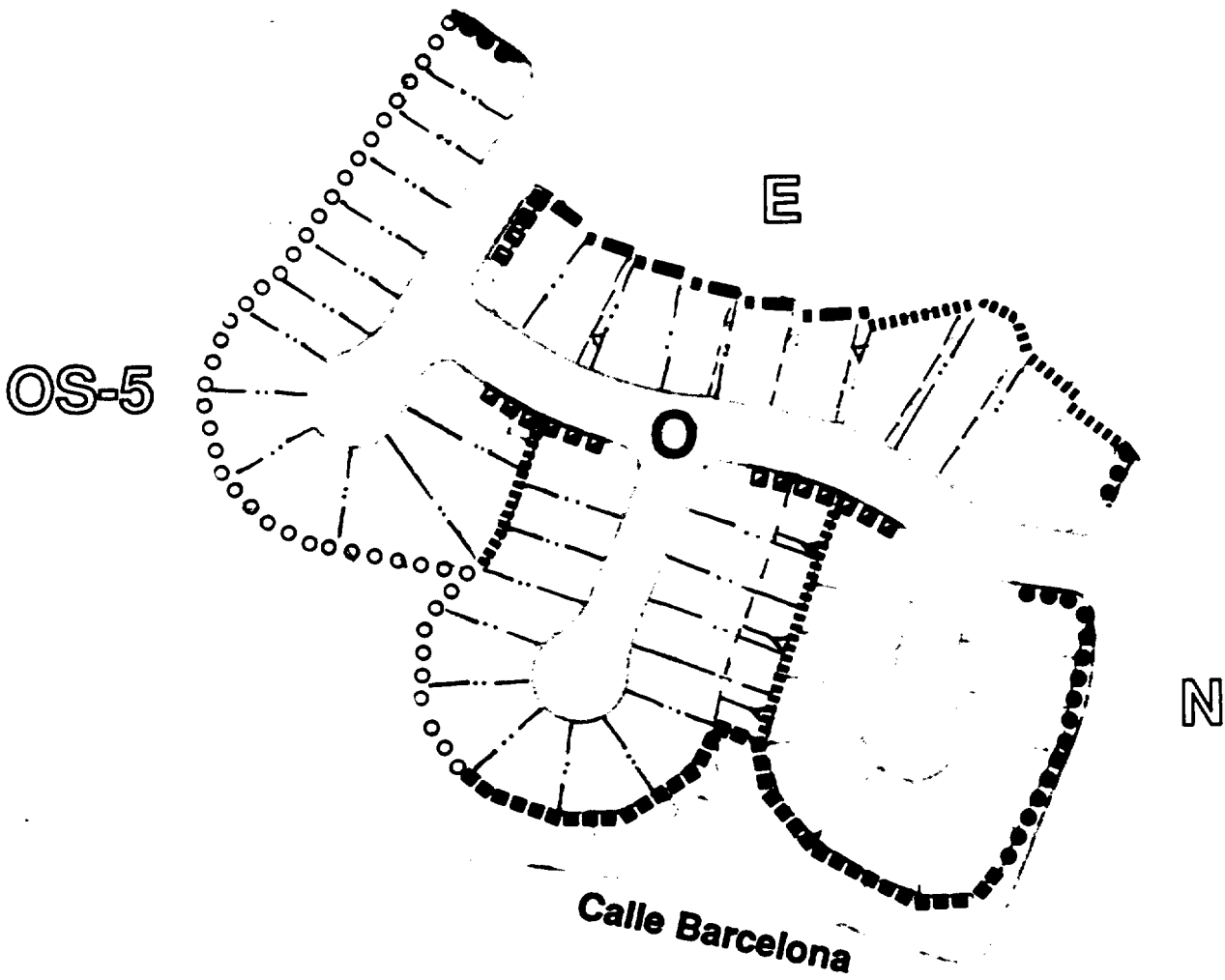
Refined Slopes

--- Village Boundary



VILLAGE O
Design Criteria





LEGEND

THEME WALL

■■■■■■■ Solid

VILLAGE WALL

●●●●● Solid
 ○○○○○ Open

PROJECT FENCING

▣▣▣▣▣ Village
 ■■■■■ Standard
 ○○○○○ Open



Village O
 Wall / Fence Location



Village P

1. Description

Village P is located immediately north of Calle Barcelona, east of El Camino Real and south of Levante Street. Village P has a gross area of 26.1 acres and a net developable area of 25.6 acres. The existing topography of this village slopes down to the south and west. This site is also adjacent to the main open space/riparian corridor which runs through the Master Plan area. A small Oak grove exists in the northern portion of this village. A portion of the Arroyo La Costa trail system is provided in the Oak grove within this Village. This site offers opportunities for views to the south into the riparian corridor and for some views into the Oak grove.

2. Use Allocation

General Plan Land Use RM (4-8 DU/acre).
Arroyo La Costa Master Plan allows 106 units.

3. Lot Size: Minimum - 5,000 square feet.

4. Pad Area: Minimum - 5,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Site planning for all lots adjacent to open space planning area OS-5 shall be designed to incorporate views into the OS-5 area adjacent to this village.
- The native Oak area in Village P shall be retained as an amenity.
- Site planning for all lots adjacent to the native Oak area shall be designed to incorporate views into the Oaks.
- Whenever possible units should be designed to take advantage of the various internal views offered by this village into the central riparian corridor as mentioned above.

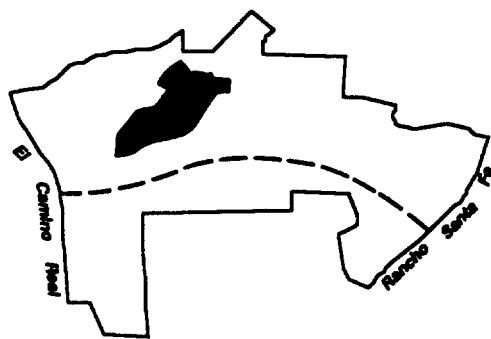
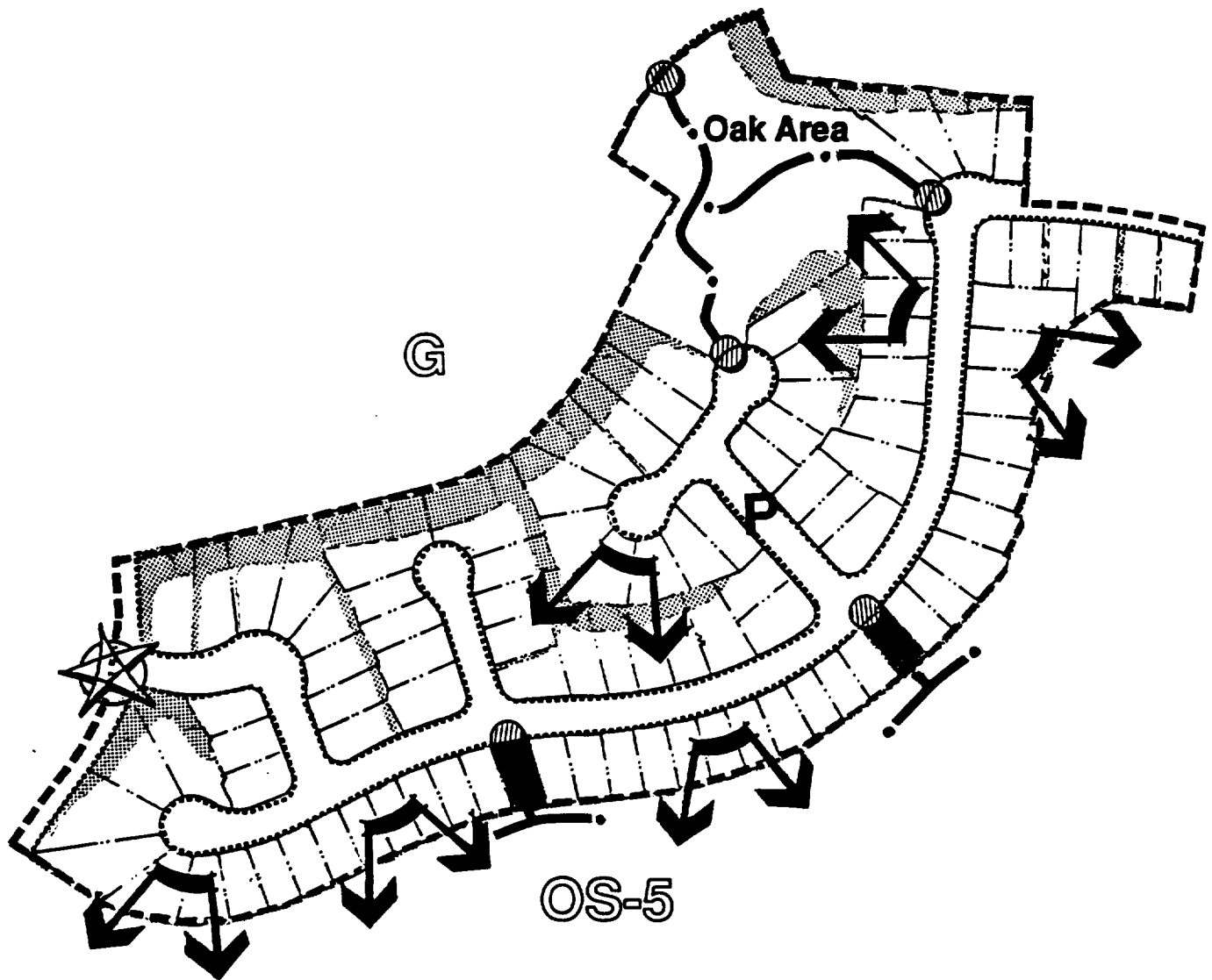
6. Open Space/Trails

This village provides for a trail through the native Oak area. This trail shall be designed to cause as little disturbance as possible to the Oaks while providing opportunities for homeowners to experience the area. This trail will tie into the sidewalk system. The Open Space Chapter contains the details of this trail.









In addition, an open space lot along the southern boundary of the village, abutting the adjacent OS-5 area, shall provide access to the adjacent open space area.

7. Architectural Style

The architectural style shall be California Contemporary Mediterranean. This style is characterized by stucco exteriors and Spanish tile roofs. Some key elements in detailing are the use of deeply recessed windows and doors, arched elements, tile accents, corbels, stucco wainscoting, and a mixture of gabled and hip roofs. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.



LEGEND

-  Village Entry
-  Trail Head
-  Trail
-  Views
-  Concrete Sidewalk
-  Open Space Lots
-  Refined Slopes
-  Village Boundary

THE
VILLAGES OF
LA COSTA

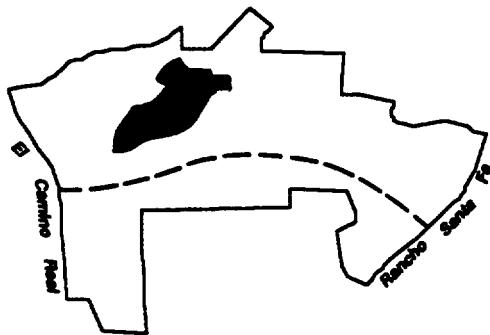
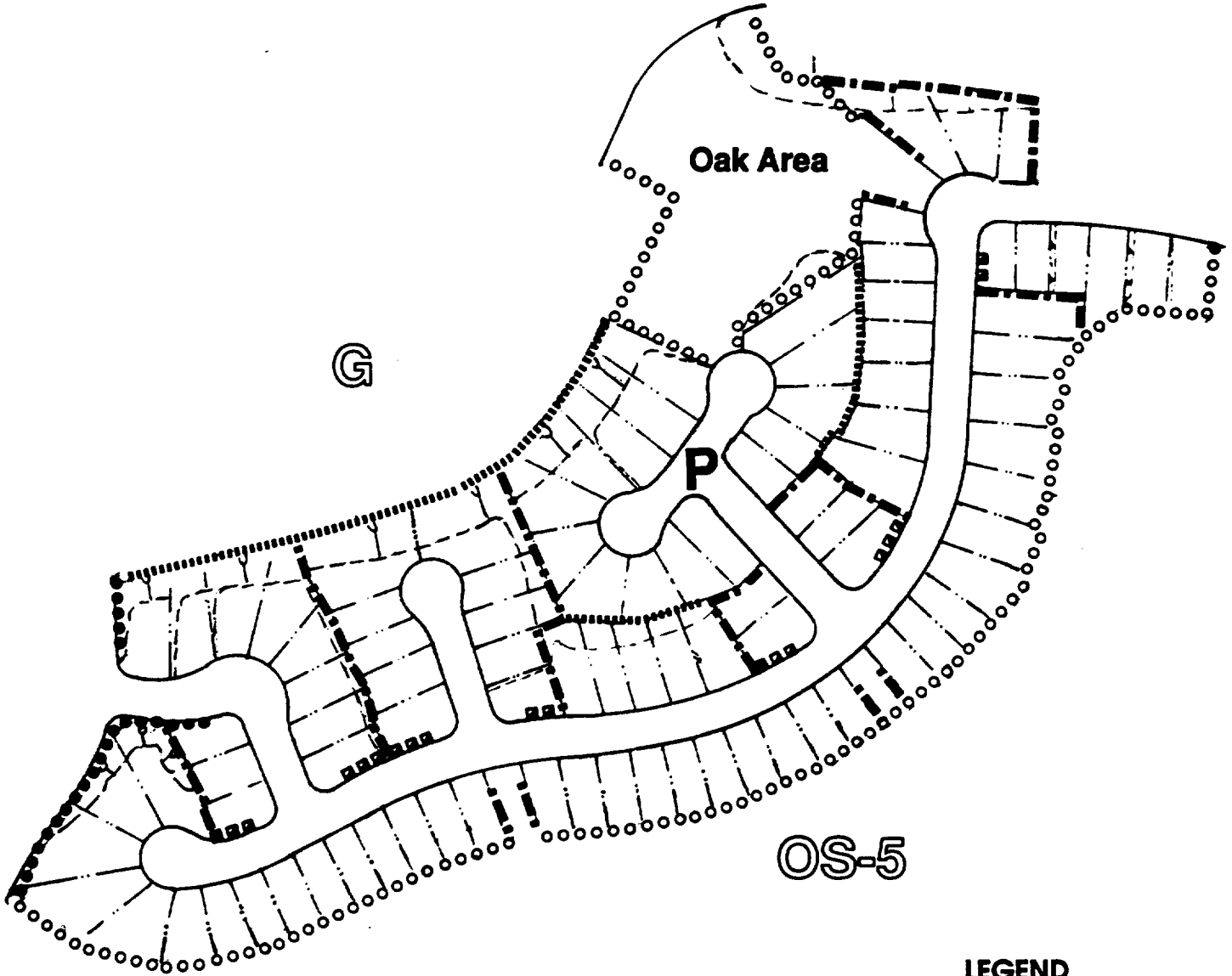
VILLAGE P
Design Criteria




EXHIBIT

VII

88



LEGEND

VILLAGE WALL

- Solid
- ○ ○ ○ ○ Open

PROJECT FENCING

- ■ ■ ■ ■ Village
- — — — — Standard
- Open



Village P
Wall / Fence Location



Village Q

1. Description

Village Q is located immediately north of Calle Barcelona, east of El Camino Real and south of Levante St. Village Q has a gross area of 17.30 acres and a net developable area of 16.55 acres. A 150 foot wide SDG&E easement forms the western boundary of this village. An elementary school will be located adjacent to the eastern edge of this village. The existing topography of this site slopes down to the south providing opportunities for interior views and some views to the west.

2. Use Allocation

General Plan Land Use RM (4-8 DU/acre).
Arroyo La Costa Master Plan allows 78 units.

The southern area of Village Q is designated as an alternative church site. If a Site Development Plan for a church is approved in Village J then these 16 lots shall be developed for residential purposes. A deed restriction shall be placed over these 16 lots limiting them to use for church purposes only unless a Site Development Plan for a church is approved on Village J. This deed restriction shall also prohibit any individual lot being used for church purposes. It shall state that if this area is used for church purposes, the entire 3.4 acre site must be utilized.

Although the area designated for development of a church site in Village Q is substantially smaller than the Village J site, the area in Village Q does not have the restrictions imposed in Village J by the unusual shape and soils problems of the site. Studies of existing church sites in Carlsbad show that the average church site is two acres. The Village Q alternative church site is larger than this average.

If the Army Corps of Engineers or the Federal Wildlife service requires a portion or all of the Village Q alternative church site for wetland mitigation, the developer of the site shall designate another church site, the location and size of which is to be determined by the Planning Director. This shall occur prior to approval of any final maps and shall be presented to the Planning Commission as an information item.

3. Lot Size: Minimum - 5,000 square feet.

4. Pad Area: Minimum - 5,000 square feet.

5. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- For lots immediately adjacent to the elementary school site, disclosure to future homeowners shall be provided making the buyers aware that the homes are adjacent to a future school site.
- Site planning for this village shall incorporate views into the adjacent open space area to the west (OS-6) as amenities to the village.

If the southern portion of this site is developed for church purposes, a Site Development Plan must be approved by the Planning Commission prior to the start of construction. The church shall be designed to be compatible with the surrounding neighborhood and conform to the requirements of the El Camino Real Scenic Corridor Study. The site design shall incorporate a minimum 30 foot wide landscaped buffer to be located on the south side of the adjacent homes between the residential development and the church. A minimum 30 ft. wide landscaped setback shall be provided along Street C.

- Residents of Village Q located adjacent to the potential church site shall be made aware by means of a Declaration of Notice to be recorded with the County Recorder's Office that the property to the east has been designated as a potential church site.

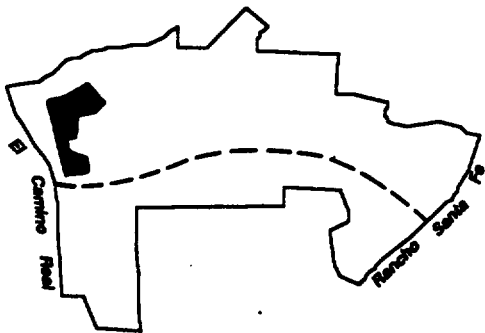
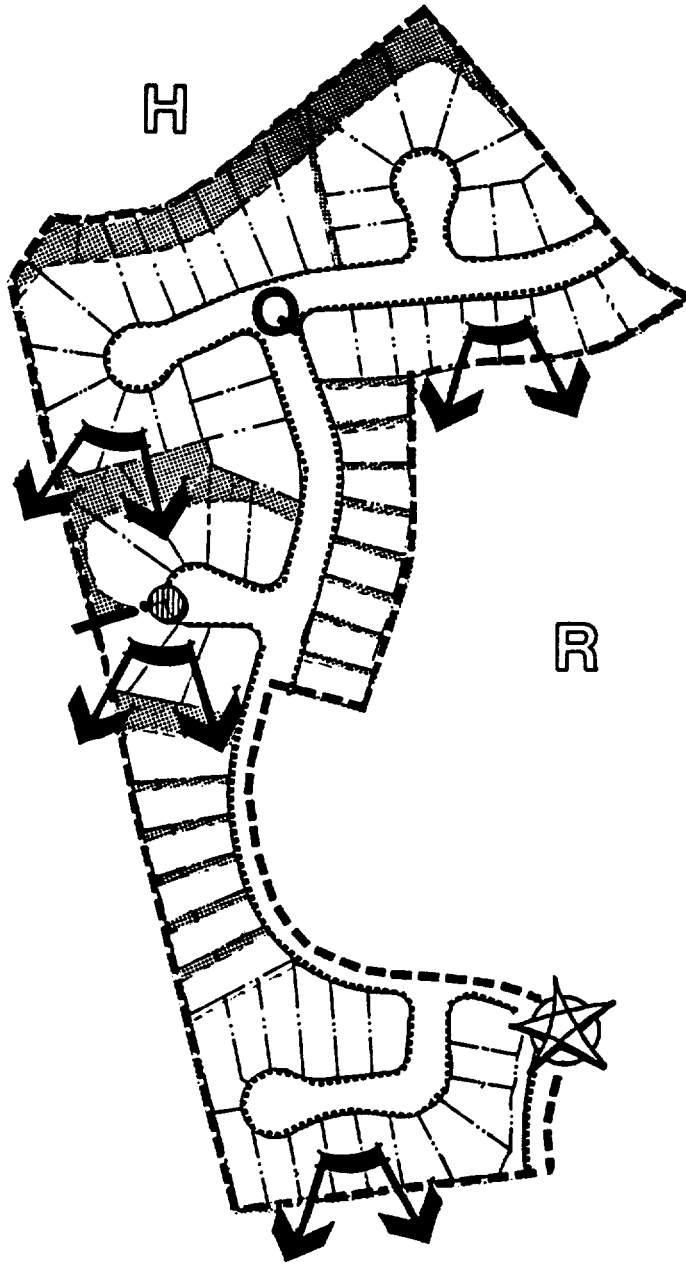
6. Open Space/Trails

Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie in to the bike/pedestrian trails.



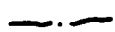




7. Architectural Style

The architectural style shall be California Contemporary Mediterranean. This style is characterized by stucco exteriors and Spanish tile roofs. Some key elements in detailing are the use of deeply recessed windows and doors, arched elements, tile accents, corbels, stucco wainscoting, and a mixture of gabled and hip roofs. The exact style may be modified subject to the Development Review Process Chapter of this Master Plan.

OS-6



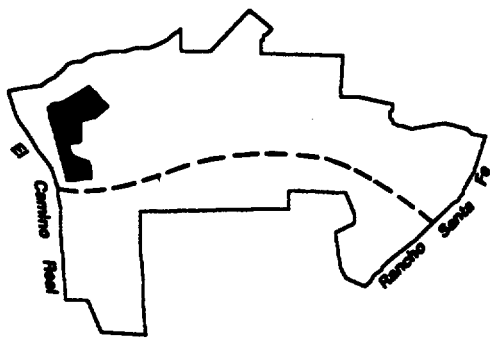
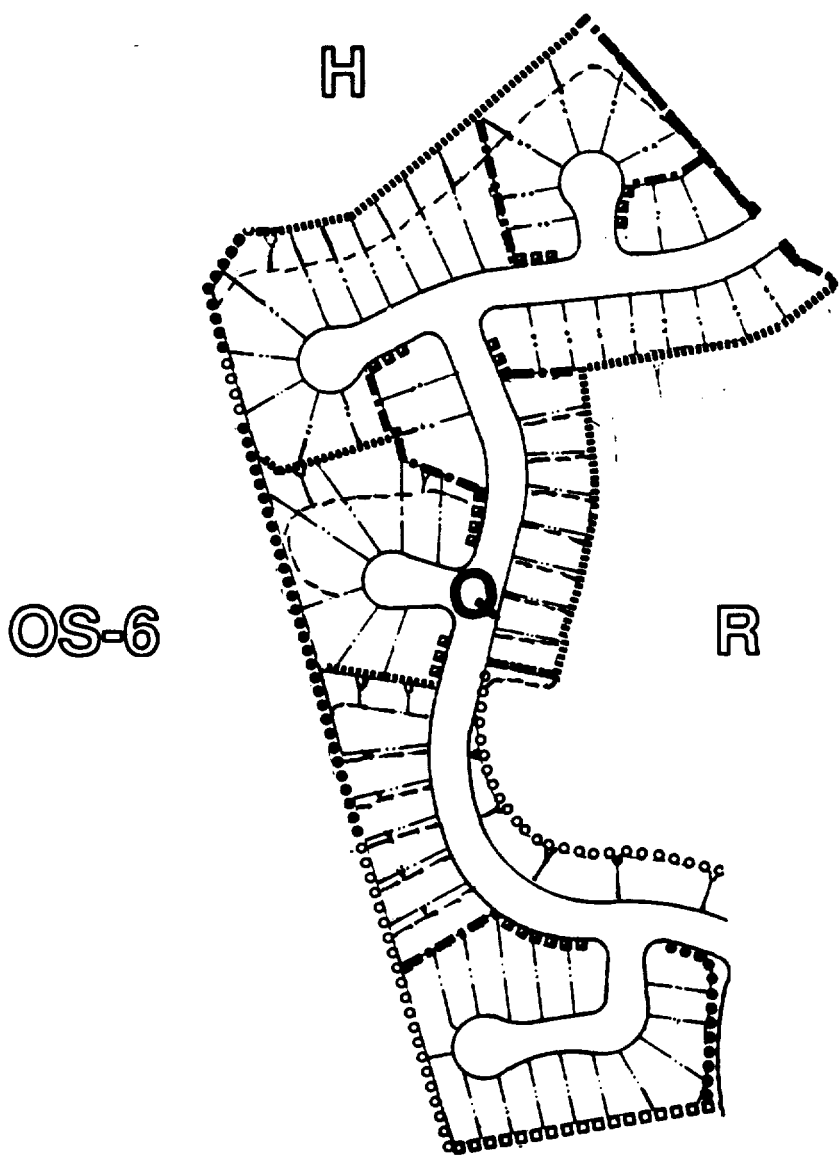
LEGEND

-  Village Entry
-  Trail Head
-  Trail
-  Views
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary



VILLAGE Q
Design Criteria





LEGEND

THEME WALL

□□□□□ Open

VILLAGE WALL

●●●●● Solid
○ ○ ○ ○ ○ Open

PROJECT FENCING

■ ■ ■ ■ ■ Village
— — — — — Standard
⋯⋯⋯⋯⋯ Open



Village Q
Wall / Fence Location



EXHIBIT

VII
91

Village R

1. Description

Village R provides for an Elementary school site. This village is located immediately north of Calle Barcelona, east of El Camino Real and south of Levante Street. Village R has a gross acreage of 13.3 and a net acreage of 12.8 acres. The existing topography of this site slopes down to the south. The central open space/riparian corridor is located along the southeastern edge of the village.

2. Use Allocation

General Plan Land Use E (Elementary School Site).

This site was chosen as an elementary school site by representatives of the Encinitas School District for the following reasons:

- a. It was farthest away from the existing schools at Levante Street and the intersection of Calle Barcelona and Rancho Santa Fe Road. The district preferred to space the schools as far from other schools to provide better service and accessibility to students.
- b. The majority of the students attending this school would not have to cross Calle Barcelona, a secondary arterial.
- c. This site was separated from the junior high school site.

3. Reversion to Residential Use

In the event Village R is not required by the Encinitas or San Dieguito School Districts for school purposes within ten (10) years from the recordation of the last adjacent subdivision map, or if the school districts specify in writing that the site is not needed for school purposes, the underlying land use shall change from school facilities to Open Space. If it is determined that additional open space is not needed, the underlying land use may change from school facilities to residential low-medium density (RLM) upon approval by the City Council of the following:

- a. General Plan Amendment;
- b. Master Plan Amendment;
- c. Local Facilities Management Plan Amendment;
- d. Tentative Map Amendment; and
- e. Planned Unit Development Permit.

4. **Special Design Criteria**

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

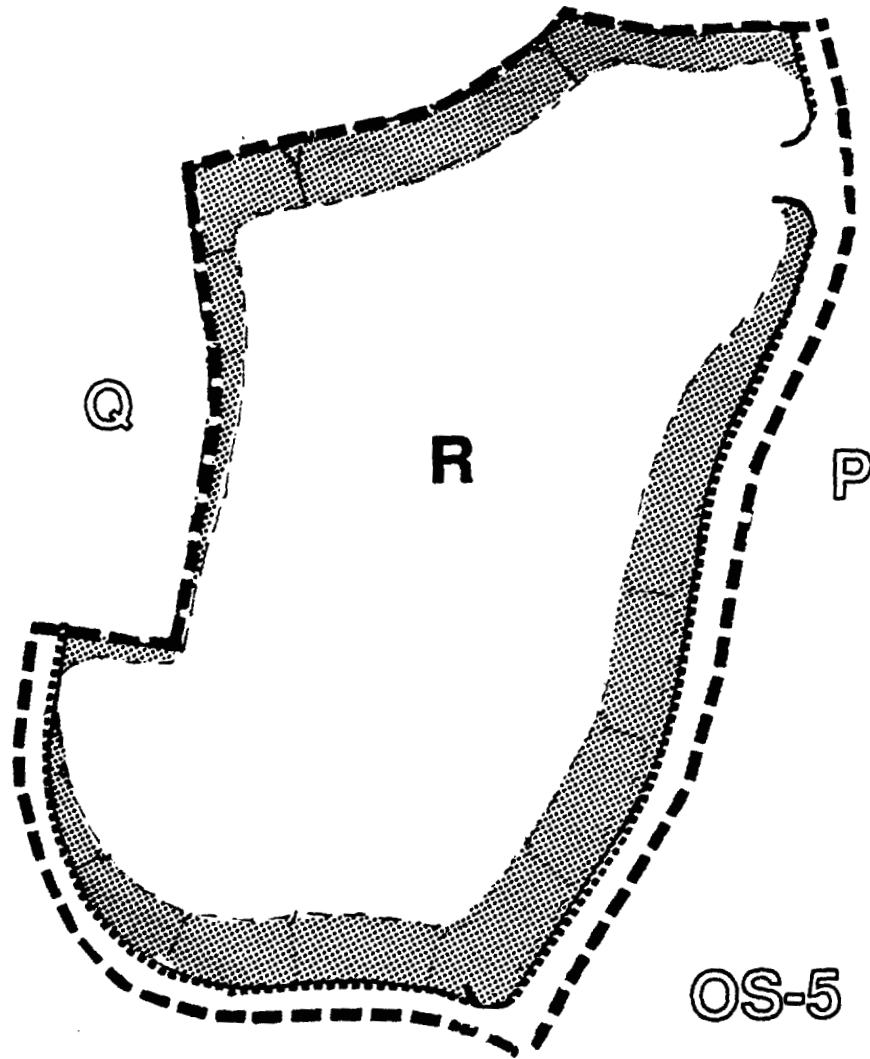
- A Site Development Plan must be approved by the Planning Commission prior to the development of a school on this site; however, this requirement may be waived by a 2/3 vote of the school board.
- This village shall gain its main access from the northwest corner of this site. A secondary access may be provided from the central western portion of the site if the school district determines a second access is necessary.
- The slopes along the perimeter of this village shall be heavily landscaped to provide a visual buffer between the school and adjacent residential villages.
- Prior to occupancy of the first unit in Village Q, a sign shall be posted identifying this village as a future school site.

5. **Open Space/Trails**

Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie in to the bike/pedestrian trails.

6. **Architectural Style**

The architecture of the school should be compatible with adjacent residential development which has a California Contemporary Mediterranean style of architecture.



LEGEND

●●● Concrete Sidewalk

▨ Refined Slopes

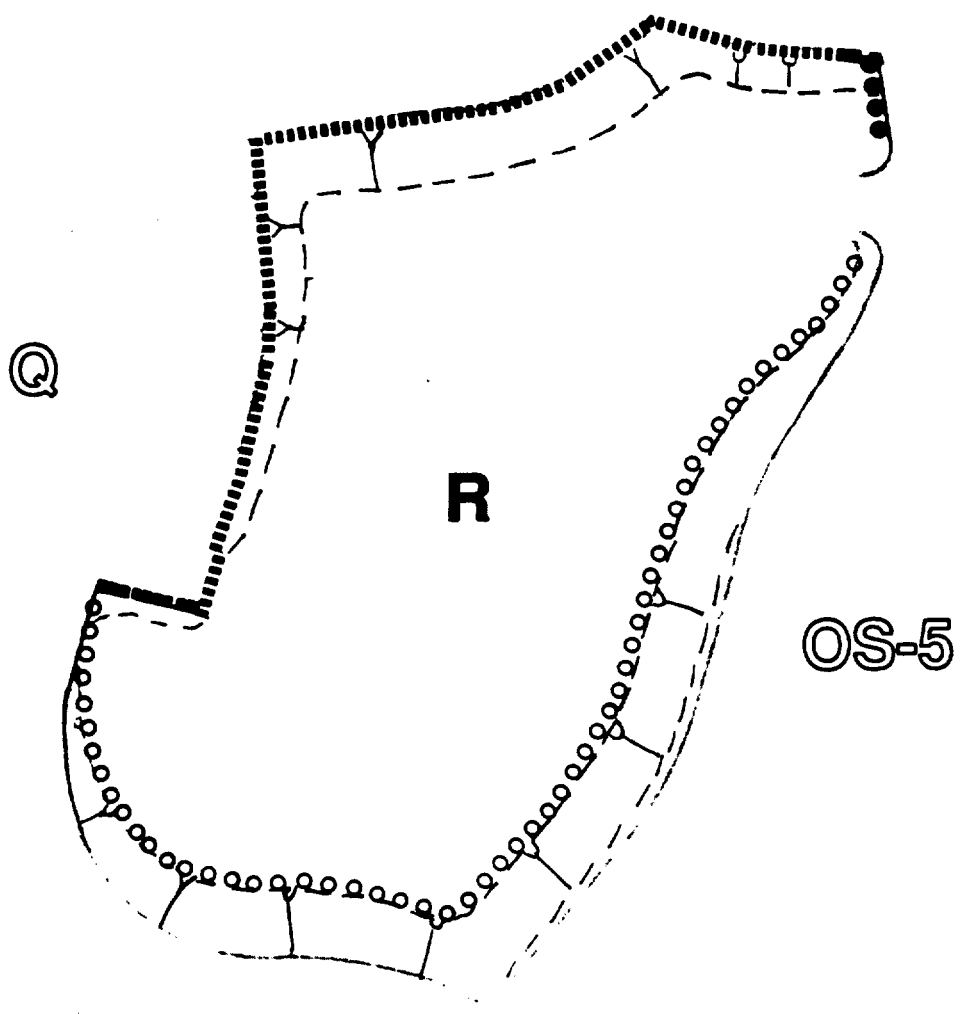
--- Village Boundary

THE
VILLAGES OF
LA COSTA

VILLAGE R
Design Criteria



EXHIBIT
VII
92



OS-5

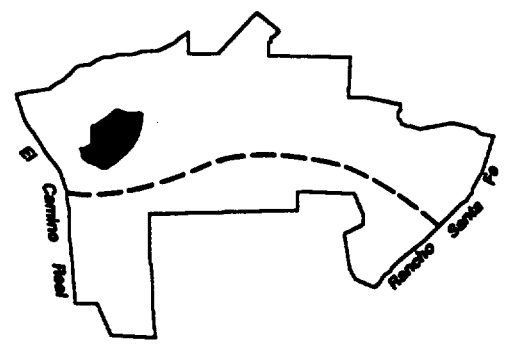
LEGEND

VILLAGE WALL

- Solid
- ○ ○ ○ ○ Open

PROJECT FENCING

- Open



Village R
Wall / Fence Location



Village S

1. Description

Village S provides for a Junior High School site. This village is located immediately south of Calle Barcelona, east of El Camino Real and north of the existing Rancho Del Ponderosa community. Village S has a gross acreage of 27.4 acres and a net acreage of 24.5 acres. The existing topography of this site slopes down to the north and west.

2. Use Allocation

General Plan Land Use J (Junior High School Site).

This site was chosen by representatives of the San Dieguito Union High School District for the following reasons:

- a. The site is located adjacent to Calle Barcelona for quick and easy access with minimal impacts on the surrounding residential areas.
- b. This village could be graded into a flat 20+ acre school site.
- c. This village was not adjacent to the central open space/riparian corridor.

3. Reversion to Residential Use

In the event Neighborhood S is not required by the Encinitas or San Dieguito School Districts for school purposes within ten (10) years from the recordation of the last adjacent subdivision map, or if the school districts specify in writing that the site is not needed for school purposes, the underlying land use shall change from school facilities to Open Space. If it is determined that additional open space is not needed, the underlying land use may change from school facilities to residential low-medium density (RLM) upon approval by the City Council of the following:

- a. General Plan Amendment;
- b. Master Plan Amendment;
- c. Local Facilities Management Plan Amendment;
- d. Tentative Map Amendment;
- e. Planned Unit Development Permit.

4. **Special Design Criteria**

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

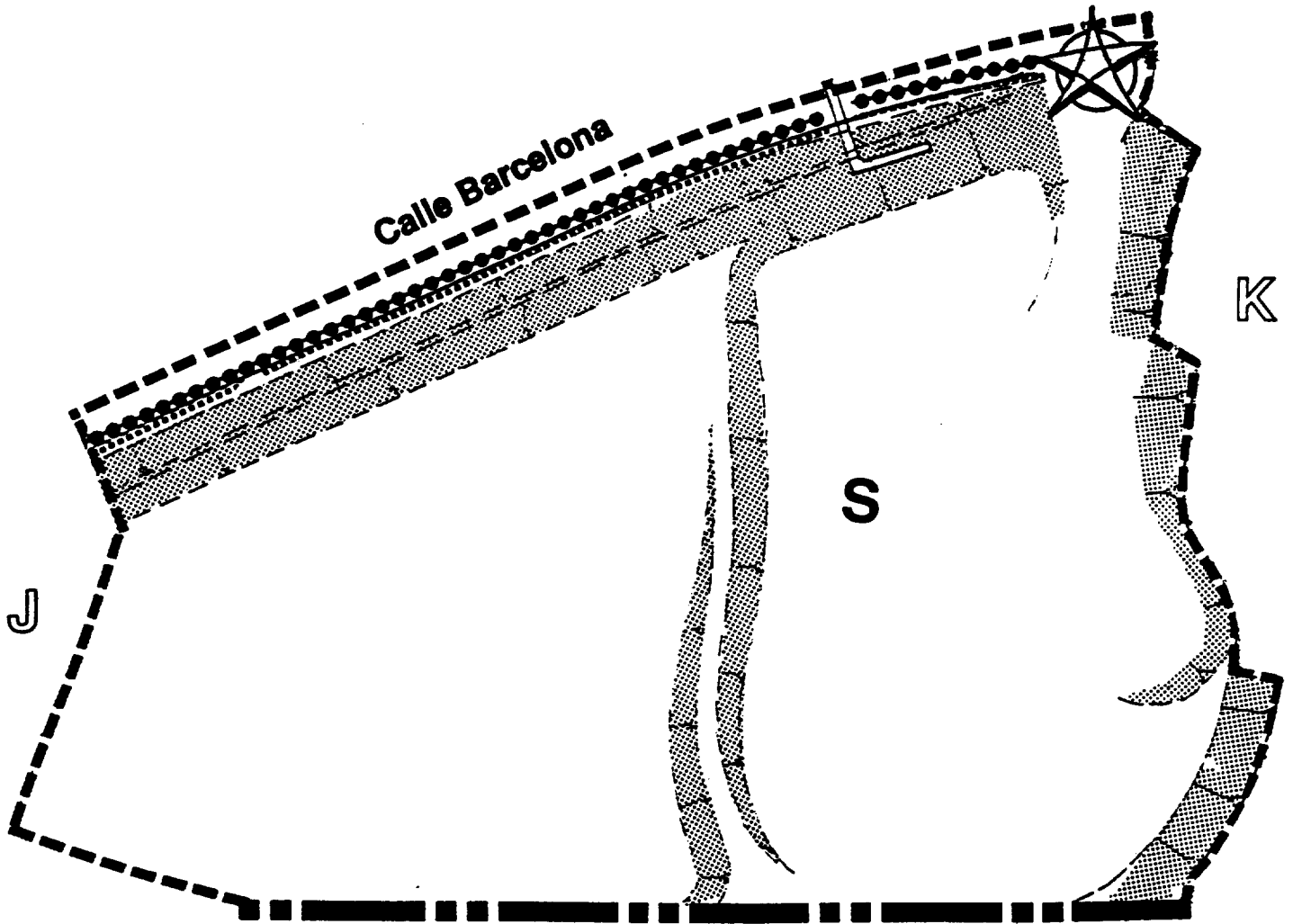
- A Site Development Plan must be approved by the Planning Commission prior to development of the school on this site; however, this requirement may be waived by a 2/3 vote of the school board.
- This village shall gain access from Calle Barcelona at the northwest edge of the site.
- The slopes adjacent to the school site shall be heavily landscaped to provide a buffer between the school and existing and future residences.
- Prior to occupancy of the first unit in Village I or K, a sign shall be posted identifying this village as a future school site.

5. **Open Space/Trails**

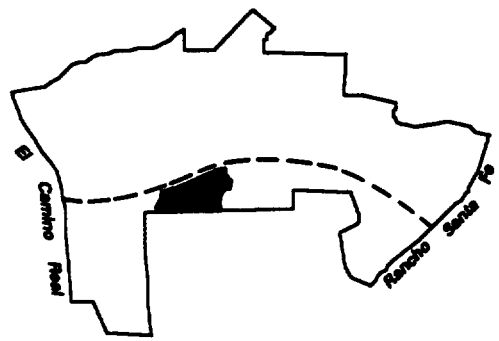
Although this village does not include a designated bike/pedestrian trail, the sidewalks within this village will tie in to the bike/pedestrian trails.

6. **Architectural Style**







The architecture of the school should be compatible with adjacent residential development which is Traditional Monterey.



Rancho Del Ponderosa



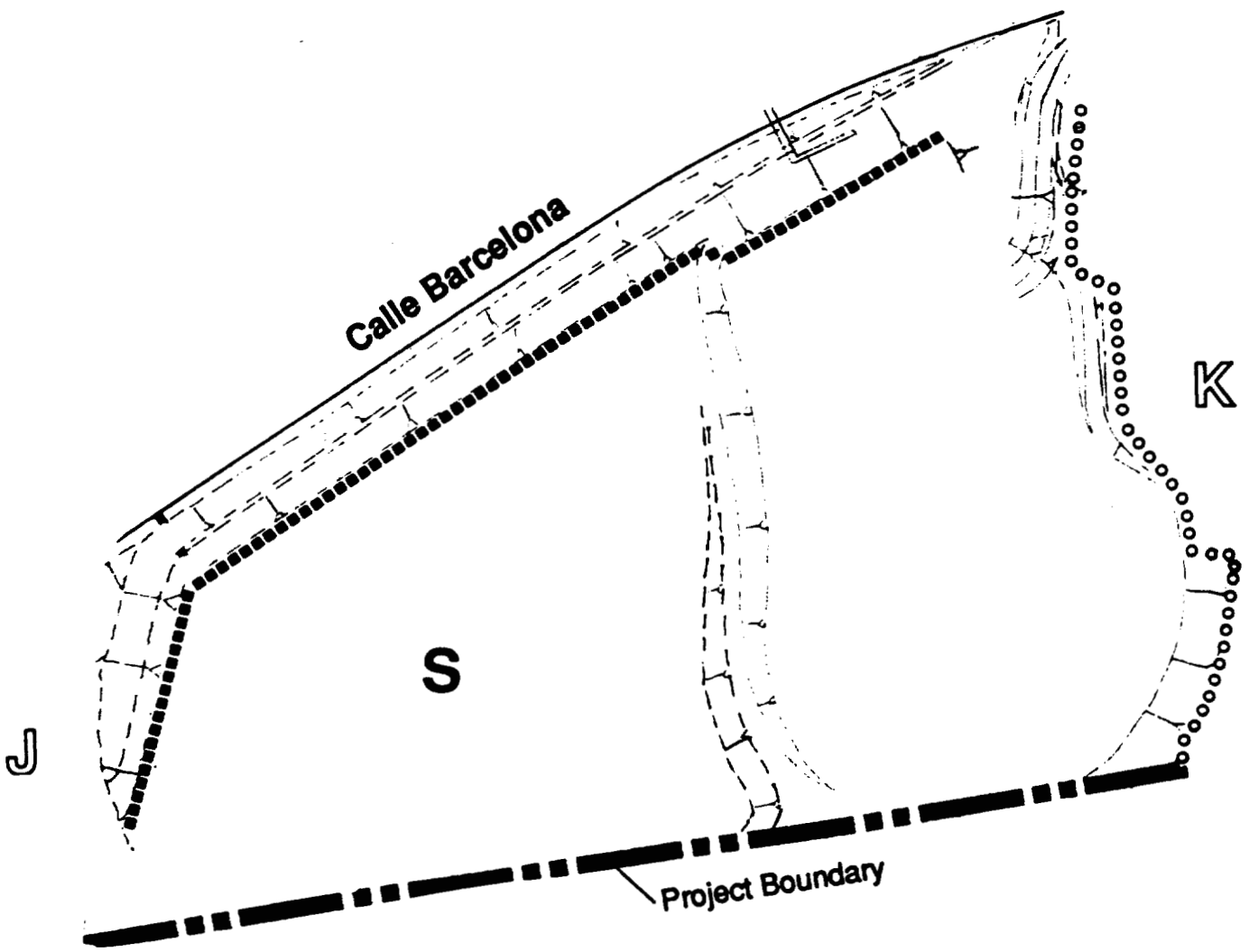
LEGEND

-  Village Entry
-  Bikeway
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary
-  Project Boundary



VILLAGE S
Design Criteria





Rancho Del Ponderosa

LEGEND

THEME WALL

■■■■■■ Solid

VILLAGE WALL

○○○○○ Open



Village S
Wall / Fence Location



D. **OPEN SPACE AREAS**

Open Space Area OS-1

Open Space Area OS-1 is the open space area that was created when the Santa Fe Ridge project was developed. This Open Space Area is located south of Calle Barcelona between the existing Santa Fe Ridge project and Village B of the Arroyo La Cosa Master Plan. Open Space Area OS-1 has a gross acreage of 4.0 and a net acreage of 3.95.

Open Space Area OS-1 is not a part of the Arroyo La Costa Master Plan. It is only included in this document because it was also a part of the southwest portion of the original La Costa Master Plan. The existing trail and passive recreation facilities within Open Space Area OS-1 area are maintained by the Santa Fe Ridge Homeowner's Association. These facilities are for the use of the residents of Santa Fe Ridge only.

Open Space Area OS-2

1. **Description**

Open Space Area OS-2 provides for passive recreational open space uses. This Open Space Area is located south of Calle Barcelona, between the existing Santa Fe Ridge neighborhood and Village B. Open Space area OS-2 has a gross acreage of 1.7 and a net acreage of 1.6 acres.

2. **Use Allocation**

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan does not allow any residential development.

3. **Special Design Criteria**

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- . Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space area of the Santa Fe Ridge Project.
- . Landscaping planted in the open space area shall be compatible with the existing native vegetation in this area.

- This open space area shall be developed concurrently with the Village B of this Master Plan.

4. Trails

A pedestrian trail shall be provided in this open space area per the specifications of the Community Development Standards section of this Master Plan. This trail will tie into the sidewalks along Rancho Santa Fe Road.

In addition, this trail may connect with the existing par course in the adjacent Santa Fe Ridge project. If the homeowners of Santa Fe Ridge do not want to make this connection nor share in the cost of maintaining the trail and open space, then this trail shall be kept separate from the existing trail in the Santa Fe Ridge project.

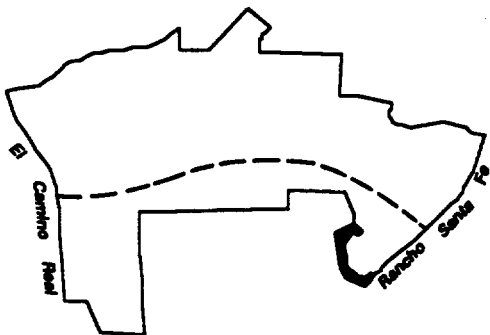
The trail shall be designed, to the extent possible, to preclude views into neighboring residences and yards.

Santa Fe Ridge

OS-2

B

Rancho Santa Fe



LEGEND

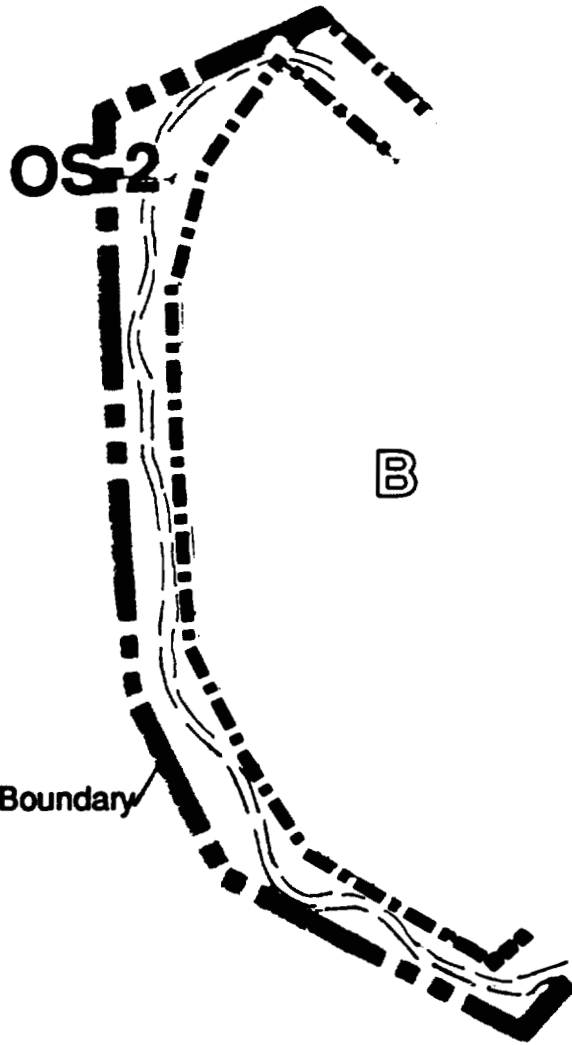
-  Trail Head
-  Village Boundary
-  Trail
-  Project Boundary



O.S.- 2
Design Criteria



Santa Fe Ridge



Project Boundary

O.S.-2

B

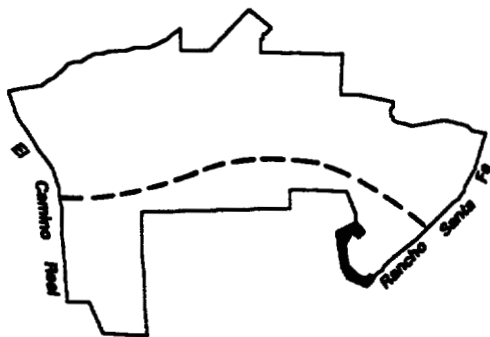
LEGEND

THEME WALL

■■■■■■■ Solid

PROJECT FENCING

■■■■■■■ Standard



O.S.- 2
Wall / Fence Location



Open Space Area OS-3

1. Description

Open Space Area OS-3 consists of an open space corridor leading from the local collector street which provides access to Village C to an existing riparian habitat area.

Open Space Area OS-3 provides for passive recreational open space uses and preservation of the riparian area. This Open Space Area is located north of Calle Barcelona and west of Rancho Santa Fe Road, between Villages C and D. Open Space Area OS-3 has a gross acreage of 4.81 and a net acreage of 3.96 acres.

2. Use Allocation

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan does not allow any residential development.

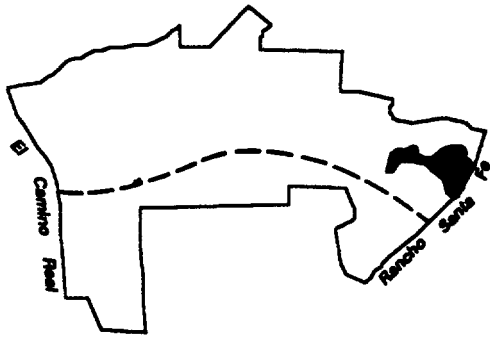
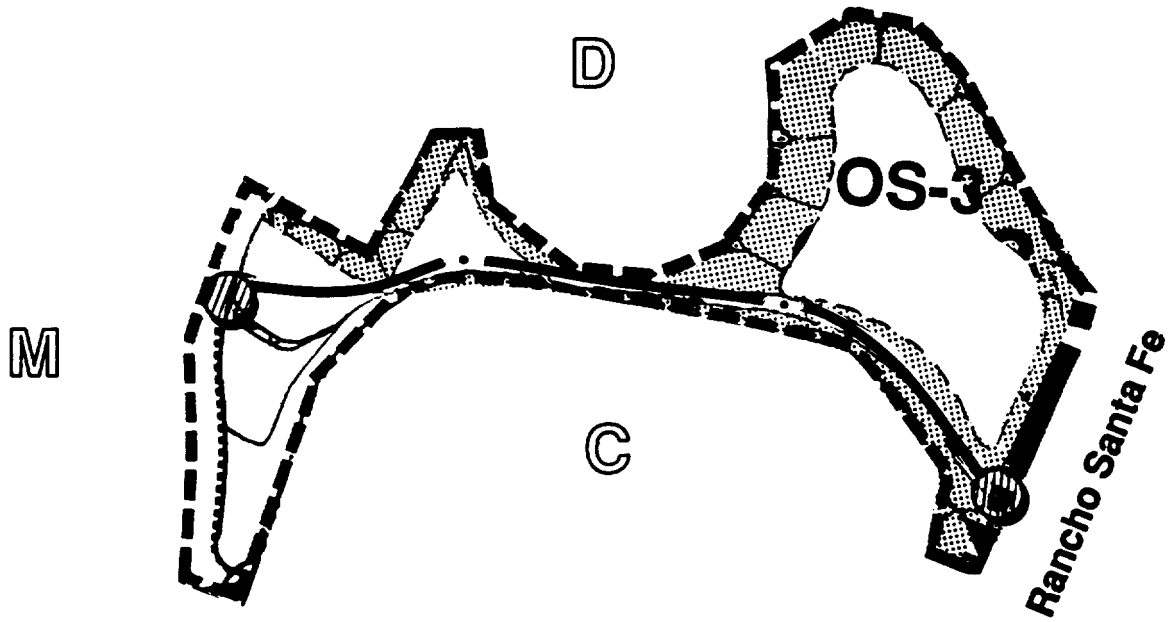
3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall incorporate and preserve the riparian/willow area within its boundaries with minimal impact to the vegetation.
- This area shall have a minimum width of forty feet.
- This open space area shall be developed concurrently with the first village to develop immediately adjacent to OS-3.

4. Trails

This open space area provides for an important link in the bike/pedestrian trail system which runs through the Master Plan. The trail shall be built per the specifications of the Community Development Standards section in order to provide for pedestrian/bike traffic from Calle Barcelona to the eastern limits of the project. This trail shall be designed, to the extent possible, to preclude views into neighboring residences and yards.



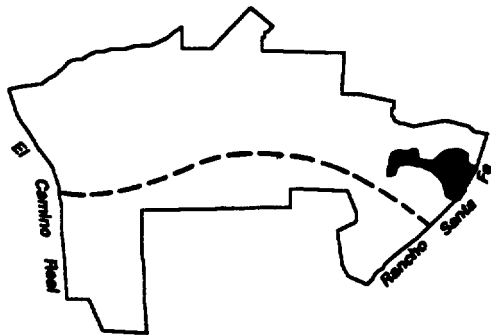
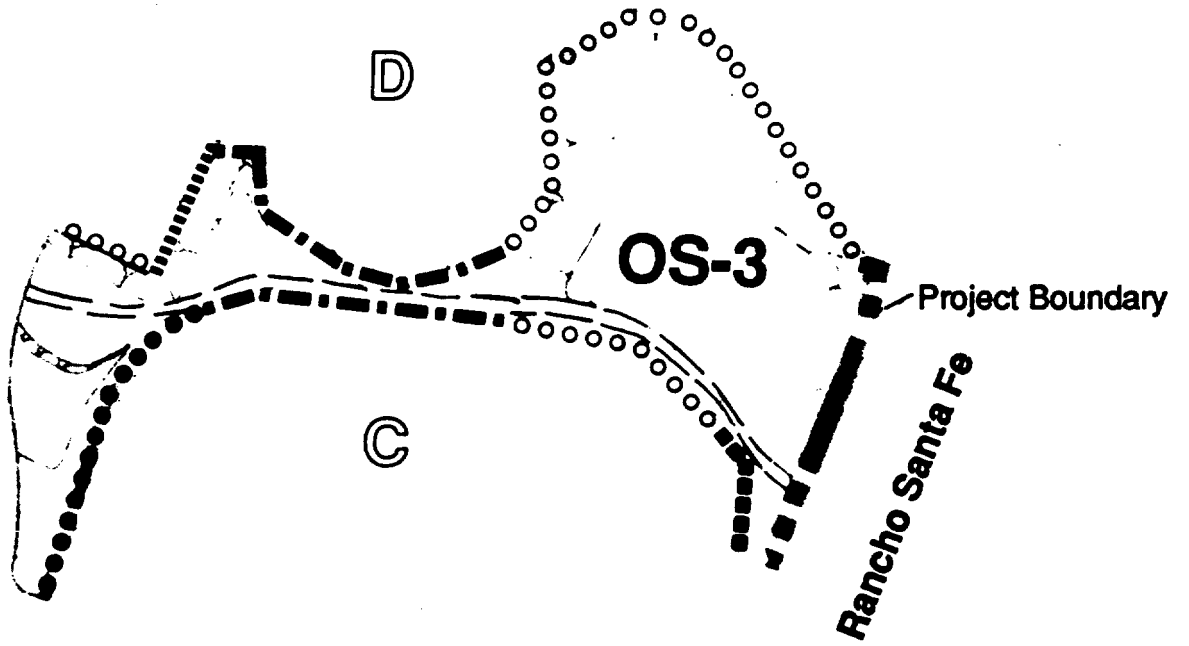
LEGEND

-  Trail Head
-  Trail
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary
-  Project Boundary



O.S.- 3
Design Criteria





LEGEND

THEME WALL

■■■■■■ Solid / View

VILLAGE WALL

●●●●● Solid
 ○○○○○ Open

PROJECT FENCING

■■■■■■ Standard
 ○○○○○ Open



O.S.- 3
 Wall / Fence Location



Open Space Area OS-4

1. Description

Open Space Area OS-4 contains the main natural drainage course in Arroyo La Costa and consists of a riparian habitat and some heavily disturbed upland areas. This riparian area will be enhanced and tie into the larger riparian area in Open Space Area OS-5. Open Space Area OS-4 provides for passive recreational open space uses. This Open Space Area is located north of Calle Barcelona, west of Rancho Santa Fe Road, east of El Camino Real and immediately south of Levante Street, in the central open space corridor of the La Costa Master Plan. The area is surrounded on three sides by existing residential development. Open Space Area OS-4 has a gross acreage of 12.18 and a net acreage of 9.68.

2. Use Allocation

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan does not allow any residential development.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall be used for passive recreation purposes only.
- No trails shall be constructed within the northern portion of OS-4 except as identified within the Community Development Standards section of this Master Plan.
- No large equipment shall be used to construct the trail as designated in the Community Development Standards section in order not to disturb adjacent existing residences.

4. Trails

A bike/pedestrian trail is provided in the southern portion of this open space area as shown in the Community Development Standards section of this Master Plan. This trail shall be designed, to the extent possible, to preclude views into neighboring residences and yards. This trail shall also be designed to avoid the northern portions of the open space area.

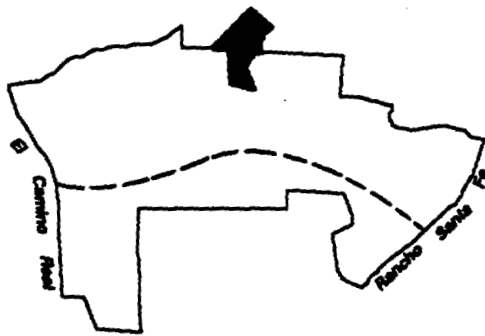
La Costa South

OS-4

La Costa South

G

E

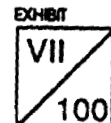


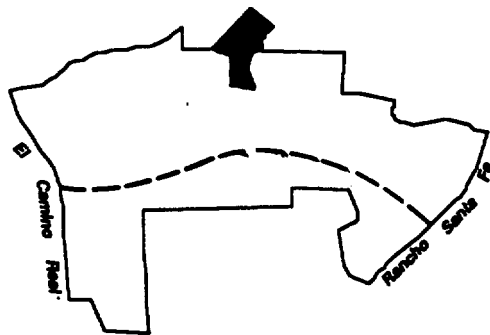
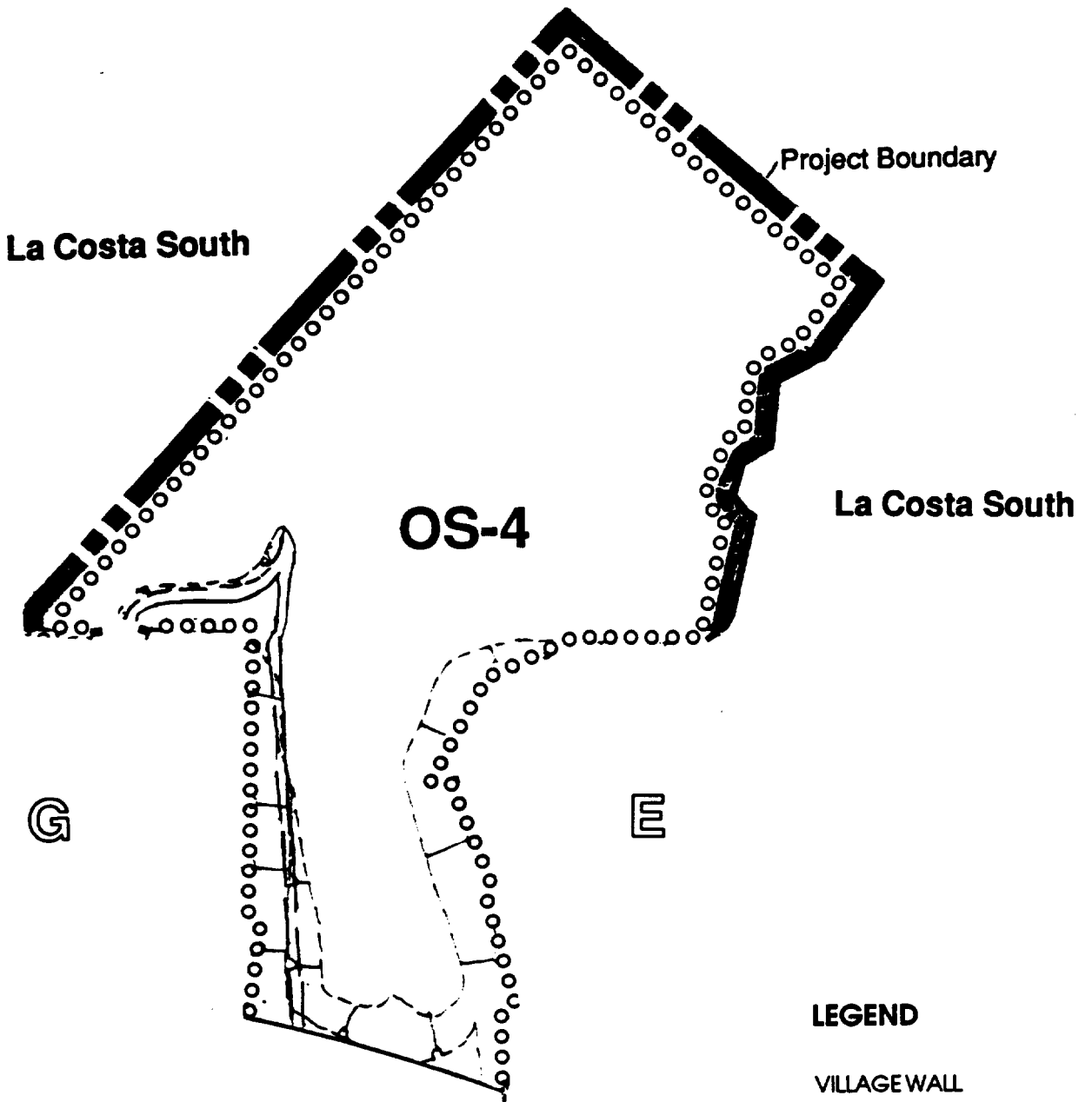
LEGEND

-  Trail Head
-  Trail
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary
-  Project Boundary



O.S.- 4
Design Criteria





LEGEND

VILLAGEWALL

o o o o o Open



O.S.- 4
Wall / Fence Location



Open Space Area OS-5

1. Description

Open Space Area OS-5 consists of an existing willow riparian habitat and associated upland slopes. The existing riparian area runs from northeast to southwest. Open Space Area OS-5 accommodates the 110-year floodplain entirely within its boundaries. A desiltation basin will be provided within this area to accommodate peak flows. This open space area will be enhanced and tie into Open Space Area OS-4. Open Space Area OS-5 provides for passive recreational open space uses. This Open Space Area is located immediately north of Calle Barcelona, east of El Camino Real and west of Rancho Santa Fe Road, in the central open space corridor of the La Costa Master Plan. Open Space Area OS-5 has a gross acreage of 28.46 and a net acreage of 19.36.

2. Use Allocation

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan does not allow any residential development.

3. Special Design Criteria

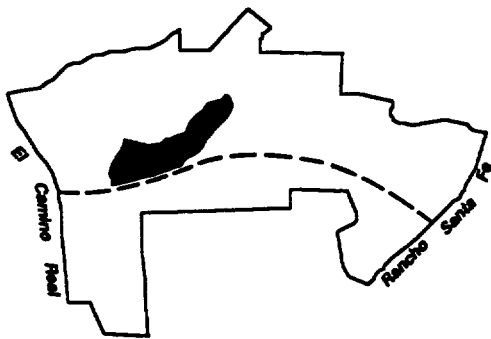
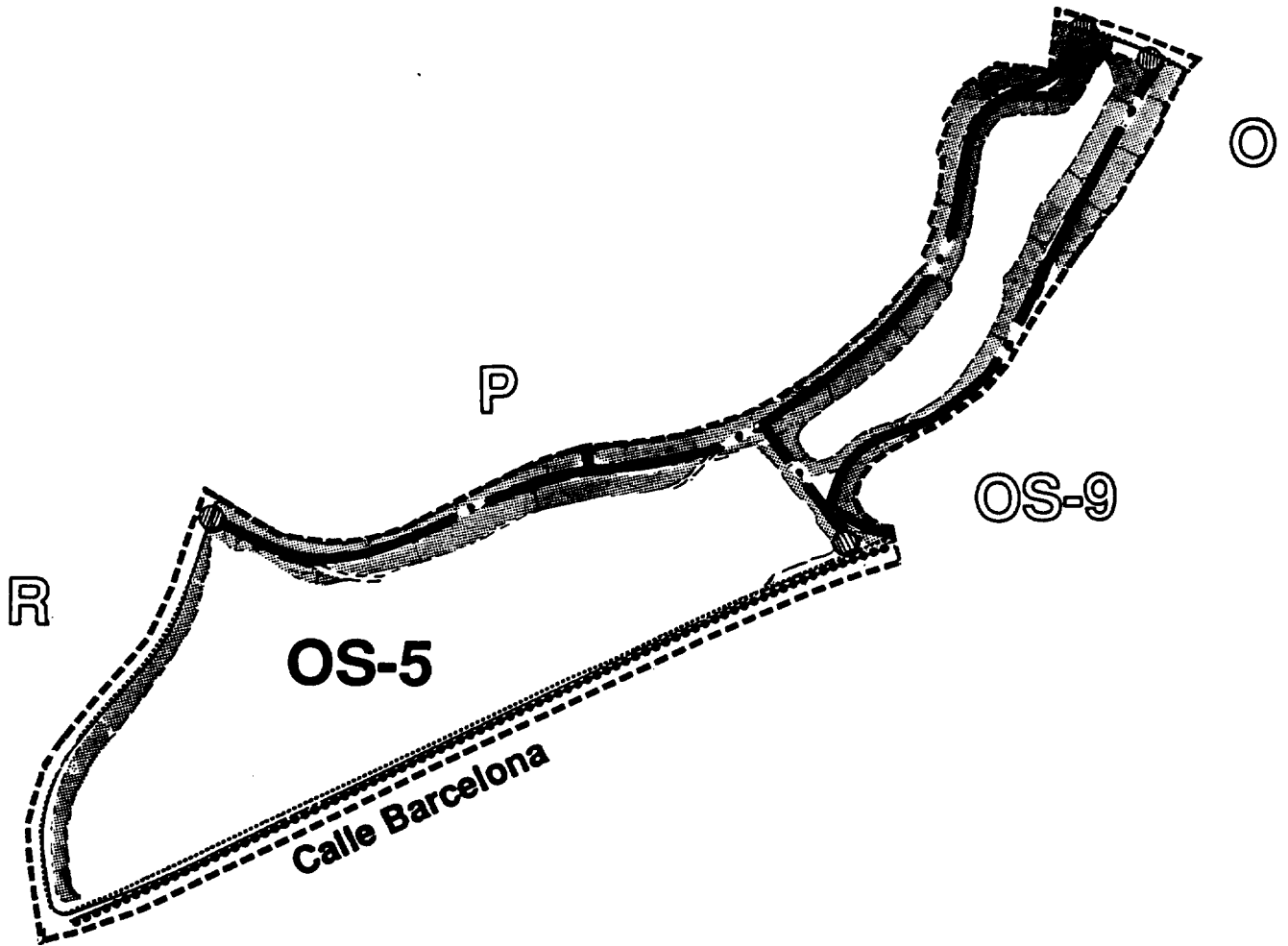
All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall be used for passive recreation purposes only.
- This area shall incorporate and preserve a substantial portion of the existing riparian area on the Master Plan site.
- Drainage structures within this area shall be minimized to the extent possible in favor of open, natural drainage.
- Addition riparian type vegetation shall be planted to enhance the existing riparian area.







4. Trails

A bike/pedestrian trail is provided within this area as shown in the Community Development Standards section of this Master Plan. The trail will be designed to guide traffic around the riparian and discourage traffic through the riparian area. The trail shall be

designed, to the extent possible to preclude views into neighboring residences and yards.



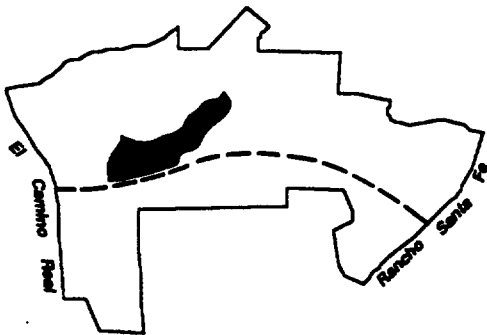
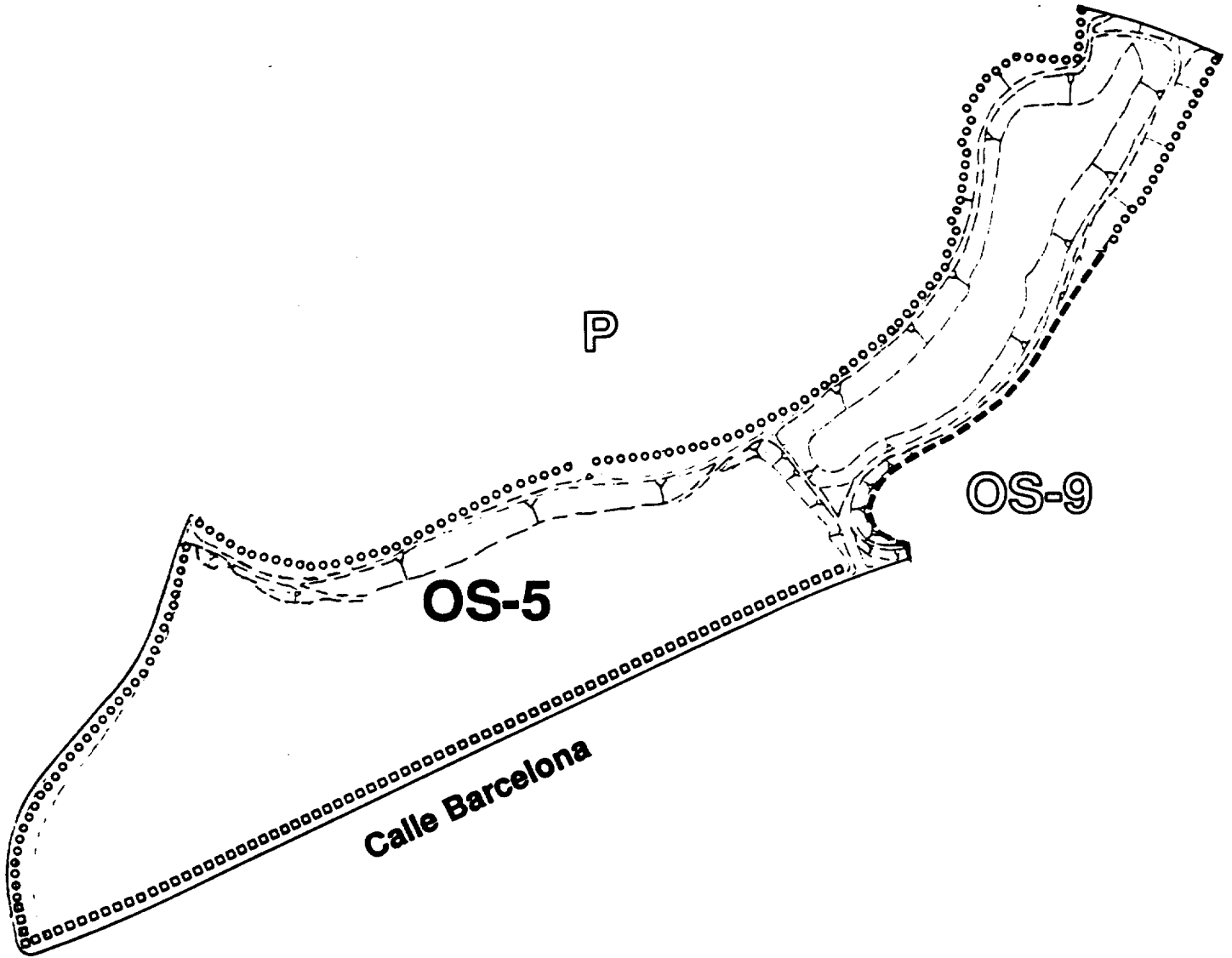
LEGEND

-  Trail Head
-  Trail
-  Bikeway
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary



O.S.- 5
Design Criteria





LEGEND

THEME WALL

□□□□□ Open

VILLAGE WALL

○ ○ ○ ○ ○ Open



O.S.- 5
Wall / Fence Location



Open Space Area OS-6

1. Description

Open Space area OS-6 provides for passive recreational open space uses. Open Space Area OS-6 consists of a 150 foot wide SDG&E easement and all land between this easement and El Camino Real, north of Calle Barcelona. This area will remain in its natural state except for a trail system and some enhancement of presently eroded slopes adjacent to El Camino Real. Open Space Area OS-6 has a gross acreage of 21.70 and a net acreage of 10.05.

2. Use Allocation

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan does not allow any residential development.

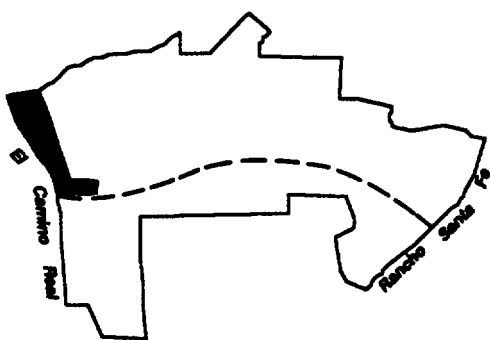
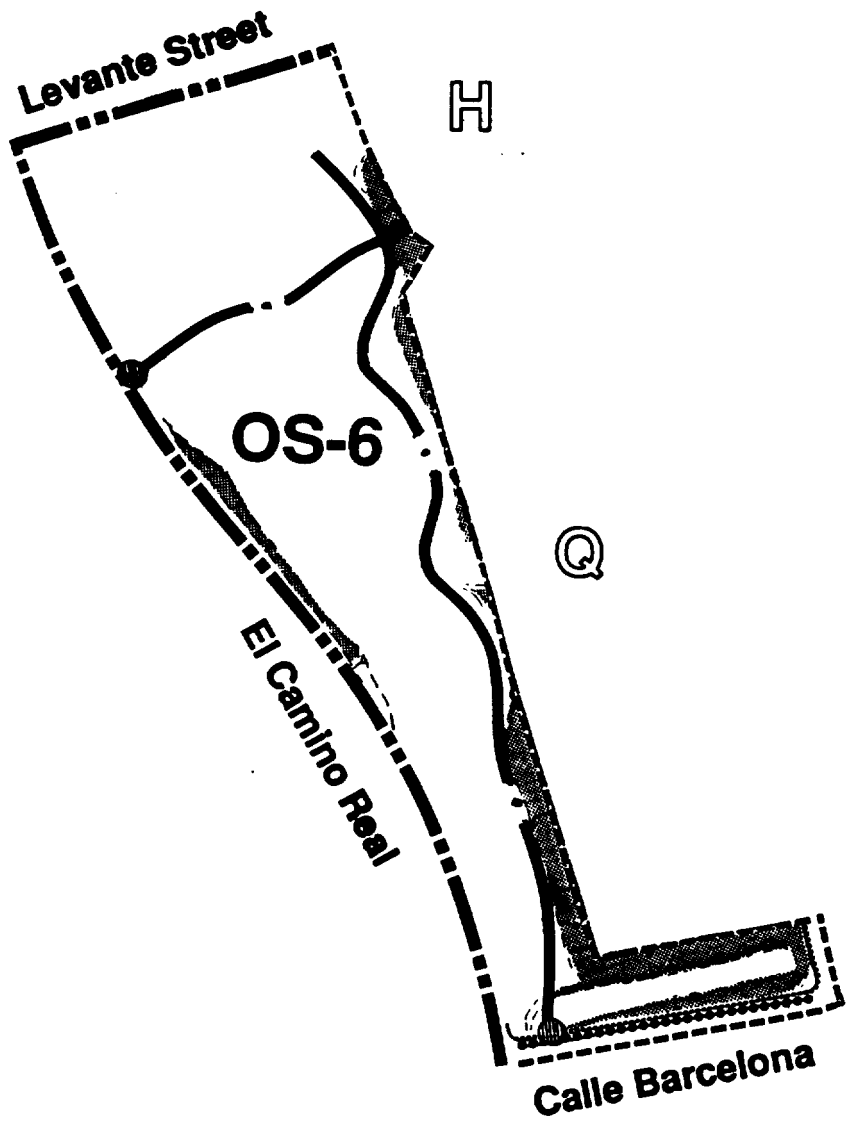
3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:








- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- This Open Space Area shall remain in its natural state except for the enhancement of the presently eroded slopes adjacent to El Camino Real and the improvements necessary for the trail system.

4. Trails

A bike/pedestrian trail is provided along the length of this area as shown in the Community Development Standards section of this Master Plan. Lockable, bollard type gates shall be provided at the ends of the trail through the SDG&E easement to discourage off road vehicles. The trail shall be designed, to the extent possible to preclude views into neighboring residences and yards.

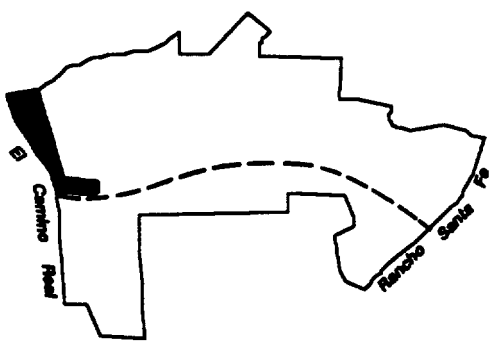
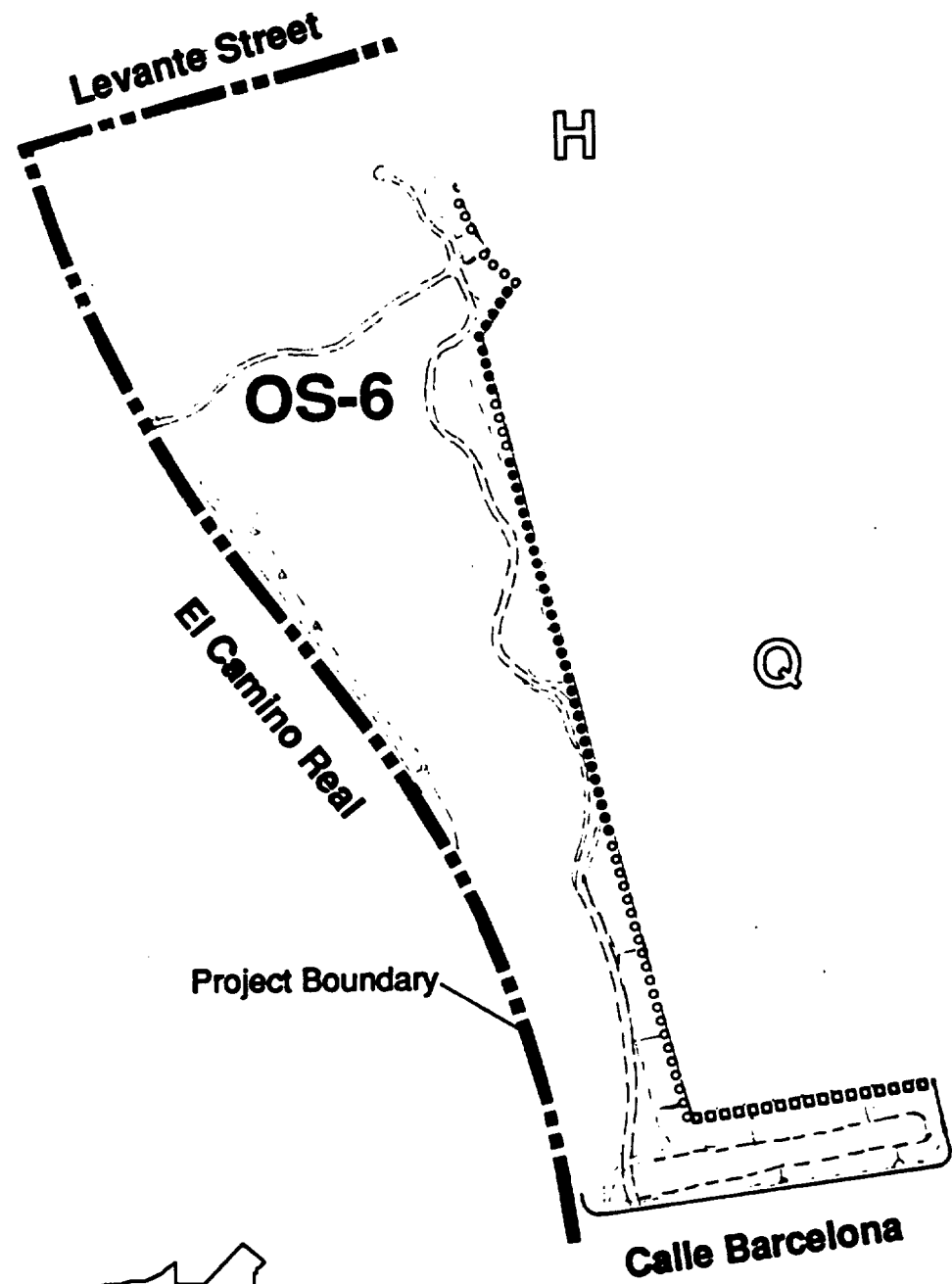


LEGEND

-  Trail Head
-  Trail
-  Bikeway
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary
-  Project Boundary



O.S.- 6
Design Criteria



LEGEND

THEME WALL

□□□□□ Open

VILLAGE WALL

●●●●● Solid
○ ○ ○ ○ ○ Open



O.S.- 6
Wall / Fence Location



Open Space Area OS-7

1. Description

Open Space area OS-7 provides for passive recreational open space uses. Open Space Area OS-7 consists of a 150 foot SDG&E easement and all land between this easement and El Camino Real south of Calle Barcelona, except for Open Space Area OS-8. This area will remain in its natural state except for a trail system and enhancement of the presently eroded slopes along El Camino Real. Open Space Area OS-7 has a gross acreage of 13.44 acres and a net acreage of 6.14.

2. Use Allocation

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan does not allow any residential development.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- This Open Space Area shall remain in its natural state except for the enhancement of the presently eroded slopes adjacent to El Camino Real and the improvements necessary for the trail system.

4. Trails

A bike/pedestrian trail is provided along the length of this area as shown in the Community Development Standards section of this Master Plan. Lockable, bollard type gates shall be provided at the ends of the trail through the SDG&E easement to discourage off road vehicles. The trail shall be designed, to the extent possible to preclude views into neighboring residences and yards.

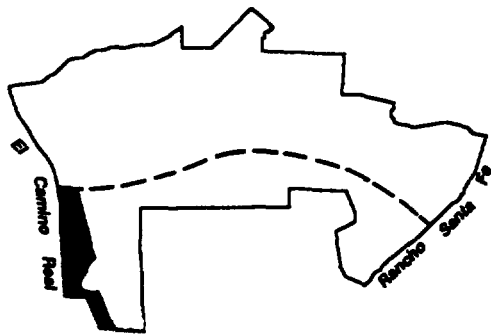
Calle Barcelona

El Camino Real








OS-7

OS-8

Olivenhain Road



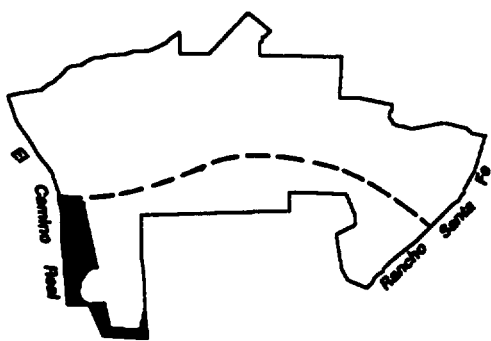
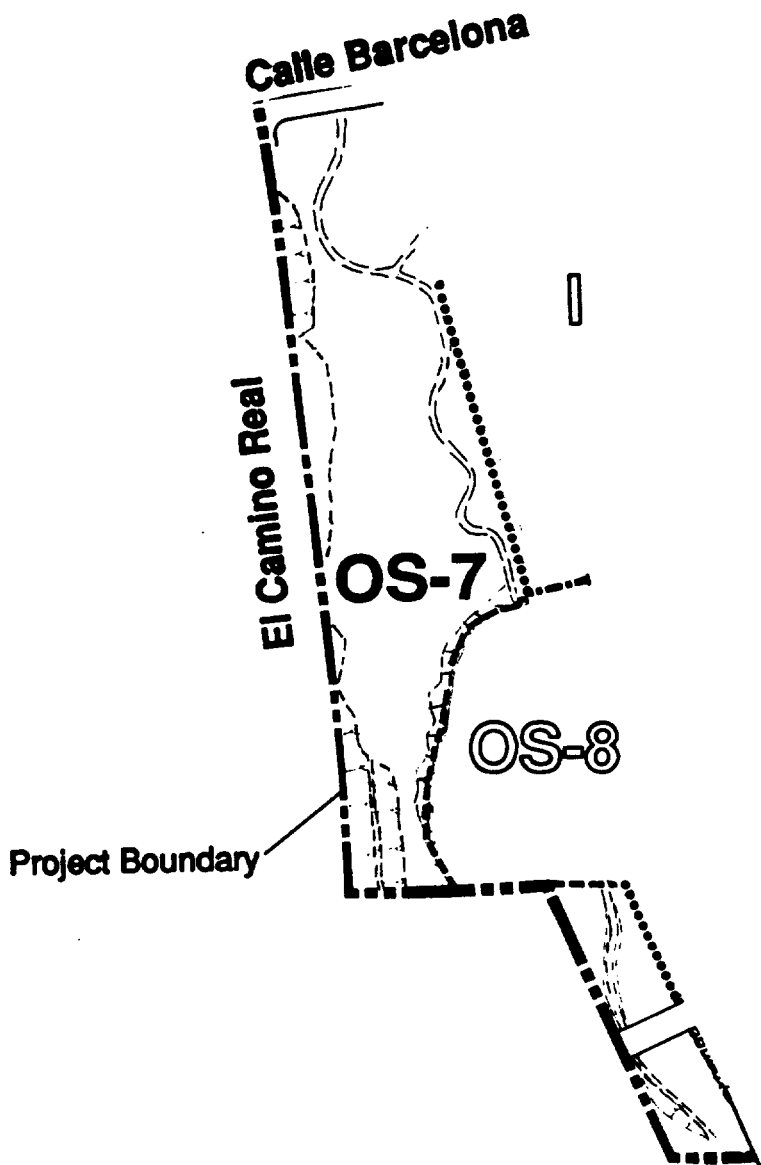
LEGEND

-  Trail Head
-  Trail
-  Bikeway
-  Concrete Sidewalk
-  Refined Slopes
-  Village Boundary
-  Project Boundary



O.S.- 7 Design Criteria





LEGEND

THEME WALL

□□□□□ Open

VILLAGE WALL

●●●●● Solid

PROJECT FENCING

■ ■ ■ ■ ■ Standard



O.S.-7
Wall / Fence Location



Open Space Area OS-8

1. Description

Open Space area OS-8 is designated as the Arroyo La Costa Master Plan Recreational Vehicle (RV) storage area. This open space area is located south of Calle Barcelona, and east of El Camino Real along the western Master Plan boundary. Open Space Area OS-8 has a gross acreage of 3.56 and a net acreage of 1.56 acres. This area has not been used for fulfilling the Master Plan's Open Space requirements.

Arroyo La Costa is required to provide 20 square feet of storage area exclusive of driveways and approaches per residential dwelling unit. This equates to 21,520 square feet or .49 acres. In addition, the owner has agreed to provide adequate storage area for the Fairways project (CT 89-6). Therefore an additional 2,660 square feet (.06 acres) of storage area is required for a total of 24,180 square feet (.55 acres). Open Space Area OS-8 supplies 27,442 square feet (.59 acres). This is a surplus of 3,262 square feet (.03 acres) of recreational vehicle storage area exclusive of driveways and approaches.

2. Use Allocation

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan allows for an RV storage lot in addition to passive recreational uses. The Master Plan does not allow any residential development in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- The lot shall provide at least 20 square feet of storage area exclusive of driveways and approaches per residential unit built in the Arroyo La Costa Master Plan.
- The owner of the Arroyo La Costa Master Plan area has agreed to allow this RV parking area to provide adequate space to meet the demand created by the Fairways Tentative Map (CT 89-16). Therefore, an additional 20 square feet per residential

dwelling unit in the Fairways project shall be provided within this area in excess of the amount required for the Arroyo La Costa Master Plan homeowners.

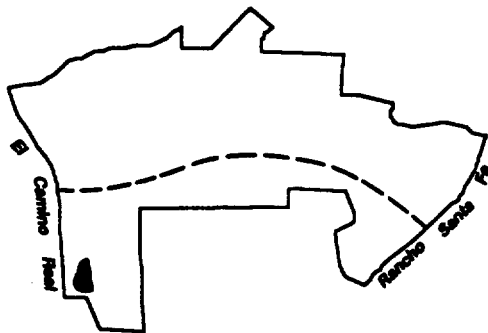
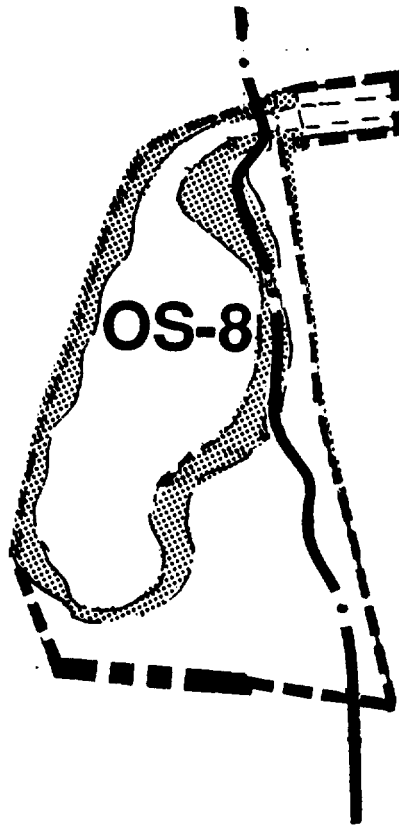
- Site planning and landscaping for this area shall provide adequate buffer to adjacent residences, in the form of berming and or landscaping, from light and noise created by the RV parking use.
- The site planning, stall dimensions, configuration, and aisle design shall meet the requirements of the City Engineer.
- Landscaping and berming shall be provided on the west side of the Recreational Vehicle lot to ensure that the light and aesthetic impacts of the lot are sufficiently screened from development to the west as well as automobiles on El Camino Real.
- A lockable, bollard type gate shall be provided at the end of the access road (entrance to parking lot) in addition to the gate located within Village I to preclude access of off road vehicles to the trail system in the adjacent open space area.

4. Trails

A bike/pedestrian trail is provided along the length of this area as shown in the Community Development Standards section of this Master Plan. The trail shall be designed, to the extent possible to preclude views into neighboring residences and yards..

OS-7

OS-8



LEGEND

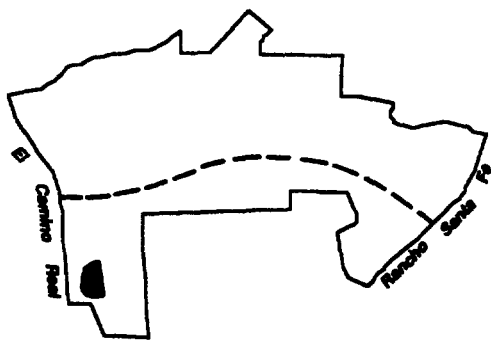
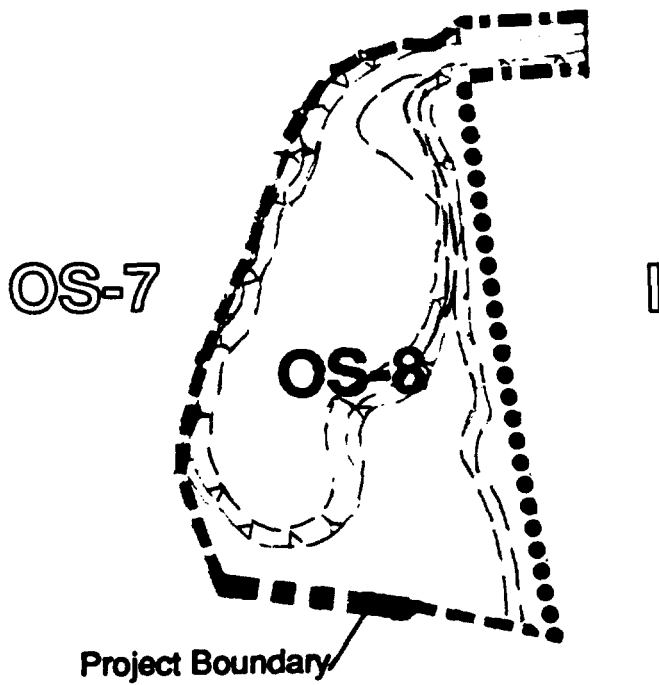
- Trail
- Refined Slopes
- Village Boundary
- Project Boundary



O.S.- 8
Design Criteria



EXHIBIT
VII
108



LEGEND

VILLAGE WALL

●●●●● Solid

PROJECT FENCING

■ ■ ■ ■ ■ Standard



O.S.- 8
Wall / Fence Location



Open Space Area OS-9

1. Description

Open Space area OS-9 is designated to provide a Recreation/Daycare Center to serve the Arroyo La Costa Master Plan area. This open space area is located immediately north of Calle Barcelona, east of El Camino Real, and south of Levante Street, adjacent to the central open space corridor of the La Costa Master Plan. OS-9 has a gross acreage of 6.45 and a net acreage of 5.60 acres.

2. Use Allocation

General Plan Land Use Open Space (OS). Arroyo La Costa Master Plan allows for a Recreation/Daycare Center. The Master Plan does not allow any residential development in this area.

3. Special Design Criteria

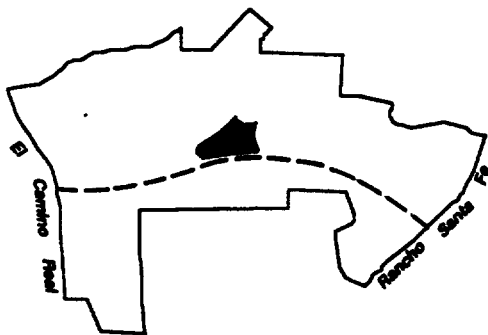
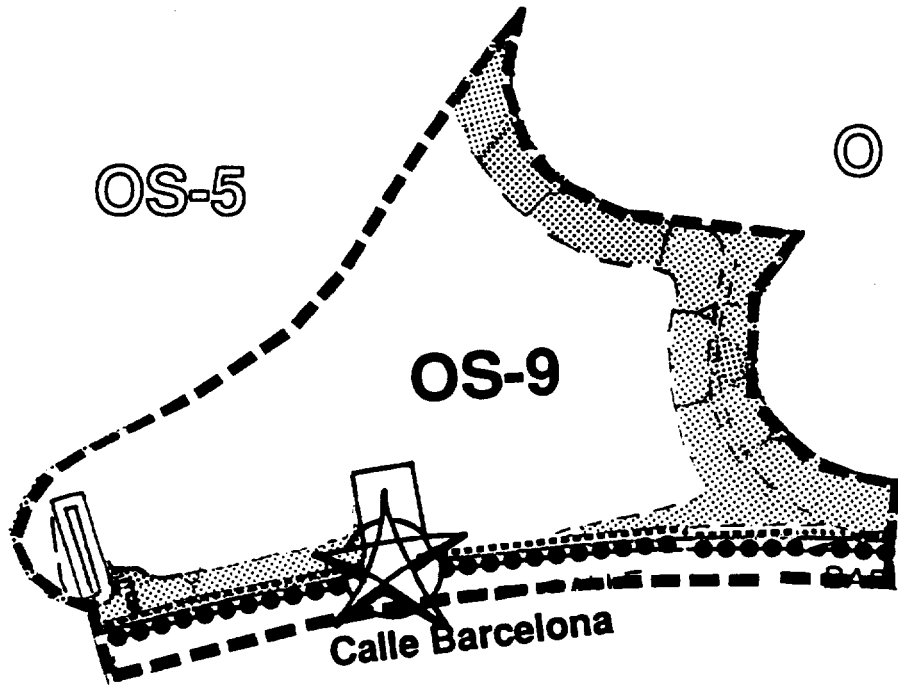
All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- No development shall occur on this site prior to approval of the Site Development Plan by the Carlsbad Planning Commission.
- Site planning shall minimize, to the extent possible, light and noise impacts to the adjacent residences.
- The architectural style shall be compatible with, although not necessarily identical to, the architecture of Villages K and O.
- An organized Daycare program shall be initiated and maintained by a licensed provider in the daycare building provided in this open space area. The site design and structure shall meet the requirements of all applicable federal, state and local codes.
- The recreational facilities in this area shall be developed concurrent with the second phase of development in the Master Plan.

4. Trails

A bike/pedestrian trail is provided along Calle Barcelona as shown in the Community Development Standards section of this Master Plan.

A pedestrian bridge take off shall be provided within this area to provide for the bridge crossing to the Jr. High School site across Calle Barcelona. The details of this bridge are discussed in the Community Development Standards section. This trail shall be designed, to the extent possible, to preclude views into neighboring residences and yards.



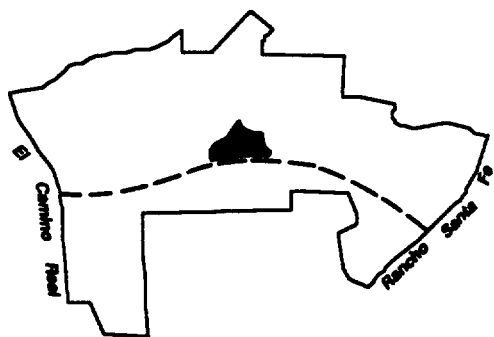
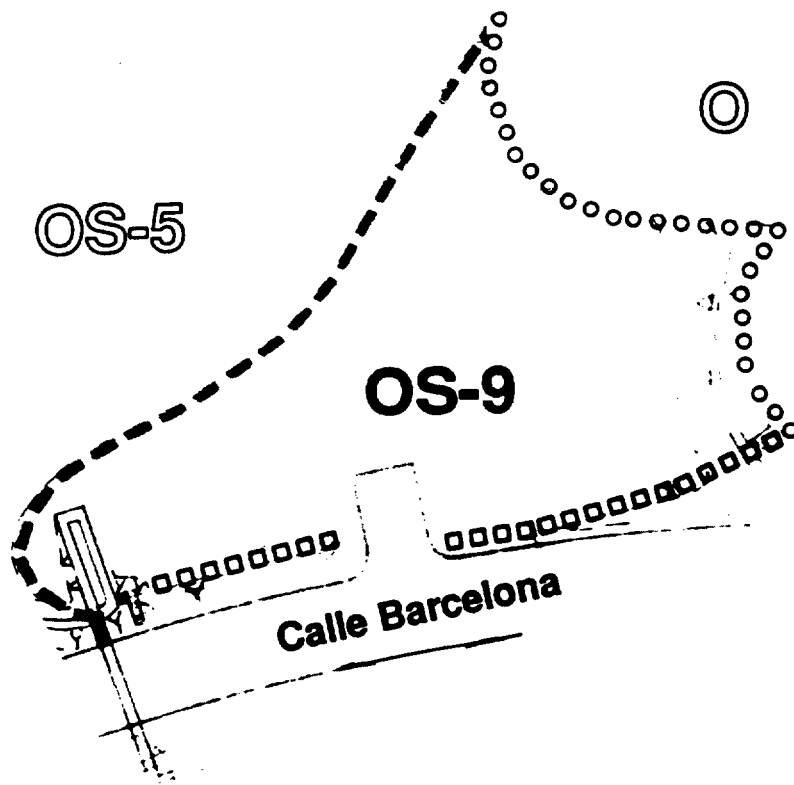
LEGEND

- Bikeway
- ■ ■ ■ Concrete Sidewalk
- ★ Village Entry
- ▨ Refined Slopes
- ▬▬▬▬ Village Boundary



O.S.- 9
Design Criteria





LEGEND

THEME WALL

□□□□□ Open

VILLAGE WALL

○ ○ ○ ○ ○ Open



O.S.-9
Wall / Fence Location



APPENDIX

ARROYO LA COSTA MASTER PLAN HISTORICAL SUMMARY

The following is a chronological summary of legislative actions pertaining to the area covered in, or adjacent to, this Master Plan:

- 8/1/72 **ZC-26:** Approved pre-annexational zone changes from San Diego County R-1, R-1B, R-2, R-3, R-4, E-1-A and C to R-1-15,000, R-1-10,000, R-1-7,500, RDM, R-2, C-1, and C-2 with a Specific Plan on 1190 acres. Adopted by CC Ordinance #9318.
- 9/5/72 **ZC-(No File #):** Approved pre-annexational zone changes from San Diego County A-1-8, A-3-8 and L-C to Planned Community (PC) zone on 2900 acres subject to annexation. Adopted by CC Ordinance #9323.
- 9/5/72 **MP-6:** Adopted Master Plan for 2900 acres subject to annexation by the City of Carlsbad. Adopted by CC Ordinance #9322.
- 9/5/72 **Annexation 2.12:** Annexed East Carlsbad Annexation #2.12, a 4090 acre area, to City of Carlsbad. Adopted CC Ordinance #1147.
- 6/5/73 **ZC-105:** Approved pre-annexational zone change to PC zone on the 311 acre area known as El Camino Glens. Adopted by CC Ordinance #9354.
- 8/7/73 **Annexation #2.16:** Annexed the 717 acre area known as the La Costa North (Kratter property). Adopted by CC Resolution #3184.
- 8/7/73 **MP-128:** Approved a Master Plan for the La Costa North area on 717 acres of property generally located north of Alga Road an east of El Camino Real (Kratter property). Adopted by CC Resolution #3183.
- 8/8/73 **Annexation #2.15:** Annexed East Carlsbad Annexation #2.15, the 435.5 acre area known as El Camino. This included 311 acres of La Costa. Adopted by CC Resolution #3185.
- 8/21/73 **ZC-124:** Approved pre-annexational zone change to PC zone on 717 acres known as La Costa North. Adopted by CC Ordinance #9359.

- 9/4/73 **GPA-16:** Amended the General Plan for property generally located north of Alga Road and east of El Camino Real (La Costa North). Adopted CC Resolution #3207.
- 10/2/73 **ZC-116:** Approved pre-annexational zone change on 182 acres known as La Costa Northeast to PC zone. Adopted by CC Ordinance #9361.
- 1/15/74 **MP-149:** Amended Ordinance #9322 by adopting a revised Master Plan which removed an unnecessary school site and established MP-149 as the new file number for the La Costa Master Plan. Adopted by CC Ordinance #9376; PC Resolution #1019.
- 3/19/74 **Annexation #2.19:** Annexed East Carlsbad annexation #2.19 including the 182 acre La Costa Northeast area. Adopted by CC Ordinance #1164.
- 10/16/74 **Annexation #CA 74-30:** The City of San Marcos Annexed the uninhabited land known as South City. This included approximately 240 acres of La Costa lands. Adopted by San Marcos City Council Ordinance #76-358.
- 4/27/76 **EIR-307:** Certified EIR-307 for the La Costa Master Plan MP-149(A) and GPA-38.
- 5/4/76 **GPA-38:** Amended the land use element and Plan and Circulation Element of the General Plan. Adopted by CC Resolution #3896.
- 6/15/76 **ZCA-(No File #):** Revision of PC zone by the City Council. Adopted by Ordinance #9458.
- 6/15/76 **MP-149(A):** Referred back to Planning Commission for partial amendment to allow for "continual" (concurrent) processing of Rancheros De La Costa, La Costa Vale Unit #2, Green Valley Knolls, and Santa Fe Knolls while a new PC zone was being developed. The processing of the remainder of the Master Plan area was delayed until adoption of the PC zone. No formal action by City Council; PC Resolution #1253.
- 11/2/76 **MP-149(B):** Repealed Ordinance #9376. Adopted an interim Master Plan for La Costa area. Referred to new exhibit for type of development which reflected La Costa's plans for more single family development and less condominium development. Established a circulation plan, school site plan, park site plan,

and development standards for Santa Fe Knolls, Rancheros De La Costa, La Costa Vale #2, and Green Valley Knolls. Adopted by CC Ordinance #9469.

MP-149(C): No action taken.

- 3/18/80 MP-149(D): Deletes 45 acres from MP-149(B). Deleted property is located generally east of El Fuerte on both sides of the extension of Alga Road (Hidden Meadows, Meadow Crest, and Meadowlark Areas). Specifically it removed parcel #2 and over half of parcel #3. Removal of the property allowed for its rezoning out of PC and therefore development could begin upon completion of the San Marcos Water District Plant. A concurrent zone change was also processed (ZC 206) rezoning the area from PC to RDM-Q. Adopted by CC Ordinance #9546, amended Ordinance #9322 as amended by Ordinance #9469; PC Resolution #1567.
- 12/16/80 MP-149(E): Amended the La Costa Master Plan to provide for conformance with the newly revised General Plan Elements for Parks and for Public Facilities. Adopted by CC Ordinance #9570; PC Resolution #1719.
- 3/17/81 MP-149(F): Deleted 4.5 acres from the La Costa Master Plan an amended MP-149(E). Property deleted was located on Centelia Street south of Levante in La Costa. Concurrent zone change (ZC 225) was processed changing the zoning on the above property from C-2 and PC to RDM. Adopted by CC Ordinance #9579; PC Resolution #1757.
- 6/29/82 MP-149(G): Revised the Land Use Plan of the La Costa Northwest area and made minor administrative changes to the Master Plan text and maps on property located generally east of El Camino Real and north of Alga. Changes to land uses included the golf course which was reduced in size from 105 acres to 85 acres, increased unit count by 100, and increased area of proposed park from 21 to 23.5 acres. Adopted by CC Ordinance #9628; PC Resolution #1954.
- 8/31/81 MP-149(H): Withdrawn on August 31, 1981, with no action taken.
- 3/24/82 MP-149(I): Minor amendment to the La Costa Master Plan. Allowed for separate development of neighborhood SE-13. Adopted by PC Resolution #1935.

- 9/21/82 **MP-149(J)**: Revised the Land Use Plan of La Costa Southeast and made minor administrative changes to the Master Plan text and maps on property generally located at the intersection of Rancho Santa Fe Road and future Mision Estancia. This changed the land use designation from TS to C [see GPA 64(A)]. Amended Ordinance #9570 as amended by Ordinance #9628 and MP 149(E). Adopted by CC Resolution #7030/CC Ordinance #9647; PC Resolution #2011.
- 3/15/83 **MP-149(K)**: Changed Master Plan designation of a parcel from RLM to RMH on property generally located on the northeast corner of El Camino Real and Levante. This amendment was consistent with the existing General Plan land use designation of RMH on the property. This was formerly part of SP-171 which had provided for lower intensity land uses for this parcel along with 98 acres to the east to accommodate the Green Valley Knolls Development. The parcel had been the site of 6 model homes for the 98 acre development to the east. Adopted by CC Ordinance #9676-9677/CT83-1/CP226/SP 171(c)/MP-149(K); PC Resolution #2083.
- 6/27/83 **MP-149(L)**: Amendment was intended to change 14 acres of office and 37 acres of commercial to 34 acres of RMH and 17 acres of commercial located on the northeast corner of future La Costa Avenue and Rancho Santa Fe Road. Withdrawn on June 27, 1983. No action was taken.
- MP-149(M)**: Amendment was to change densities and land uses on property generally located in the southwest portion of the La Costa Master Plan. The Planning Commission recommended denial to the amendment to the City Council (PC Resolution #2277). The amendment was withdrawn before it was heard by the City Council.
- 8/9/85 **MP-149(N)**: Amendment to request land use change from C to RM on property generally located on the southeast corner of Rancho Santa Fe Road and future Mission Estancia. Withdrawn on August 9, 1985, with no formal action taken.