

THE PACIFIC RIM COUNTRY CLUB AND RESORT
MASTER PLAN

Project Renamed



AVIARA

Prepared by

CARLSBAD PLANNING DEPARTMENT

HPI DEVELOPMENT COMPANY

AUSTIN HANSEN FEHLMAN/GROUP

VTN SAN DIEGO

ONA

AVIARA MASTER PLAN
(PACIFIC RIM COUNTRY CLUB & RESORT)

MP-177

The project area includes 1,402 acres and is composed of the portion of the upper Batiquitos Lagoon east of Interstate 5, surrounding wetlands and approximately 1,000 acres north of the lagoon.

Approved By: Planning Commission Resolution #2594, November 4, 1987
City Council Ordinance #9839, December 22, 1987
Coastal Commission, April 14, 1988

MP-177(A)

A Major Master Plan Amendment to revise specific planning area development standards including building separation, setbacks and architectural features for PUD's, PA 3 and PA 9.

Approved By: Planning Commission Resolution #2863, June 7, 1989
City Council Ordinance #NS-75, June 27, 1989

MP-177(B)

A Major Master Plan Amendment for Phase II Master Tentative Subdivision Map of 7 individual single-family neighborhoods and two circulation roadways.

Approved By: Planning Commission Resolution #3151, December 19, 1990
City Council Ordinance #NS-140, February 19, 1991
Coastal Commission, May 7, 1991

MP-177(C)

A Major Master Plan Amendment to revise development standards and use allocations for Resort, Golf Course, Sports Center (Planning Areas 1, 2, 10 and 11).

Approved By: Planning Commission Resolution #3002, April 4, 1989
City Council Resolution #90-164, June 5, 1990
City Council Ordinance NS-118, June 5, 1990
Coastal Commission, July 10, 1990

MP-177(D)

A Major Master Plan Amendment to revise development standards and design guidelines for residential Planning Area 24 and to change permitted residential lot sizes from small lot SF to minimum 7, 500 SF lots.

Approved By: Planning Commission Resolution #3228, May 29, 1991
City Council Ordinance #NS-161, July 16, 1991
Coastal Commission, October 8, 1991

MP-177(E)

A Major Master Plan Amendment to change three multi-family residential subdivisions to single family and change the neighborhood commercial site to a multi-family residential subdivision, all within Phase III.

WITHDRAWN November 15, 1991

MP-177(F)

A Minor Amendment to change the maximum building heights in two single family neighborhoods (PA 13 and PA 28) to conform with recently adopted building height definition.

Approved By: Planning Commission Resolution #3379, April 1, 1992

MP-177(G)

A Major Master Plan Amendment for Phase III to change planning area boundaries, internal street alignment and residential product mix.

Approved By: Planning Commission Resolution #3574, December 1, 1993
City Council Resolution #94-41, February 8, 1994
Coastal Commission, August 11, 1994

MP-177(H)

A Minor Master Plan Amendment to allow directional signage for major public use facilities within the Aviara Master Plan, and other minor revisions including a sign for the Aviara Golf Club and Restaurant.

Approved By: Planning Commission Resolution #3485, January 6, 1993

MP-177(I)

A Minor Master Plan Amendment to text to allow the Planning Commission to be the final decision-making body for residential Site Development Plans with 50 or more units.

Approved By: Planning Commission Resolution #3512, April 21, 1993
City Council Resolution #93-259, September 14, 1993

MP-177(J)

A Minor Master Plan Amendment to allow 30 foot high homes within Planning Area 28.

Approved By: Planning Commission Resolution #3674, January 4, 1995
City Council Resolution #95-53, March 7, 1995
Coastal Approval, December 14, 1995

MP-177(K)

A Minor Master Amendment to allow a 15 foot front yard setback for one-story side-loaded garages in Planning Area 24.

Approved By: Planning Commission Resolution #3703, August 17, 1994

MP-177(L)

A Major Master Plan Amendment to revise the permitted uses and development standards Planning Area 12 - Marea.

Approved By: Planning Commission Resolution #3840, November 15, 1995
City Council Ordinance #NS-347, January 23, 1996
Coastal Commission, April 11, 1996

MP-177(M)

A Minor Master Plan Amendment to change the maximum building height in Planning Area 15 to conform with adopted building height definition.

Approved By: Planning Commission Resolution #3735, December 21, 1994
City Council Resolution 95-31, February 7, 1995
Coastal Commission, December 14, 1995

MP-177(N)

A Minor Master Plan Amendment to allow a reduced front yard setback on selected lots in Planning Area 13 (Aviara Point) and relocation of a trail along Ambrosia Lane, Planning Area 7, within Phase I.

Approved By: Planning Commission Resolution #3775, May 17, 1995
Coastal Commission, December 14, 1995

MP-177(O)

A Major Master Plan Amendment to revise planning area boundaries and uses for hotel and sports center/restaurant sites (Planning Areas 1, 2, 10 and 11).

Approved By: Planning Commission Resolution #3802, September 20, 1995
City Council Ordinance #NS-319, October 10, 1995
Coastal Commission, December 14, 1995

MP-177(P)

A Major Master Plan Amendment to change allowed product type and set new development standards - Planning Area 5.

Approved By: Planning Commission Resolution #3833, November 15, 1995
City Council Ordinance NS-341, January 9, 1996
Coastal Commission, April 11, 1996

MP-177(Q)

Amendment to include Coastal Commission's suggested modifications for the Effective Certification of the Local Coastal Program.

Approved By: Planning Commission Resolution #3922, June 5, 1996
City Council Ordinance NS-366, July 16, 1996

MP-177(R)

A Major Master Plan Amendment to change the allowable land use over Aviara Planning Area 23 from the existing designation of neighborhood commercial, to the residential category allowing a maximum of 7.7 du/ac.

Approved By: Planning Commission Resolution #4114, June 4, 1997
City Council Ordinance NS-411, July 15, 1997
Coastal Commission, October 8, 1997

MP-177(S)

A Minor Master Plan Amendment to modify the land use designation over Lot 308 from Open Space3 to Residential (Azure Cove Annexation)

Approved By: Planning Commission Resolution #4096, May 21, 1997
City Council Ordinance NS-414, July 22, 1997
Coastal Commission, January 14, 1998

MP-177(T)

A Minor Master Plan Amendment to allow commercial/community facility/day care land uses within Aviara PA 32b.

Withdrawn by applicant: July 22, 1998

MP-177(U)

A Major Master Plan Amendment to policy documents governing planning areas 18, 19 and 20 to allow density modifications and allowable product changes.

Approved By: Planning Commission Resolution #4194, November 5, 1997
City Council Ordinance NS-440, January 13, 1998
Coastal Commission, June 9, 1998

MP-177(V)

A Minor Master Plan Amendment to revise design criteria to enhance architectural articulation/Bella Lago (61 semi-custom single family detached residential units.

Withdrawn by applicant July 24, 1997

MP-177(W)

A Minor Master Plan Amendment to allow a 90 unit multi-family project in PA 19 - Brindisi

Approved By: Planning Commission Resolution # 4437, December 16, 1998
City Council Ordinance NS-470, March 2, 1999
Coastal Commission, June 8, 1999

MP-177(X)

A Major Master Plan Amendment to change allowed product type and set new development standards - Planning Area 5. (Cristalla)

Approved By: Planning Commission Resolution # 4470, March 17, 1999
City Council Ordinance NS-474, May 11, 1999
Coastal Commission, April 20, 1999

MP-177(Y)

Amendment to adopt the Coastal Commission's Suggested Modifications (LCP 1-97A and 1-97B) to add parking and signage criteria for Planning Area 33 and to add restrictions on development within Lot 308 of Planning Area 13.

Approved By: City Council Ordinance NS-445, March 10, 1998

MP-177(Z)

Amendment to adopt Coastal Commission LCP modifications to the Aviara Phase III North, Master Plan amendment. (LCPA 1-98A)

Approved By: City Council Ordinance NS-453, July 28, 1998

MP-177(AA)

Amendment to adopt Coastal Commission LCP modifications to PA 19.

Approved By: Planning Commission Resolution #4409, October 21, 1999
Approved by City Council Ordinance NS-463, December 8, 1998

MP-177(BB)

A Minor Master Plan Amendment to de-annex Phase III properties to allow separate Master Homeowner's Association.

Approved By: Planning Commission Resolution # 4542, May 6, 1999

MP-177(CC)

Amendment to adopt Coastal Commission's Suggested Modifications (LCP 1-99) to add fire suppression references to the Landscape design criteria for Planning Area 23.

Approved By: City Council Ordinance NS0520, December 7, 1999

MP 177 (DD)

A Minor Master Plan Amendment to change height limits for structures in the Pacific Rim Park in Planning Area 32.

Approved by: Planning Commission Resolution # 5156, February 20, 2002
Approved By: City Council Resolution 2002-236, August 6, 2002

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CHAPTER I

INTRODUCTION

I. INTRODUCTION

Chapter I includes an explanation of the scope and legal basis for the Master Plan. A description of the project and statement of the major goals for the Pacific Rim Country Club and Resort are also provided.

A. PURPOSE

This Master Plan constitutes the zoning for the Pacific Rim Country Club and Resort consistent with the City of Carlsbad General Plan, the Planned Community (P-C) Zone (Chapter 21.38) of the Carlsbad Municipal Code and the City of Carlsbad's Local Coastal Rogram. This Master Plan consists of a map and text.

The map designates specific planning areas within the project and the land uses established for each planning area. The text describes the allowable uses and densities of development in each planning area and provides detailed development standards, public facility requirements, phasing and timing of development of planning areas and the method by which the project will be implemented. Adoption of the Master Plan by the Carlsbad City Council, pursuant to Chapter 21.38 of the Carlsbad Municipal Code, will establish the zoning and development standards applicable to the project as a whole as well as with respect to the permissible type and density of development by planning area and by phases. Approval of this Master Plan, however, does not vest development rights for the project. Construction of a portion of the project pursuant to this Master Plan shall not vest any right to construct the balance of the plan.

Development within the Master Plan shall be subject to all present and future Growth Management plans, policies or ordinances adopted by the City council or by citizen vote including but not limited to Chapter 21.90 of the Carlsbad Municipal Code and the City Council policy or General Plan amendment limiting the number of dwelling units to a "control point" within the density ranges. The residential development potential for the Master Plan area has been established by applying the density ranges and the "control points" of the General Plan Land Use designations which were applicable to the property prior to the adoption of the Master Plan. Concurrently with the approval of this Master Plan, a General Plan amendment has been processed establishing the maximum number of residential units and commercial acreages permitted within the Master Plan area. The number of dwelling units which may be approved shall not exceed the total of 2,861 except as may be permitted under the City's Growth Management Ordinance. If additional units are permitted they shall comply with the provisions of Section II D.1 of the Master Plan.

The developer shall pay all fees and implement all improvements established by the Citywide Facilities and Improvements Plan and the Zone 19 Local Facilities Management Plan. The Zone 19 Local

Facilities Management Plan is included as an addendum to this Master Plan. The Local Facilities Management Plan for Zone 19 was prepared pursuant to the City's Growth Management Program, Title 21, Chapter 21.90 of the Carlsbad Municipal Code. The contents of the plan follow the outline established by Section 21.90.110 of the Growth Management Ordinance. The Zone 19 Plan is consistent with the Citywide Facilities and Improvements Plan, and it implements the Citywide Plan adopted September 23, 1986.

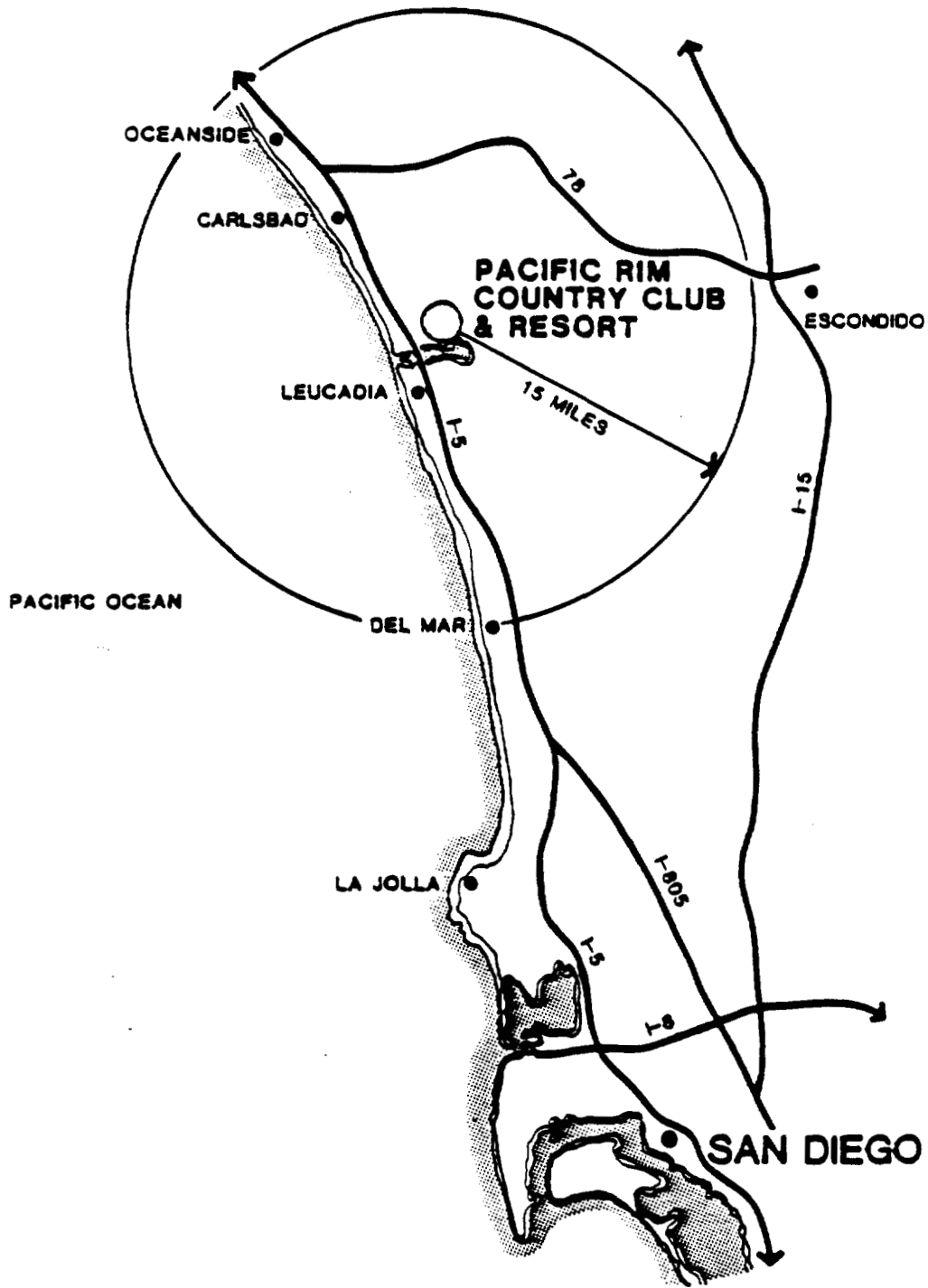
The Zone 19 Plan provides a detailed description and analysis of how Zone 19 will develop from its current status to buildout. The Plan also demonstrates how and when each facility and improvement will be constructed in order to accommodate development within the Zone (phasing). The Plan also provides a complete description of how each facility and improvement will be financed when mitigation is necessary.

All of the standards and requirements incorporated in the Master Plan are imposed as a condition of the zoning approval. Amendments are permitted pursuant to the procedure established in Chapter 21.38.120 of the Carlsbad Municipal Code and Chapter III of this Master Plan. The Master Plan provides a framework for the phased development of all of the Planning Areas and ensures that all phases of the development are consistent with the Master Plan standards and requirements.

The Master Plan implements the City of Carlsbad General Plan, the Local Coastal Programs, Title 21 of the Carlsbad Municipal Code, and the Local Facilities Management Plan for Zone 19 by providing guidelines and standards for the full development of all phases of the project; by requiring facilities and services consistent with City regulations and ordinances; and by ensuring that all City standards and requirements will be met in a consistent and uniform manner. Unless specifically discussed in this Master Plan, all City policies and ordinances apply to the Pacific Rim Country Club and Resort development as they would apply to all development in the City of Carlsbad. The Master Plan requires conformance of the project with all such applicable City development standards and requirements. Provisions have been included within the Master Plan to ensure that all development proposed is in compliance with Local Coastal Program development standards and resource preservations policies.

No person shall use or develop any property covered by this Master Plan in a manner which is contrary to the standards and guidelines of the Master Plan as established by the City Council. All developers within the Master Plan shall be subject to all terms and conditions of this plan.

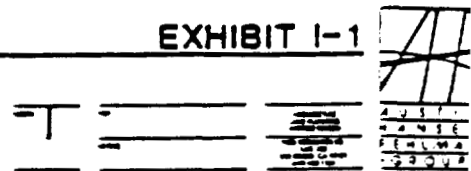
Prior to the sale of any undeveloped property within the Master Plan area, an agreement which satisfies the provision of 21.38.030(b) (per P-C zone) of the Carlsbad Municipal Code shall be presented to the City Council for approval.

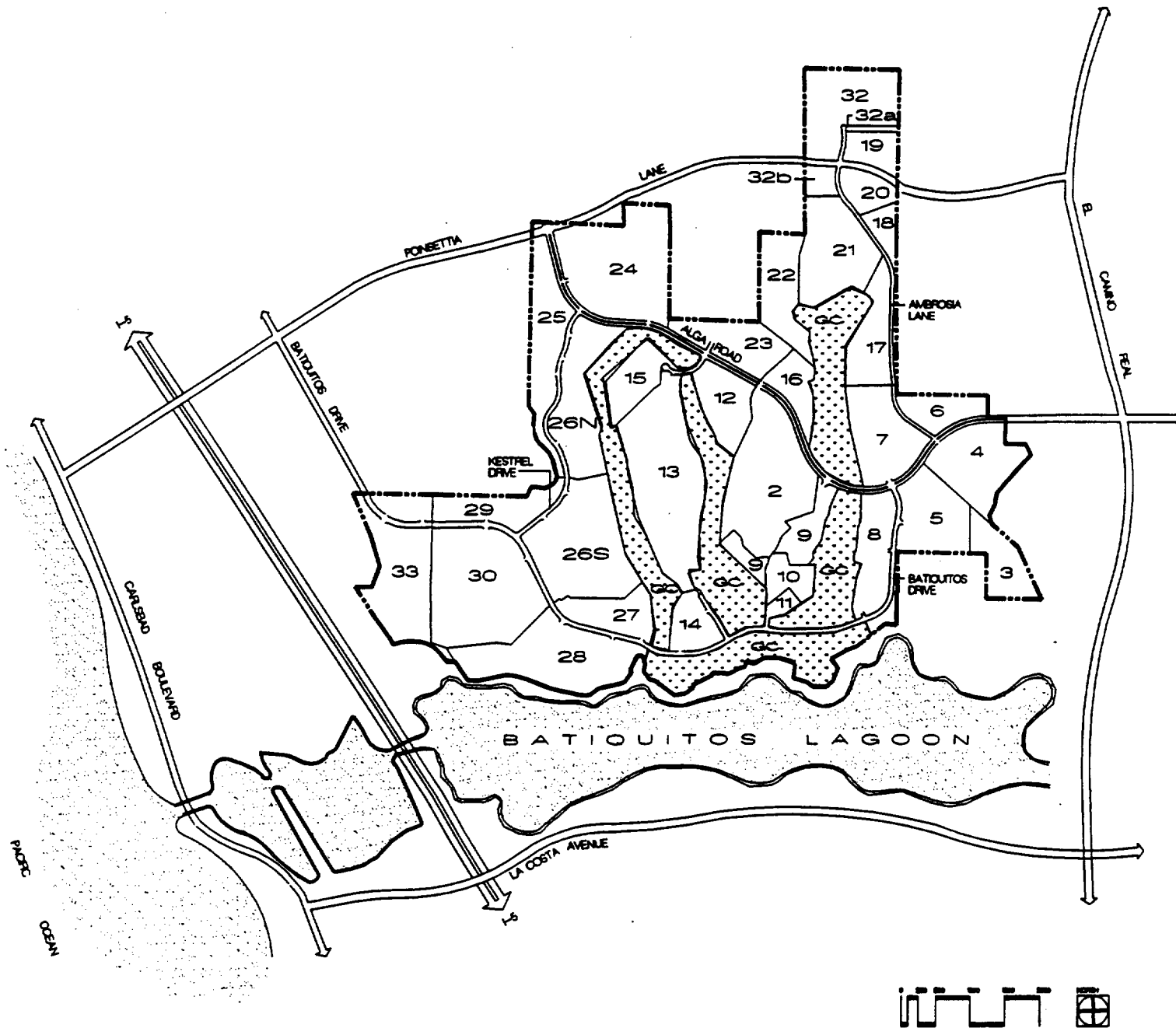


REGIONAL MAP

EXHIBIT I-1

Pacific Rim





LOCATION MAP

920309
MARCH 12, 1997



B. PROJECT DESCRIPTION

The project area includes 1,443 acres and is comprised of the portion of the upper Batiquitos Lagoon east of Interstate 5, surrounding wetlands and approximately 1,040 acres north of the lagoon. Exhibit 1-1 locates the project on a map of the region. The project area is situated in the southernmost portion of the City of Carlsbad generally north of La Costa Avenue, east of Interstate 5, west of El Camino Real and south of Palomar Airport Road. Exhibit 1-2 locates the project within the City of Carlsbad.

Specific land uses for the Pacific Rim country Club and Resort, are illustrated on Exhibit II-3. It illustrates the distribution of the various land uses and major components of the circulation system. The actual general plan designations for the Master Plan are shown on Exhibit II-1. Underlying the plan are a number of fundamental concepts:

- * The core Planning Areas 1,2,9,10 and 11 consist of the golf course, hotel, condominiums, sports center and restaurants.
- * Surrounding the core area is a low-medium density community oriented to permanent residents of the Pacific Rim Country Club and Resort.
- * Open Space, including the golf course, is the predominant land use which serves as a recreational resource, as a buffer between land uses, as a means of providing visual relief, and ensures protection of the environment.
- * Batiquitos Lagoon is the focal point of the open space system. Stringent development standards will be applied for all planning areas in proximity to this sensitive and valuable ecological resource.
- * Special attention has been given to the transition between the planning areas on the periphery of the project and existing residential developments to ensure compatibility.

C. MASTER PLAN GOALS

The following goals have been established to guide the development of this Master Plan. All portions of the plan (specific development applications) will be related to compliance with these goals:

- * The world class destination resort, which is the focal point for the entire Master Plan Community, is oriented to and dependent upon a preserved and enhanced lagoon, providing a year round attractive water feature as a part of a comprehensive integrated open space program for the entire development.

- Provide a well-balanced and functional mix of residential, commercial, open space, and recreational uses which will create a high quality environment.
- * Preserving the Batiquitos Lagoon as a reliable year round water feature, and eliminating the odor problem will benefit the resort.
- Preserve the environmental resources and existing topographic character of the Master Plan area.
- Ensure that public facilities and services are available to serve the planned development of the project and the southwest quadrant and meet or exceed applicable City standards and requirements prior to, or concurrent with development.
- Ensure the project enhances the environment by demonstrating a sensitivity to existing and future development of the site.
- Provide for complete conformity of all aspects of development with the City of Carlsbad General Plan Land Use Element, Zone 19 Local Facilities Management Plan, and all applicable City Ordinances, regulations and policies.
- Enhancement of the lagoon in an environmentally appropriate way to restore a significant wildlife resource.

CHAPTER II

**GENERAL PLAN AND LAND USE
PROVISIONS**

A. GENERAL PLAN

The General Plan designations over the subject Master Plan property are shown on Exhibit II-1 and include the Residential Low-Medium (RLM), Residential Medium (RM), Open Spaces (OS), Recreation Commercial (RC) and Neighborhood Commercial (N). All development within the Master Plan shall be consistent with these land use designations as well as complying with the community and Planning Area development standards. Actual location of these designations on site will be determined by the Master Plan.

B. ZONING

The property within the boundary of this Master Plan is zoned Planned Community (PC) as shown on Exhibit II-2. The PC Zone requires that a Master Plan be approved prior to any development on the site. This Master Plan meets the requirements of the PC Zone and represents the zoning for the property within its boundaries.

C. Local Coastal Program

The Pacific Rim Master Plan as adopted by the Carlsbad City Council and approved and modified by the California Coastal Commission herein and in Coastal Development Permit #6-87-680 is approved as the Implementing Ordinance for the corresponding portion of the East Batiquitos Lagoon/Hunt Properties Land Use Plan.

1. Agricultural Conversion Mitigation

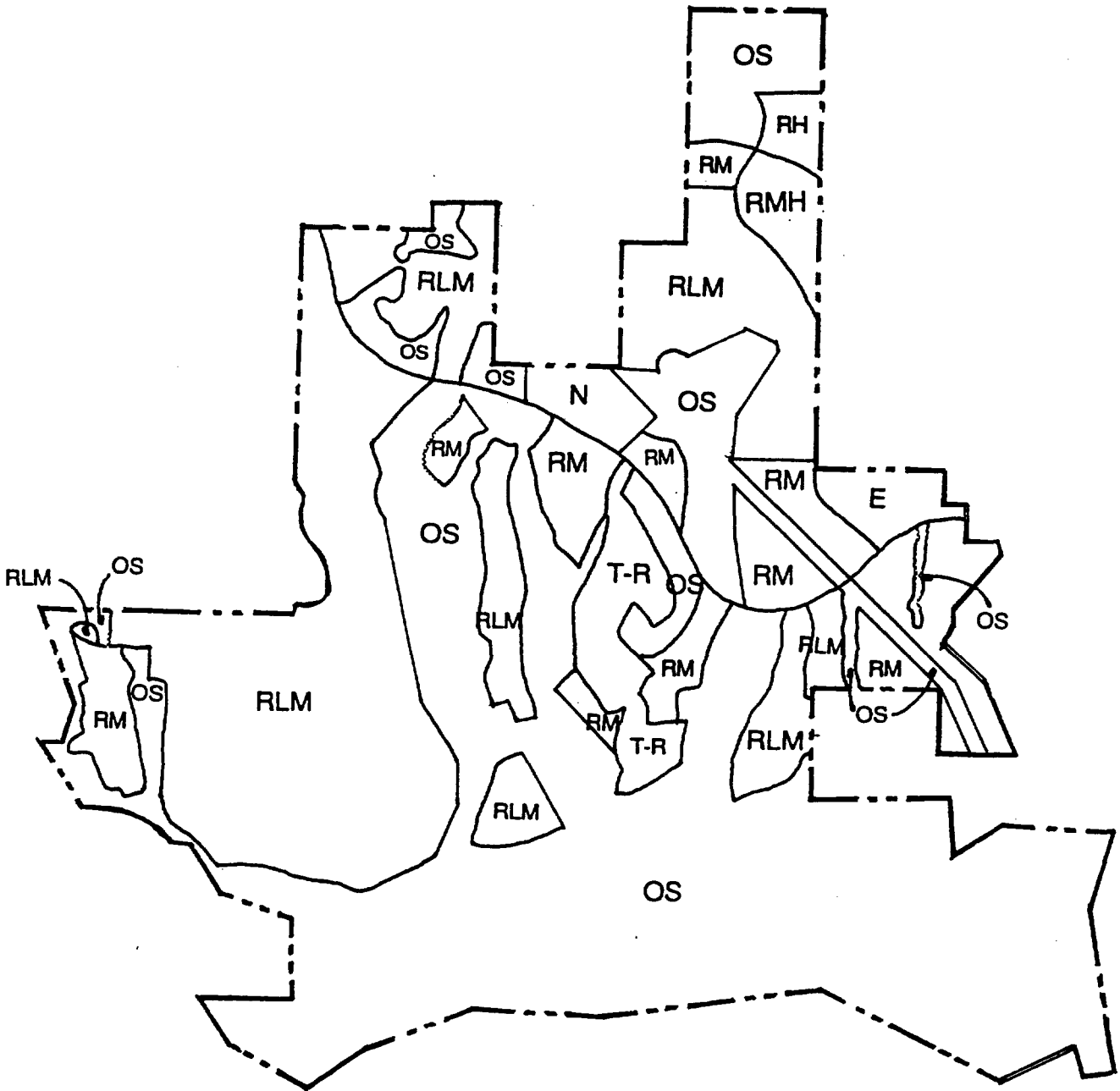
Development of the subject property shall require mitigation for the conversion of agricultural lands to urban uses. The mitigation shall be for the conversion of a total of 360 acres of prime/nonprime agricultural land identified over the property through EIR 83-2(A). The 360 acres falls within the requirements of three City LCP segments as follows:

- a) MELLO I LCP segment - 200 acres as identified on the PRC Toups maps.
- b) MELLO II LCP segment - 10 acres that comprises a portion of Site IV as identified in the LCP.
- c) East Batiquitos Lagoon/HPI LCP segment - 150 acres on the north shore of Batiquitos Lagoon.

Mitigation shall be as follows:

- A. Agricultural lands regulated by MELLO I and II LCP segments - Mitigation shall be pursuant to Carlsbad's Coastal Agricultural Overlay Zone as approved by the California Coastal Commission in October, 1985.

Note: Since the applicant did not submit an Agricultural Feasibility Study or commit to an enforceable, non-revocable agreement to "off-site" mitigation for the loss of agricultural lands as part of the Master Plan application (required by Section 21.____.060b and 21.____.060c3 of the Coastal Agricultural Overlay Zone of the City's LCP), the only option available for mitigation of the conversion of agricultural lands pursuant to the Mello I and II Local Coastal Plan segments is by the payment of a fee.

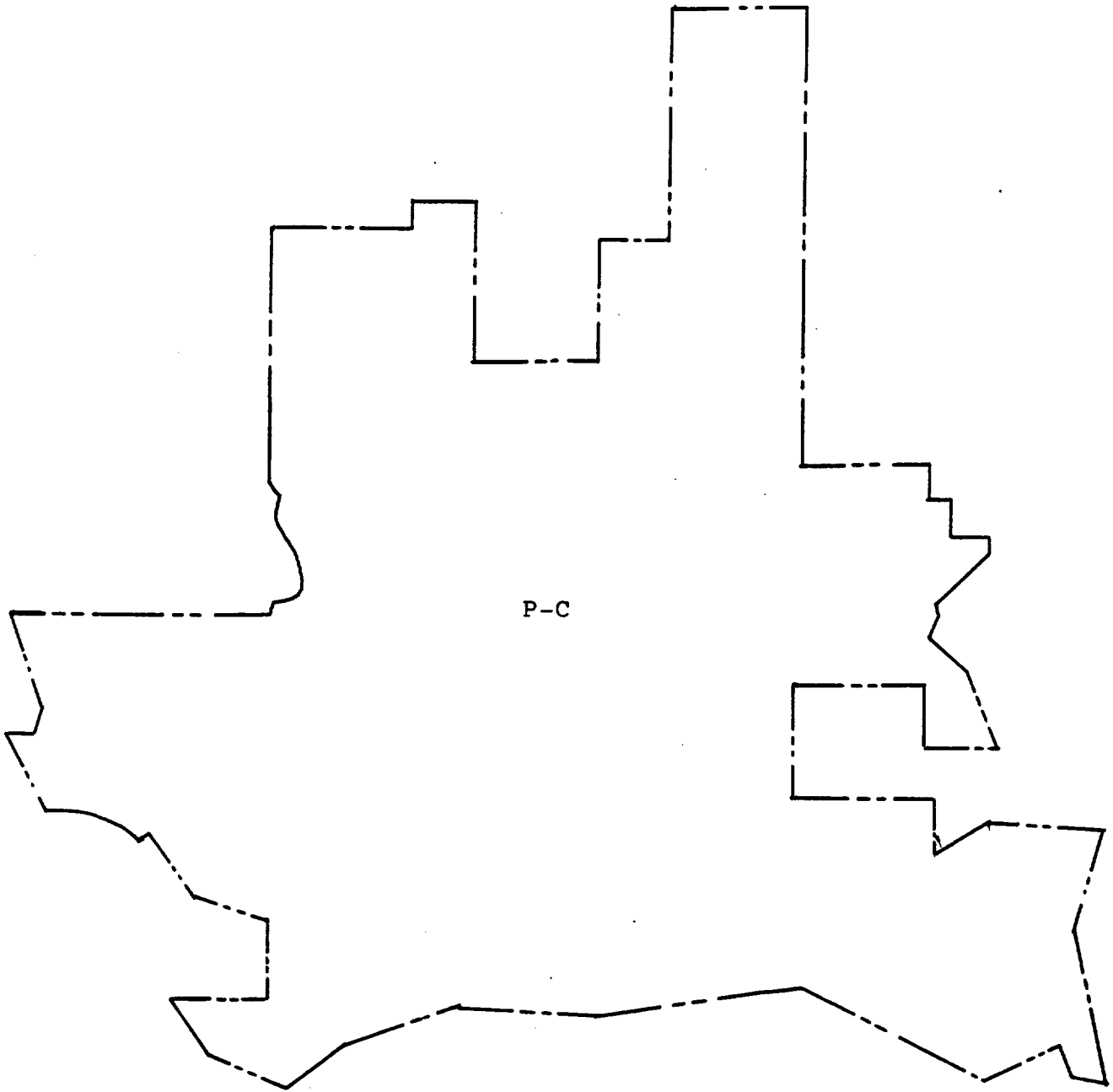


AVIARA

GENERAL PLAN

EXHIBIT II-1





ZONING

EXHIBIT II-2

B. Agricultural lands regulated by east Batiquitos Lagoon/HPI LCP segment - Conversion of agricultural lands shall be permitted upon payment of an agricultural conversions fee which shall mitigate the loss of agricultural resources by preserving or enhancing other important coastal resources. The amount of the fee shall be determined by the City Council at the time it considers the proposal for development and shall reflect the per acre cost of preserving prime agricultural land pursuant to Option 1 of the "MELLO II" portion of the Carlsbad LCP, as amended, but shall not be less than \$5,000 nor more than \$10,000 per acre. All mitigation fees collected under this section shall be deposited in the State Coastal Conservancy Fund and shall be expended by the State Coastal Conservancy upon Carlsbad's request to preserve and enhance local coastal resources as follows:

- a) Restoration of natural resources and wildlife habitat in Batiquitos Lagoon.
- b) Development of an interpretive center at Buena Vista Lagoon.
- c) Restoration of beaches managed for public use in the coastal zone in the City of Carlsbad.
- d) Purchase of agricultural lands for continued agricultural production within the Carlsbad Coastal Zone as determined by the Carlsbad City Council.
- e) Agricultural improvements which will aid in continuation of agricultural production within the Carlsbad Coastal Zone, as determined by the Carlsbad City Council.

Since MELLO I and II LCP segments provide for a fee option to mitigate agricultural conversions, fees could be paid to mitigate the conversion of the entire 360 acres of agricultural land. This fee may be paid in total upfront or may be paid in increments subject to the following schedule:

- (1) The applicant shall pay agricultural mitigation fees for 120 acres of agricultural land prior to the first final map for any of the following planning areas: 1, 2, 3, 4, 5, 7, 8, 9, 10, 11, 12, 13, 14, 15 (Phase I Tentative Map).
- (2) The applicant shall pay agricultural mitigation fees for an additional 120 acres of agricultural land prior to the first final map for any of the following planning areas: 24, 25, 26, 27, 28, 29, 30 (proposed Phase II Tentative Map).
- (3) The applicant shall pay agricultural mitigation fees for an additional 120 acres of agricultural land prior to the first final map for any of the following planning areas: 16, 17, 18, 19, 20, 21, 22, 23 (proposed Phase III Tentative Map).

If the fee is paid in total upfront (all 360 acres of agricultural mitigation fees paid prior to the approval of the first final map in the Master Plan), then the fee amount shall be \$5,000.00 per acre. If the fee is however, paid in increments as discussed above, then the exact mitigation fee amount per acre shall range between \$5,000.00 and \$10,000.00. The exact cost per acre of converted agricultural land shall be determined by the City Council and shall be based upon the value of permanently preserving prime agricultural land at that time of development pursuant to Carlsbad's Coastal Agricultural Overlay zone. If any properties or portions thereof, controlled under the Mello I LCP, utilize the fee option for mitigation of the loss of agriculture, then the only option for agricultural mitigation available to the remainder of these properties shall be the agricultural fee option.

2. Grading and Resource Preservation

All development upon the subject property shall comply with the grading and resource preservation policies of the underlying Mello I, Mello II and Baticuitos Lagoon/HPI Local Coastal Program policies. For all tentative maps and/or site development plans/planned unit development processed for any portion of this Master Plan, site specific slope and biological constraint maps must be submitted for review. These maps shall specify: (1) all 25% or greater slope areas containing Chaparral and Coastal Sage Scrub habitats, and (2) all other 25% or greater slope areas. All new development shall be designed to be consistent with multi-species and multi-habitat goals and requirements as established in the statewide Natural Communities Conservation Planning (NCCP) Program. Both the tentative tract maps and the final maps shall demonstrate compliance with NCCP guidelines. Compliance with the guidelines shall be developed in consultation with the United States Fish and Wildlife Service and the California Department of Fish and Game. The [upland] areas to be retained in their natural state, pursuant to this policy, as well as all other areas of the site proposed for retention in their natural state shall be placed in an open space deed restriction as a condition of approval for any development pursuant to the Master Plan.

3. Erosion Sedimentation, Drainage

Subject to the modifications, additions, or exceptions detailed below, as a part of any permit application, the applicant shall submit an erosion, sedimentation and drainage report prepared by a qualified professional which includes the requirements of the Model Erosion Control Ordinance reprinted in the Appendix to the June 1980 Carlsbad Master Drainage Plan, all requirements of the Master Drainage Plan, and the additional requirements specifically enumerated herein. The June 1980 Master Drainage Plan and its appendices are herein incorporated by this reference. No subsequent amendments are a part of this zone unless certified by the Coastal Commission. The general provisions, procedures, standards, content of plans and implementation contained therein are required conditions of development in addition to the provisions below. Approved development shall include the following conditions, in addition to the requirements specified above:

- a) All offsite, downstream improvements (including debris basin and any other improvements recommended in the Drainage Plan) shall be constructed prior to the issuance of a grading permit onsite. Improvements shall be inspected by City staff and certified as adequate and in compliance with requirements of this zone. If the City

declines to accept maintenance responsibility for the improvements, the developer shall maintain the improvements during construction of the onsite improvements.

- b) If the offsite or onsite improvements are not to be accepted and maintained by a public agency, detailed maintenance agreements including provisions for financing the maintenance through bonding or other acceptable means shall be secured prior to issuance of the permit. Maintenance shall be addressed in the report required to be submitted with the permit application.
- c) Construction of offsite drainage improvements may use an assessment district or any other acceptable manner. Such mechanisms shall be secured by bonding or other acceptable means prior to issuance of a coastal development permit.
- d) If a public agency agrees to accept maintenance responsibilities, it shall inspect the facilities prior to onsite construction or grading and indicate if such facilities assure continued maintenance. No onsite development may take place prior to acceptance of the drainage improvements.
- e) All construction activities shall be planned so that grading will occur in units that can be easily completed within the summer construction season. All grading operations shall be limited from April 1 through October 1 of each year unless otherwise approved by the Coastal Commission. In such case the Planning Director and City Engineer may consider and approve other alternatives approved by the Coastal Commission. All areas disturbed by grading shall be planted within 60 days of the initial disturbance and prior to October 1 with temporary or permanent (in the case of finished slopes) erosion control methods. The use of temporary erosion control measures, such as berms, interceptor ditches, sand-bagging, filtered inlets, debris basins and silt traps, shall be utilized in conjunction with plantings to minimize soil loss from the construction site. Said planting shall be accomplished under the supervision of a licensed landscape architect, and shall consist of seeding, mulching, fertilization and irrigation adequate to provide 90% coverage within 90 days. Planting shall be repeated if the required level of coverage is not established. This requirement shall apply to all disturbed soils including stockpiles. This requirement shall be a condition of the permit.

4. Agricultural Mitigation

Prior to final map approval, a plan must be submitted to the Planning Director which identifies how noise and dust impacts

to proposed residential uses from agricultural activities to the north of the Master Plan area will be mitigated. Mitigation measures should include a combination of the following:

- a) Adequate horizontal setbacks between proposed dwelling units and existing agricultural areas,
 - b) Use of heavy landscaping walls and topographic changes to provide vertical buffers, and
 - c) Requiring that prospective homeowners sign a notice of acknowledgement whereby they acknowledge the proximity of their home to agricultural activities and the possible effects of agricultural activities on their residences.
5. A public access trail system along the north shore of the lagoon shall be provided by the applicant. The trail shall be conveyed to an appropriate agency or non-profit organization (subject to City of Carlsbad approval) through a recorded open space easement prior to approval of the first final map under this Master Plan.

Lagoon access ways and overlook areas shall be provided by the developer for public use as part of the trail system on the north side of the Batiquitos Lagoon. The developer shall submit a plan for this trail system to the Planning Director prior to approval of the first final map under this Master Plan. The plan for trails shall at a minimum indicate location, time of construction, conformance with the Batiquitos Lagoon Enhancement Plan and number of overlooks. Construction of the trail and overlook system shall occur prior to occupancy of the resort hotel or at a time that may be specified by the City Council. Following construction the maintenance of the trail and overlook areas shall be the responsibility of the developer.

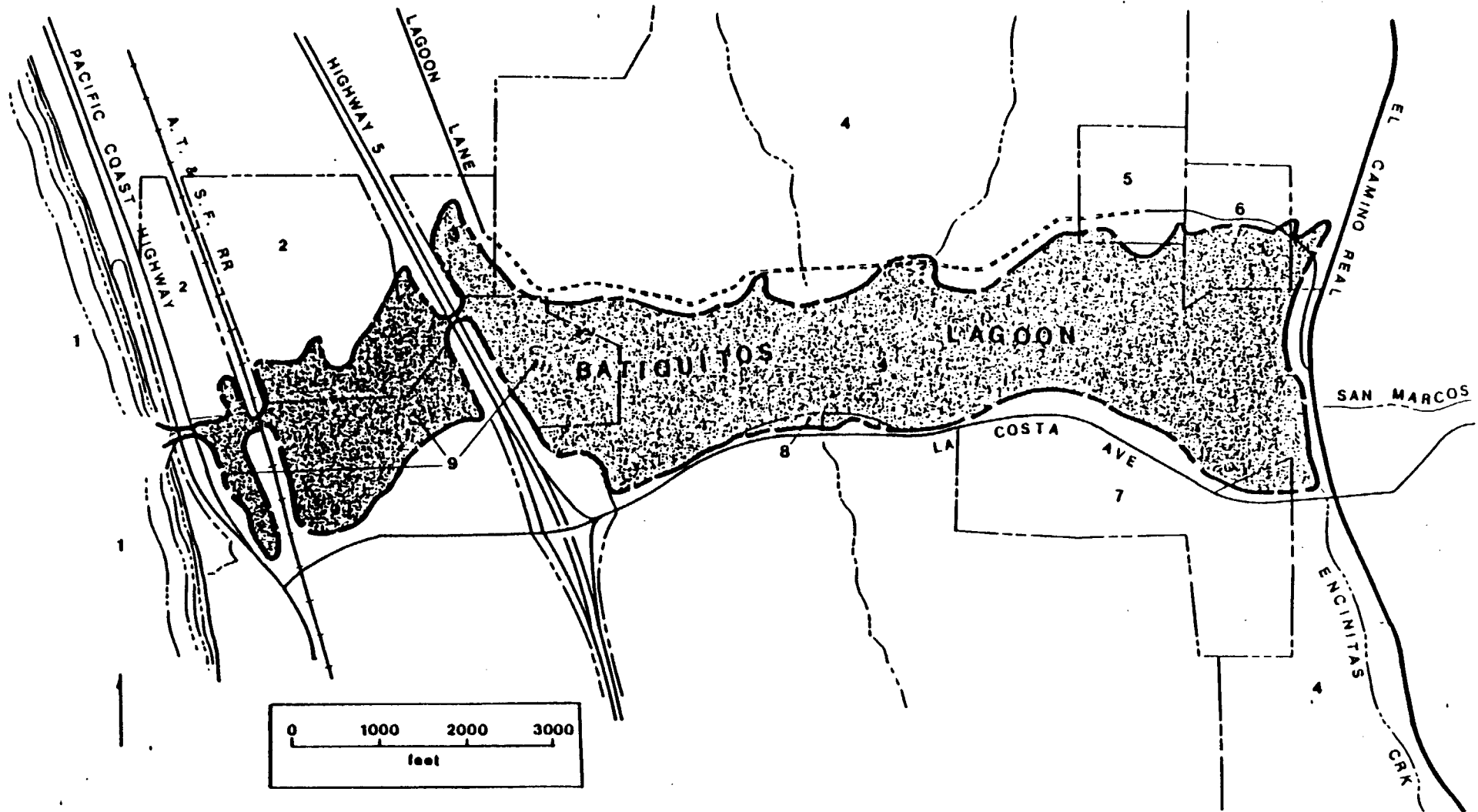
D. LAGOON ENHANCEMENT

The central focus of this development is a world class destination resort consisting of a major hotel, golf course, supporting athletic and golf facilities. Central to the applicant's development concept is that the resort oriented to the water feature of Batiquitos Lagoon. Although in recent years the lagoon has had water in it year round, historically that has not been the case. There have been substantial periods of time when either the lagoon was in a dead condition where it produced significantly adverse odors, or totally dry presenting an unattractive mud flat. This Master Plan does not include a proposal for restoration of the lagoon since the City is involved in an ongoing plan with the Port of Los Angeles for a more extensive and comprehensive restoration of the lagoon. The proposed Port of Los Angeles plan would meet the resort's needs by, controlling the odor, and ensuring year round water. Should the Port of Los Angeles Plan not be implemented then the City and the applicant shall work together with other property owners abutting the lagoon to provide an equitable enhancement program.

E. MASTER PLAN GENERAL PROVISIONS

This section provides general provisions which shall be applied to all planning areas of the Pacific Rim Country Club and Resort.

1. The maximum development potential permitted by this Master Plan is shown in Exhibit II-3 and Table A. Whether the square footage of commercial development or the number of residential dwelling units shown on that table may be built will depend on the subsequent specific approval for each planning area. Except as provided in this paragraph the number of dwelling units which may be permitted within a planning area shall not exceed the number stated in Table A under the column labeled "Number of Units Growth Control". If there is an excess of available units within the Southwest Quadrant per Section 21.90 of the Municipal Code, then the City Council may at its discretion allow additional residential dwelling units as permitted under the City's Growth Management Ordinance within planning areas numbers 17, 18, 19, 21, 26, and 30. Additional units may be permitted if any only if (I) the City Council finds that there are sufficient excess dwelling units within the entire southwest quadrant of the City because other property within that quadrant has been developed or has received land development approvals at less than would be allowed by the General Plan applicable to that property applying the density control point or (ii) the General Plan or City Council policy establishing the "control point" is subsequently amended in a vote of the Carlsbad citizens to eliminate or modify the control point restriction. Should additional dwelling units become available within the Southwest Quadrant, HPI will be required to petition the City Council to request these additional units. Under no circumstances will preference be given to HPI if they request additional units. All other developers within the quadrant will have the same rights and privileges to compete for any available units. If HPI is granted additional units under the provisions above the total amount of units permitted under this Master Plan shall not exceed 3500 residential units.



BATIQUITOS LAGOON ENHANCEMENT PLAN

LAND OWNERSHIP

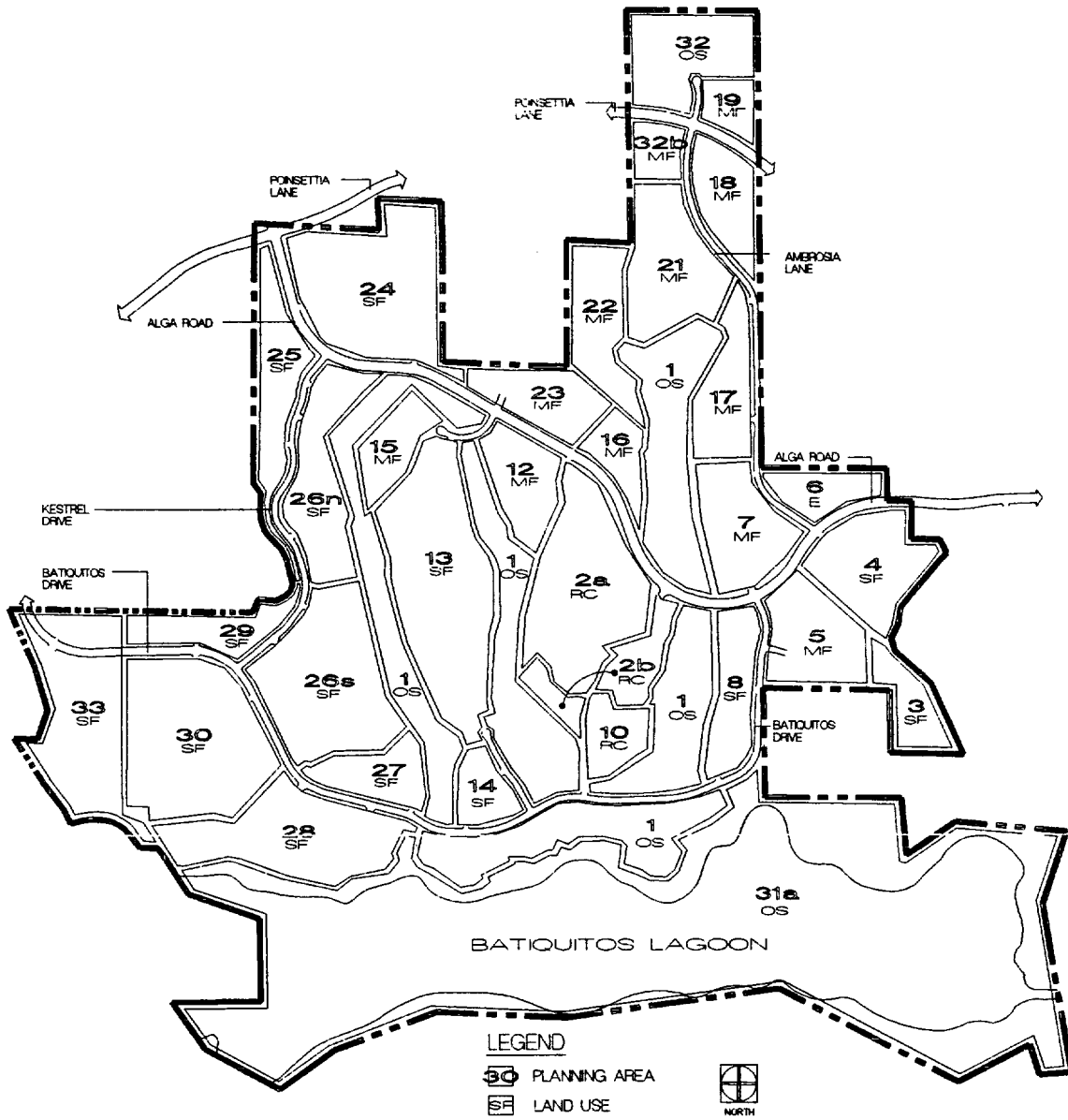
FIG. F
EXHIBIT 11-2a

--- PROPERTY LINE
- - - WETLAND BOUNDARY

- | | | |
|---------------------------------------|-------------------------------|--------------------------------|
| 1 CA. STATE DEPT., PARKS & RECREATION | 5 MURPHY | 9 CA. STATE DEPT., FISH & GAME |
| 2 SAMMIS PROPS. | 6 MITSUCHI | |
| 3 SAVAGE | 7 COMMUNITY BANK | |
| 4 HUNT PROPS., INC. | 8 LEUCADIA CO. WATER DISTRICT | |

In no case will HPI or any other developer receive additional residential units until each local plan has been prepared and adopted by the City Council. The City Council determination of whether excess units are available or the "control point" is not applicable shall be made at the time that development approvals are given for each of the specified planning areas. Unless a Master Plan Amendment is processed, the development allocations shown on Table A shall not be changed, except that residential dwelling units in a planning area may be increased up to 10 percent provided that there is a concurrent reduction in the number of dwelling units permitted in another planning area in a corresponding amount, and further provided that the total maximum number of dwelling units shall not be increased.

2. Site Development Plans described in Chapter III shall be evaluated in accordance with municipal ordinances and policies in effect at the time said plans are before the Planning Commission and City Council for approval. Where a conflict in development standards occur, the more restrictive standard will take precedent. Approval and construction of a part of the development pursuant to this Master Plan shall not vest any rights in the balance of the Master Plan nor create any vested rights in the approval of any subsequent development.
3. All land and/or easements required by this Master Plan for public streets, parks, open space, recreational purposes and public utility purposes shall be granted to the City of Carlsbad without cost to the City and free of all liens and encumbrances.



SUMMARY

RESIDENTIAL		
SF	SINGLE FAMILY	GROSS ACRES
3		54
4		22.8
8		27.3
13		66.5
14		20.9
17		25.1
21		30.4
22		21.6
24		54.0
25		28.4
26		78.4
27		18.9
28		45.6
29		16.4
30		57.4
33		40.9
TOTAL		562.0

RESIDENTIAL		
MF	MULTI FAMILY	GROSS ACRES
5		23.8
7		30.3
12		26.1
15		22.2
16		8.2
18		24.8
19		9.3
TOTAL		144.7

COMMERCIAL		
PA	USE	GROSS ACRES
N	23 NEIGHBORHOOD	18.3
RC	2 RECREATION	60.0
RC	10 RECREATION	8.2
TOTAL		86.5

OPEN SPACE			
OS	PA	USE	GROSS ACRES
1		GOLF COURSE	171.5
32		PARK	24.3
32B		LAGOON	307.1
32B		WETLANDS	79.9
31B		RECREATION	8.2
10		STREET CORRIDOR	27.2
TOTAL			618.2

INSTITUTIONAL		
PA	USE	GROSS ACRES
6	ELEMENTARY SCHOOL	12.4
32B	DAY CARE / CHURCH	4.5
TOTAL		16.9

Amended:
 May 7, 1991
 August 4, 1994
 December 14, 1995
 Updated March 12, 1997
 July 22, 1997
 January 13, 1998



EXHIBIT II-3
MASTER LAND USE PLAN

920309
 UPDATED: DECEMBER 10, 1997



TABLE 1
MAXIMUM CONCEPTUAL LAND USE SUMMARY

PLAN AREA	PHASE	LAND USE	ACRES ¹	BUILDING AREA SQ. FT.	NO. OF UNITS GROWTH CONTROL	DENSITY DU/AC	NO. OF POTENTIAL UNITS IF PERMITTED UNDER 21.90*
1	I	GOLF COURSE	171.5	30,000			
2a	I	RESORT HOTEL	20.3	661,200			
2b	I	RESORT CLUB	46.0	415,500			
3	I	SINGLE FAMILY	5.4		27	5.4	*See discussion in text.
4	I	SINGLE FAMILY	22.8		103	4.5	
5	I	MULTIPLE FAMILY	23.8		189	7.9	
6	I	ELEMENTARY SCHOOL	12.4				
7	I	MULTIPLE FAMILY	30.3		240	7.9	
8	I	SINGLE FAMILY	27.3		75	2.7	
10	I	SPORTS CENTER	11.8	52,400			
12	I	MULTIPLE FAMILY	26.1		351	13.4	
13	I	SINGLE FAMILY	66.5		72	1.1	
14	I	SINGLE FAMILY	20.9		52	2.5	
15	I	MULTIPLE FAMILY	22.2		192	8.2	
16	I	MULTIPLE FAMILY	8.2		121	14.9	
17	III	SINGLE FAMILY	25.1		43	1.7	
18	III	MULTIPLE FAMILY	20.1		335	16.6	
19	III	MULTIPLE FAMILY	9.3		109	11.7	
21	III	SINGLE FAMILY	30.4		82	2.7	
22	III	SINGLE FAMILY	21.6		16	1.3	
23	III	MULTIPLE FAMILY	18.3		142	7.7	
24	II	SINGLE FAMILY	54.0		193	3.6	
25	II	SINGLE FAMILY	28.4		37	1.3	
26	II	SINGLE FAMILY	78.4		185	2.35	
27	II	SINGLE FAMILY	18.9		55	2.9	
28	II	SINGLE FAMILY	45.6		66	1.44	
29	II	SINGLE FAMILY	18.4		36	1.9	
30	II	SINGLE FAMILY	57.4		105	1.82	
31	II	OPEN SPACE	387.0				
32	City	PARK	24.3				
32a	III	PARK RESERVE	1.75				
32b	III	CHURCH/DAY CARE	4.5				
33	II	MULTIPLE FAMILY	40.9		72	3.1	
TOTAL			1399.85		2898	3.1	

¹Excludes 27.2 Acre Utility Corridors

Amended December 14, 1995
 Amended July 22, 1997
 Amended January 13, 1998

4. Pursuant to the powers of Chapter 21.38 of the Carlsbad Zoning Ordinance, this Master Plan shall constitute the zoning for all lands within the Master Plan. No person shall use or develop land located within the boundaries defined by the Master Plan contrary to the provisions of the Master Plan. All provisions of the Master Plan are imposed as a condition of zoning.
5. Approval of this plan does not constitute and guarantee individual development with the Master Plan area will be approved.
6. The location of streets, utilities and other land use related improvements are approximate on the Master Plan map. Precise locations will be established through the approval of individual Site Development Plans and Tentative Maps. A variation of up to but not exceeding ten (10) percent in such locations as shown on the Master Plan map shall be considered consistent with the Master Plan.
7. There shall be permitted as part of a tentative subdivision map approval for any residential neighborhood, a model home complex containing up to four (4) product types subject to the provisions of Section 21.60.030 of the Carlsbad Municipal Code. The Planning Director may approve more than four product types subject to adequate agreements guaranteeing the removal of said units should the subdivision map not record within the time period prescribed by law.
8. Approvals for each Planning Area shall require a landscape and irrigation plan be submitted to the Planning Director prior to the issuance of building permits.
9. Approval of the Planning Director shall be required to remove trees from major groves illustrated in Chapter V. A tree thinning program shall be prepared by a landscape architect, tree surgeon or botanist.
10. Detailed elevations of all buildings shall be submitted concurrently with all Site Development Plans and or tentative maps unless otherwise stated as a condition of the Site Development Plans or Tentative Map.

11. The uses for each Planning Area listed in Chapter V of this Master Plan are the permissible uses for that Planning Area and which may be less than those set forth in Title 21 of the Carlsbad Municipal Code.
12. All development proposed shall comply with the grading and resource preservation policies of the underlying Local Coastal Program.
13. Grading activity shall be prohibited during the rainy season (October 1 to April 1).
14. All planning areas shall comply with public facilities requirements included within the Local Facilities management Plan for Zone 19.
15. Development Standards are established by the Master Plan and design guidelines are provided for below, in order to implement those standards. Two Master Associations shall be established for Aviara. One association shall have jurisdiction over Planning Areas 17, 18, 19, 21, 22, 23 and 32b of Phase III of Aviara ("Aviara Premiere Collection Master Association"). The second association shall have jurisdiction over all other planning areas in the Master Plan area ("Aviara Master Association"). Each master association shall have Covenants, Conditions and Restrictions (CC&R)s which control the private uses, design, maintenance and development standards for each area of the Master Plan. Each master association shall form a Design Review Board which shall review the architecture and site planning for all construction and development proposals within the Master Plan. The CC&R's shall be approved by the City Attorney, and Planning Director; the City shall not participate as a member of a design review board.
 - a) The CC&R's shall state expressly that the property is subject to the provisions of the Master Plan. It shall also be indicated that the City shall have the right but not the obligation to enforce the provisions of this Master Plan through the normal enforcement procedures if the City Council determines such enforcement is necessary to protect the public welfare and may assess homeowners for costs incurred therein.
 - b) The CC&R)s shall prohibit the storage or parking of recreational vehicles within any of the residential planning areas except in approved RV storage areas.
 - c) The Master Plan applicant shall prepare an Aviara Development Overview and Residential Design Guidelines to be a detailed community agenda and architectural review manual for use by a Design Review Board. This manual shall be submitted for approval by the Planning Director prior to approval of the first final maps for the project. All development shall occur substantially as shown in the Aviara Development Overview and Residential Design Guidelines. Any proposed amendments to the overview and guidelines require review and approval by the Planning Director.

- d) The Master CC&Rs shall require that each individual planning area association shall participate in the maintenance of the RV storage area, and the Phase III CC&R's shall provide for a nonexclusive easement (within an easement area previously granted to SDG&E) to be granted to the Aviara Master Association (Phase I/II Association) to allow for continued access to and use of the RV storage facility.
 - e) Each Master Association shall provide in their Master CC&R's for their relative share of the cost of the operation and maintenance of the RV storage lot, and the entry features, and shall fund the operation and maintenance of the trail system, common slopes and other common features identified in the Master CC&Rs for their respective Phase limits, in accordance with the Master Maintenance Plan as approved by the Planning Director as specified below.
 - f) It is the intent of this Master Plan that master common facilities identified within this Master Plan (such as the RV storage lot, community trails, etc.) shall be made available for access and use by all Aviara residents, regardless of which Master Association controls its operation and maintenance.
 - g) Each Planning area shall have its own separate homeowner's association and CC&R's which control the private uses, design, maintenance and development standards for each planning area. The CC&R's shall be approved by the City Attorney and Planning Director. This association shall be an equal member of the Master Association having jurisdiction over its planning area and may be required to pay a reasonable amount of dues to the Master Association. The provisions of the Master CC&Rs shall be binding to the provisions of the CC&Rs for the individual planning areas and may not conflict.
16. Slope areas within the R-1 type standard subdivisions and other planning areas shall be maintained separately by each Master Association if exposed to major streets. Each planning area shall comply with the provisions of the Master Maintenance Plan showing all areas to be maintained by each respective Master Association. The Master Maintenance Plan may be administratively approved by the Planning Director, initially, or subsequent to any proposed amendment. All maintenance improvements shall occur substantially as shown in the Master Maintenance Plan. Any modifications proposed to the approved maintenance plan require approval of the Planning Director.
17. An extensive trail system shall be provided for the Master Plan area. The trail system shall be consistent with the Batiqitos Lagoon Enhancement Plan.

18. No grading or development (exclusive of a public access trail along the lagoon shoreline which shall be consistent with the Lagoon Enhancement Plan) shall be allowed within 100 feet of the wetland boundary.
19. To ensure that all development areas of the Master Plan shall be adequately served, the developers of the master Plan or portions thereof shall be required to provide for the construction of all necessary public facilities pursuant to the approved Zone 19 Local Facilities Management Plan.
20. The applicant shall comply with all provisions of the Carlsbad Municipal Code, Section 21.90 (Growth Management Program).

21. The applicant by pulling building permits pursuant to the Master Plan and the Local Facilities Management Plan (LFMP) for Zone 19 agrees that all of the dedication and other requirements imposed as a condition of the Master Plan for Zone 19 LFMP are reasonably necessary to serve the needs of the development for which the building permits are required.
22. If any condition for construction of any public improvements or facilities, or the payment of any fees in lieu thereof, imposed by this approval or imposed by law on this project are challenged this approval shall be suspended as provided in Government Code Section 65913.5. If any such condition is determined to be invalid this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law.
23. Unless noted, approval of this document does not excuse compliance with all other applicable City ordinances in effect at the time building permits are issued.
24. As a condition of approval of this Master Plan, the applicant shall convey to the State Lands Commission or if it elects not to accept then to the City of Carlsbad by grant deed, irrevocable offer to dedicate, or permanent easements, Batiquitos Lagoon and wetland areas, the boundaries of which have already been determined by California Department of Fish and Game, U.S. Fish and Wildlife Service, and Army Corps of Engineers and are generally depicted on Exhibit II-2a of this Master Plan. The more detailed and precise boundary maps are on file in the Planning Department. The grant deed, irrevocable offer to dedicate, or easement deed shall be in a form reasonably acceptable to the Carlsbad City Attorney. If dedication is through permanent easement said easement shall be sufficient to allow Carlsbad or it's successor in interest to enter the property and conduct whatever surveys and other actions necessary to accomplish construction of an enhancement project and to assure the maintenance and monitoring of the lagoon as fish and wildlife habitat in perpetuity. Such land use constraints shall run with the title of the land. If the City Council (or State Lands Commission if applicable) so determines, the interest in the properties conveyed by the applicant may be further conveyed to an appropriate agency as may be determined by the City Council (or State Lands Commission if applicable) if that agency is willing to accept responsibility for the maintenance of Batiquitos Lagoon as an enhanced wildlife habitat. Said dedication shall be free of all prior liens and encumbrances, other than those identified by exceptions in the Preliminary Title Report issued by First American Title Insurance Company order number 924175-15 dated 10-21-87, on file in the Planning Department and shall be binding on the applicant's successors in interest and any subsequent purchasers of any portion of the real property covered in this Master Plan. The dedication shall be made upon the satisfaction of each of the following.

a) The City adopts resolutions approving:

1. The Pacific Rim General Plan Amendment GPA/LU 85-2;
2. Tentative tract map for Phase I of the Master Plan, CT 85-35;
3. Site development plans for Planning Areas 1, 2, 9, 10, and 11 of Phase I, SDP 86-2;

And the City Council enacts an ordinance adopting the Pacific Rim Master Plan, MP-177.

b) The California Coastal Commission adopts a resolution approving the Master Plan (MP-177), Tentative Tract Map for Phase I (CT 85-35), and Site Development Plans for Planning Areas 1, 2, 9, 10 and 11 of Phase I (SDP 86-2) and issues its "Notice of Intent" to issue permit authorizing construction of the improvements specified in those plans identified as items 2 and 3 inclusive under 24.a above, with or without modifications or conditions additional to those approved by the City.

The applicant must submit a complete application to the California Coastal Commission requesting the approval of all items identified in 24a or the Coastal Commission equivalent. Said application shall be submitted within fifteen (15) days of the satisfaction of condition 24a above. Furthermore, the applicant shall diligently pursue the application to completion. The applicant shall not request any time extension in the processing or consideration of the Coastal Commission applications, recognizing that if Coastal Commission staff requests additional time extensions, applicant may authorize.

25. The applicant shall within thirty (30) days from the satisfaction of Condition 24b above either elect to abandon the project which will repeal the approval of the Master Plan and related actions or the applicant can indicate its desire to go forward with the project by making the irrevocable offer to dedicate required by Condition 24. If the applicant elects to proceed with the project, then the applicant must deliver, within the 30 day period from the satisfaction of 24b above, a properly executed deed or an irrevocable offer to dedicate for lands described in Condition 24. The deed shall be in a form reasonably acceptable to the Carlsbad City Attorney (or Council for State Lands Commission if applicable) with appropriate subordinations and other documents necessary to convey the property interests to the City (or State Lands Commission if applicable) free of all liens and encumbrances other than those permitted in Condition 24.

The applicant is put on notice that all time limits identified in Conditions 24, 24a, 24b and 25 are in calendar days. Furthermore, failure to comply with any of

the time limits specified in Conditions 24, 24a, 24b and 25 shall constitute grounds for immediate review by the City Council.

26. Any portion of the Master Plan that is dedicated for public purposes including but not limited to parks, roads, schools, etc. shall be dedicated free of any prior liens or encumbrances including Agricultural Conversion Mitigation fee.
27. Density in each planning area shall be determined the same way as other projects in the City based on quality and amenities as described in the General Plan.
28. The maximum number of dwelling units premitted by this Master Plan for Phase I shall be 1,522. This number may be reduced depending on environmental and design constraints identified during site development plan or tentative map review.
29. All development proposed shall comply with the City's Hillside Development Regulations (Chapter 21.95).
30. All development within this Master Plan 177 shall comply with all provisions of the Zone 19 Local Facilities Management Plan (adopted _____), incorporated herein by reference and on file in the Planning Department.
31. The applicant shall dedicate 24.25 acres of park land in Planning Area 32 as shown on the Master Land Use Plan prior to issuance of the first final map within the boundaries of this Master plan. This area represents the developers responsibility under the Quimby Act and accounts for the park demand of the other developers within Zone 19 pursuant to Chapter 21.90 of the Carlsbad Municipal Code.

In addition, the developer shall reserve 5.75 acres for park/recreation purposes in the area shown on the Master Land Use Plan (Exhibit II-3) as Planning Area 32a. No development may occur in this area until July 1, 1995. On or before this date the City of Carlsbad must, in writing, indicate to the property owner whether this 5.75 acres of Planning Area 32a is needed for dedication. If this area is needed for park/recreation dedication then the developer shall be eligible for reimbursement for the 5.75 acres and also for the other 3.20 acres dedicated above the Quimby Act requirements pursuant to the terms and conditions described in the Local Facilities Management Plan for Zone 19. If development is proposed for Planning Area 19 prior to July 1, 1995, or prior to the City accepting dedication of the 5.75 acres, then no more than 50 units may be developed in Planning Area 19 until the park issue in Planning Area 32a is resolved.

Should the City of Carlsbad not need this acreage in Planning Area 32a (5.75 acres) for dedication then it shall revert to Planning Area 19. Upon reversion to Planning Area 19, and

subject to all approvals, the 5.75 acres may be developed as part of Planning Area 19 as described under this Master Plan. Under this scenario the developer may still collect reimbursement for those park acres dedicated above the Quimby Act requirements pursuant to the terms and conditions described in the Local Facilities Management Plan for Zone 19.

Prior to the dedication of any park land pursuant to this Master Plan the developer shall submit the following information to the Planning Director and the Director of Parks and Recreation:

- a) A biological and soils analysis of the site along with a cultural resources inventory and any other environmental reports as may be required by the Planning Director and a conceptual development plan of the park which also shows how the 5.75 reserve acres in Planning Area 32a would relate if needed, to the satisfaction of the Parks and Recreation Director.
- b) The applicant shall also provide, in writing, a statement as to whether or not the park site has ever been used for the disposal or storage of toxic wastes pursuant to Section 25300 et. seq. of the Health and Safety Code.

If it is found that the proposed park has major environmental constraints or cannot physically accommodate park uses needed by the City then the City may reject Area 32 and opt for a more suitable site within the Master Plan Area.

- 32) Notice of the approval of this Master Plan for property within its boundaries shall be recorded with the County of San Diego Recorders Office.
- 33) Prior to the recordation of the first final map within the boundary of MP-177, the applicant shall submit a map with all the existing onsite oak trees plotted. In addition, a text shall be submitted showing the approximate size of the trees, the feasibility of relocating each tree that would be eliminated by development to another place or site. The text shall also include individual cost estimates for relocation and shall be prepared by an expert with experience in relocating oak trees. The text and map shall be submitted to the Planning Commission for review. The Planning Commission may indicate trees to be relocated on site.

- 36) Prior to final map approval for the Phase II portion of the Aviara Master Plan, the applicant (Hillman Properties or their successor in interest) shall enter into an agreement with the City to provide the Aviara Master Plan's proportional share of the City's total obligation for very low, low, and moderate income housing units.

F. Land Uses

The specific land uses included within this Master Plan are shown on Exhibit II-3.

1. Residential

The Pacific Rim Country Club and Resort Master Plan provides for a maximum of 2,861 dwelling units. Both single and multi-family categories have been designated on the Master Land Use Plan to offer a variety of housing opportunities consistent with the City's General Plan, which requires a variety of housing types, as well as sensitivity to topography and environmental constraints, such as the lagoon and steep slopes.

SF Single Family - Planning Areas 3, 13, 21, 22, 25, 27, 28, 29, and 33 will accommodate a maximum of 463 standard single family residences (minimum R-1-7500) on the Master Land Use Plan. Planning Areas 4, 8, 14 and 24 will include a maximum of 423 small lot single family dwelling units. These areas consist of approximately 339 acres. The SF classification will accommodate detached product types including custom homes and traditional subdivisions. It is anticipated that minimum lot sizes for standard single family residences will range from 7,500 - 10,000 square feet. Small Lot single family planned development lots will range in size from 4,500 - 7,400 square feet. According to the provisions of this Master Plan, zero lot line products may also be developed with the approval of the Planning Commission.

MF Multi-Family - Planning Areas 5, 7, 9, 12, 15, 16, 17, 18, and 22 allow the development of 1,238 multi family dwellings. These areas account for a total of approximately 405 acres. The multifamily category encompasses a broad range of attached housing types: duplex and triplex units, townhomes and stacked flats. Clustered housing configurations will be utilized extensively for this residential category in order to retain natural slopes whenever possible and to maximize open space opportunities.

Planning Areas 17, 18, 19, 20, 21, 26 and 30 may be used for either single family or multi-family dwelling units. The number of dwelling units that may be constructed in these planning areas shall be determined as provided in Section IID.1.

2. Commercial

A total of approximately 45 acres has been designated for commercial use. Two commercial classifications are included within the plan; neighborhood commercial, and recreational commercial.

N Neighborhood Commercial - An approximate 15 acre neighborhood commercial center site (Planning Area 23) has been designated at the intersection of Alga Road and "J" Street. The neighborhood

center has been located so that it will be easily accessible from each of the residential neighborhoods. Generally, a commercial center serves a population of approximately 10,000 residents. It is intended to primarily satisfy the retail requirements of permanent residents of the Pacific Dim Development. The Center may include a supermarket, drug store, retail and personal service shops. It is expected the total floor space of the center will not exceed 120,000 square feet.

RC Recreational Commercial - Planning Area 2 is the Hotel Resort which includes approximately 27.5 acres. The hotel resort is located on a prominent hillside in the center of the community. A main hotel consisting of 254 rooms will be complemented by conference suites, hillside retreat suites and hotel villas.

RC Recreational Commercial - Planning Area 11 has been designated for Visitor Commercial uses. Planning Area 11 includes approximately 2.4 acres and is located within the core area south of the Sports Center in Planning Area 10. It is anticipated the area may include restaurants or similar commercial uses that are oriented to visitors.

RC Recreational Commercial - Planning Area 10 includes 8.2 acre Community Sports Center. The membership sports center will be available for use by visitors to the resort and visitors of the community.

3. Open Space

Preservation of open space and particularly the Batiquitos Lagoon is an important facet of the Master Land Use Plan. Open space constitutes the largest single land use within the Master Plan area. Planning Areas 1, 31, and 32 (580.7) are designated exclusively for open space. The Pacific Rim Country Club and Resort open space program also consists of natural canyons, hillsides, utility corridors, trails, landscaped parkways and eucalyptus groves which are located throughout the community. The Master Association will be responsible for designated open space areas.

Four open space categories are included within the Master Land Use Plan.

a) Open Space For the Preservation of Natural Resources

- * The eastern basin of Batiquitos Lagoon and its wetlands. The Batiquitos Lagoon Enhancement Program as prepared by the California Coastal Conservancy and agreed upon by the City of Carlsbad will govern the restoration of Batiquitos Lagoon.
- * Natural slopes - approximately 240 acres

- Tree groves - approximately 45 acres
 - * The project applicant shall pay agricultural conversion mitigation fees which may be used to improve Coastal Resources.
- b) Open Space For the Managed Production of Resources
- The project applicant shall pay agricultural conversion mitigation fees which may be used to purchase or improve agricultural lands per the Coastal Agricultural (C-A) Overlay zone.
- c) Open Space For Outdoor Recreation
- Golf Course - 171.5 acres. An eighteen-hole, championship golf course is located in the three north to south trending valleys of the property. It is a significant visual amenity that serves as a buffer between planning areas. The private golf course will be available to members and guests of the hotel.
 - Six miles of nature trails
 - Community park - A community parks shall be established pursuant to Chapter II of the Master Plan.
 - * Planned development recreation areas - approximately 11.8 acres.
- d. Open Space For Public Health and Safety
- Utility Corridors. Two public utility corridors are located within the Master Plan area. In addition to carrying public utility lines, the corridors will be utilized as open space buffers between planning areas, passive recreation areas and for recreational vehicle storage. The corridors will be enhanced and utilized as recreational amenities.
 - Slope areas are maintained in open space.
 - The Batiquitos Lagoon Floodway is maintained in open space.

4. School

E School - An approximately 12.4 acre elementary school site has been designated for Planning Area 6. The site will be dedicated to the Carlsbad Unified School District.

g. Legal Description

Portions of Sections 22, 26, 27, 28, 33, 34 and 35 in Township 12 South, Range 4 West, San Bernardino Meridian, in the City of Carlsbad, County of San Diego, State of California.

CHAPTER III

DEVELOPMENT REVIEW PROCESS

III. DEVELOPMENT REVIEW PROCESS

Individual Planning Areas within this Master Plan shall be reviewed relative to the provisions of this chapter.

A. MASTER PLAN

The Master Plan establishes the development standards for the Pacific Rim Country Club and Resort project area. The Pacific Rim Country Club and Resort Master Plan consists of this Master Plan text, the Master Land Use Plan and related Master Plan exhibits. The Master Plan area is divided into 32 individual Planning Areas. Each of the Planning Areas has been established based upon a number of factors including natural features, circulation system, product type and compatibility with adjacent land uses. The Planning Areas are described in detail in Chapter V of the Master Plan text. A description of the permitted uses, special development standards, design guidelines and public facilities phasing are provided for each Planning Area. Development which is not consistent with this Master Plan shall not be approved.

The specific uses, square footages, and number of dwelling units within each Planning Area shall be established by the Site Development Plan review process which is described below. The detailed review of each Site Development Plan and tentative map may also require additional studies as determined by the Planning Director.

B. SITE DEVELOPMENT PLAN

A Site Development Plan processed pursuant to Chapter 21.06 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of each Planning Area. The Site Development Plan shall be consistent with the concepts, goals and standards specified in this Master Plan and to ensure compatibility with all appropriate City policies and ordinances. After final approval of each Site Development Plan, building, grading and other ministerial permits for the development of the site may be issued and provided that all public facility requirements have been satisfied, per the Zone 19 Local Facilities Management Plan.

Each site development plan shall be submitted and processed as set forth in Chapter 21.06, Qualified Development Overlay Zone, of the Carlsbad Municipal Code except that:

1. A tentative subdivision map, if required by the State Subdivision Map Act and Title 20 of the Carlsbad Municipal Code, shall be submitted for each Planning Area prior to or in conjunction with the Site Development Plan.

2. All site development plans and tentative subdivision maps which include 50 or more dwelling units shall be reviewed by the Planning Commission and City council, with the exception that residential Planning Areas which include 50 or more dwelling units that have an approved tentative subdivision map shall be reviewed solely by the Planning Commission unless appealed. All residential site development plans and tentative subdivision maps which include less than 50 dwelling units shall be reviewed solely by the Planning Commission unless appealed. A site development plan shall not be approved unless the decision making bodies determine that the individual plan is consistent with the concepts, goals and standards described in this Master Plan and all applicable City policies and laws.
3. Prior to review by the Planning Commission and City Council each Site Development Plan submitted subsequent to the initial Master Plan review process shall be reviewed by a Design Review Board.
4. The Site Development Plan required above need not be processed if a planning area is processed pursuant to Chapter 21.45 of the Carlsbad Municipal. Code (PD Ordinance). Non-residential planned unit developments will require the processing of a site development plan as required above.
5. If any of the following Planning Areas, 3, 13, 25, 27, 28, or 29, are developed under a custom lot sales program, individual site plans for each lot in that Planning Area may be submitted to the Planning Director for approval in lieu of processing a site development plan.

C. DEVELOPMENT AND PUBLIC FACILITY PHASING

The Zone 19 Local Facilities Management Plan contains a detailed development phasing program. The objective of the program is to coordinate the provision of public facilities and services with a projected sequence and pattern of development. The project has been divided into ten development phases. Each phase has specific onsite and offsite improvements that are required prior to or concurrent with development. Thresholds (Performance Standards) are established in the zone 19 Local Facilities Management Plan to ensure the appropriate timing of facilities and services. All public facility performance standards identified in the Zone 19 Local Facilities Management Plan must be complied with as the Master Plan develops.

D. DESIGN REVIEW BOARD

Prior to submittal of subsequent Site Development Plan applications, the Master Association shall form a Design Review Board for their respective planning areas.

Amended 9/14/93

EXHIBIT III-1

DEVELOPMENT REVIEW PROCESS

MASTER PLAN SUBMITTAL

1. General Plan Amendment
2. Environmental Impact Report
3. Zone 19 Local Facilities Management Plan
4. Master Plan Text
5. Master Land Use Plan

INITIAL DEVELOPMENT PROCESSING

Processed concurrent with Master Plan

1. Tentative Subdivision Map for Planning Areas 1-16
2. Site Development Plans (or equivalent) for Planning Areas 1, 2, 3, 4, 8, 9, 10, 11, 13 and 14

Process and record final maps (with additional requirements for Planning Areas 4, 8 and 14)

* Apply for Building Permits for Planning Areas 1, 2, 3, 4, 8, 9, 10, 11, 13 and 14

INDIVIDUAL PLANNING AREAS (other than 1, 2, 3, 4, 8, 9, 11, 13 and 14)
Application reviewed a Design Review Board

INDIVIDUAL PLANNING AREAS

Reviewed for approval by Planning Commission and City Council

1. Site Development Plan
2. Tentative Subdivision Map
3. Update studies and provide environmental review as required by Planning Director

Process and record final map

Apply for Building Permits

* This is contingent upon all public facilities performance standards of the Zone 19 Local Facilities Management Plan being complied with.

E. TENTATIVE SUBDIVISION MAPS

As required, a tentative subdivision map shall be submitted prior to or concurrent with the Site Development Plan for each respective Planning Area. The Planning Commission and City Council shall review the tentative subdivision map for approval pursuant to Section 3 B.2. of this Master Plan. In their review of the map the Planning Commission and City Council shall not approve the map unless they are able to make the findings that the map is consistent with the Master Plan, the Local Facilities Management Plan for Zone 19, the City's Hillside Development Ordinance, the underlying Local Coastal Program, and the provisions of Title 20 of the Carlsbad Municipal Code.

F. MASTER PLAN AMENDMENTS

Approval of this Master Plan indicates acceptance by the City Council of a general framework and specific development standards for the Pacific Rim Country Club and Resort. It is anticipated that certain modifications to the Master Plan text and exhibits may be necessary during the life of the project. Any modifications to the Master Plan shall occur in accordance with the specific amendment process described in this section. These amendments, should they occur, are divided into two categories which are described below and may be initiated by the City Council or property owner. Amendments must be consistent with the goals, objectives and requirements of the Master Plan, the General Plan, the Zone 19 Local Facilities Management Plan, and the Local Coastal Programs.

1. Administrative Amendments

Upon determination by the Planning Director certain minor modifications to the Master Plan text and/or graphics may not require formal amendments (i.e. through public hearing) to the Master Plan as approved. The Planning Director has the authority to approve modifications to the Master Plan as follows:

- a. Expansions or reductions to the geographic Planning Areas up to 10% in area may be allowed by the Planning Director if the overall dwelling unit yield or use allocation specified for the Planning Area in Chapter V does not increase.
- b. Realignment or modifications of internal streets servicing the project if approved by the City Engineer.
- c. Minor amendments to approved Site Development Plans as described in Section 21.45.160 of the Carlsbad Municipal Code provided such amendments do not increase the approved densities or boundaries of the Site Development Plan, nor permit a new use or group of uses not shown on the approved Site Development Plan.

- d. Minor modification of design features such as paving treatments, fencing, lighting, trails, entry treatments and landscape treatments may also be approved by the Planning Director.
- e. Modifications to the Development Phasing Scenario described in the Local Facilities Management Plan for Zone 19 will require the approval of the Planning Director.

2. Formal Amendments

All Master Plan modifications which do not meet the criteria of an Administrative Amendment noted in this chapter shall require a Formal Amendment to the Master Plan. These amendments shall be processed pursuant to Section 21.38.120 (PC Zone) of the Carlsbad Municipal Code. All formal Amendments shall be reviewed for approval by the Planning Commission and City Council.

Any request for a Formal Amendment to the Master Plan shall require serious consideration as it relates to the intent of the original Master Plan. As a condition of consideration of any amendment to the Master Plan it shall be the applicant's responsibility to:

1. Ensure that the proposed amendment meets the goals and objectives of the Master Plan and the public facilities requirements identified in the Zone 19 Local Facilities Management Plan.
2. Ensure that any impacts to the Master Plan resulting from the amendment can be satisfactorily mitigated.
3. Update any Master Plan studies and/or provide additional studies when determined necessary by the Planning Director.
4. Provide a strike-out/underline copy of the Master Plan Text when changes are necessary and update any Master Plan exhibits affected by the proposed amendment.

G. MASTER PLAN REVIEW

The Pacific Rim Country Club and Resort Master Plan shall be comprehensively reviewed by the City staff every four years or more often at the direction of the City Council. The review shall consider but not be limited to the following topics:

1. Compatibility of land uses
2. Adequacy of Public Facilities
3. Fiscal impacts of development
4. Environmental concerns

CHAPTER IV
COMMUNITY DEVELOPMENT STANDARDS

IV.

COMMUNITY DEVELOPMENT STANDARDS

All development within the Master Plan shall comply with the general development standards established by this chapter.

A. COMMUNITY DESIGN ELEMENTS

This chapter establishes basic design guidelines which shall be followed for all planning areas of the project. These are elements which will have an integral part in providing a sense of continuity throughout the site. They establish the overall character and act as a catalyst for the development of individual design expression. Each element is defined through text and/or illustrations. Site-specific design criteria for each planning area established by Chapter V.

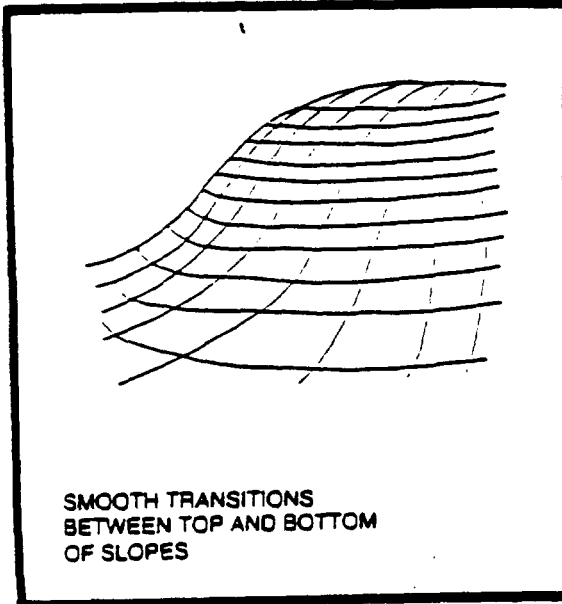
1. Resource Preservation

- All development shall comply with the grading and resource preservation policies of the underlying Local Coastal Programs and subsequent Local Coastal Permit.
- The Master Plan developer shall participate in the restoration of a significant lagoon and wetland resource area.
- Development of the Pacific Rim Country Club and Resort shall provide for the preservation of the Batiquitos Lagoon as a significant visual and wildlife resource.
- No development shall occur within 100 feet of the wetlands boundary which encompasses Batiquitos Lagoon as described on Exhibit 1-4.
- All development shall comply with the City's Hillside Development Ordinance.
- Major groves of oak and eucalyptus trees shall be preserved whenever possible. Thinning of certain eucalyptus groves as described in Chapter V will be allowed upon the approval of the Planning Director.
- All development shall comply with the requirements of Chapter 21.90 and the Zone 19 Local Facilities Management Plan.

2. Grading

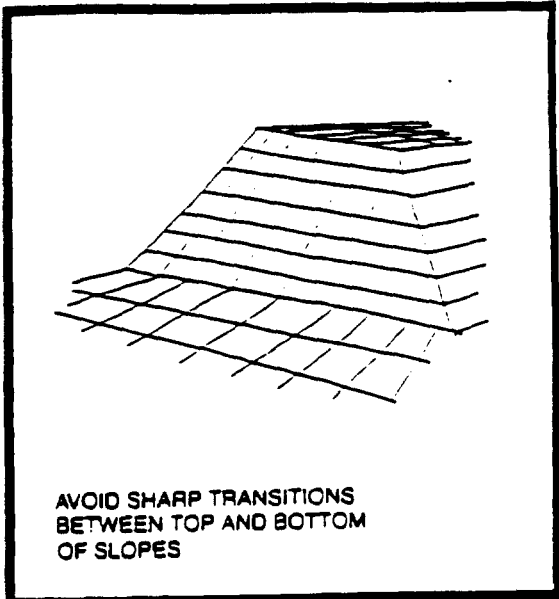
- a. Grading plans shall conform to the requirements of Chapter 21.95, 11.06 and 21.38.060 of the Carlsbad Municipal Code and the City of Carlsbad Design Guidelines Manual. Preliminary and final grading plans will be prepared in accordance with the Municipal Code for review by the City Engineer.
- b. All permanent manufactured slope banks in excess of five feet in height shall be constructed at a gradient of 2 to 1 (horizontal to vertical) or less. Any exceptions to this gradient must be approved by the City Engineer and Planning Director.
- c. Grading on naturally occurring slopes of 25 percent or more shall be in compliance with the policies of the underlying Local Coastal Program, and the City's Hillside Development Ordinance.
- d. Manufactured slopes shall be avoided wherever possible. Where they are unavoidable, they shall be contoured to simulate natural terrain, except where rounding will conflict with the soils engineer's recommendations. Artificial appearing slopes with rigid angular characteristics shall be avoided. Recommended grading techniques are shown on Exhibit IV-1.
- e. In some hillside areas, the use of terraced buildings shall be incorporated in order to silhouette and reflect the natural character of the terrain. This type of development shall only be permitted in Planning Area 2. An example of a terraced building is illustrated on Exhibit IV-2.
- f. Phasing of grading within each Planning Area shall provide for the safety and maintenance of other Planning Areas already developed or under construction.
- g. Phasing shall preclude, where possible, hauling of earth over residential streets of developed areas.
- h. Grading permits may be issued after adequate review of grading plans by the City Engineer. These permits may be issued and grading may commence after approval of the Master Plan and tentative map and may be issued prior to the recordation of the final map.
- i. The developer shall include top-soil rollback and re-disking on cut/fill slopes to ensure stability and growth.
- j. Erosion control basins shall be required to be in place prior to commencement of grading.

DO THIS



SMOOTH TRANSITIONS
BETWEEN TOP AND BOTTOM
OF SLOPES

NOT THIS

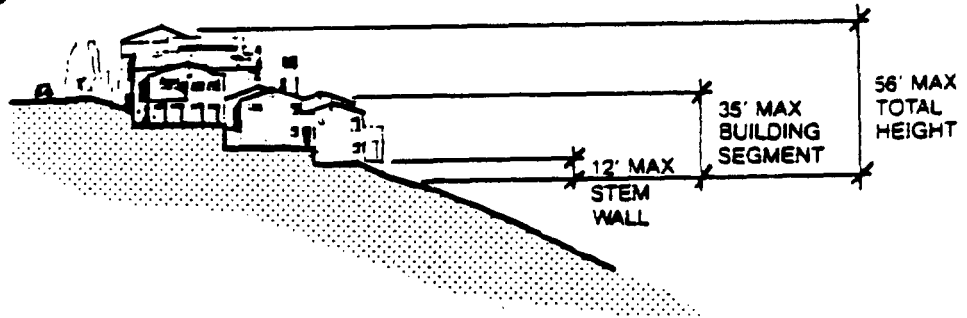


AVOID SHARP TRANSITIONS
BETWEEN TOP AND BOTTOM
OF SLOPES

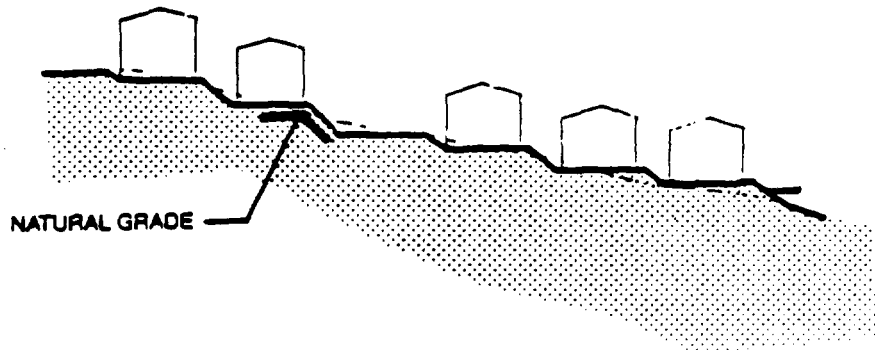
GRADING GUIDELINES

EXHIBIT IV-1

DO THIS



NOT THIS



HILLSIDE DEVELOPMENT

EXHIBIT IV-2

- k. Absolutely no grading shall be permitted between October 1st to April 1st except as permitted pursuant to Chapter 2 (3e) of this document.
- l. Runoff and erosion shall be reduced by the construction of desiltation basins identified in the Zone 19 Local Facilities Management Plan. Provision for maintenance and removal of deposited sediment should be made. The plans for these basins should be approved by the City of Carlsbad Engineering Department.
- m. Temporary runoff-control devices should be installed prior to any grading activities.
- n. All graded areas should be planted in temporary or permanent landscape materials immediately after rough grading is completed.
- o. For the nonresidential areas, a parking lot maintenance program should be established to remove debris that collects on paved areas. Since chemical contaminants tend to adhere to dirt particles, frequent street-sweeping procedures would significantly reduce the chemical content of runoff water discharged into the lagoon.
- p. Use of fertilizers and pesticides should be by certified personnel and kept to the minimum possible. The City reserves the right to halt the use of fertilizer or pesticides if a reasonable concern is identified with regard to their use.
- q. The application for any grading permit must provide assurance to the City Engineer that manufactured slope banks will be properly landscaped and that the landscape will be maintained by either the developer, the property owner, the planning area Maintenance Association, or the Master Community Maintenance Association.

3. Architectural Treatment

a. Outdoor Spaces

A strong relationship between indoor and outdoor spaces shall be required. This means incorporating plazas, courtyards, patios, decks and the like, directly adjacent to interior spaces. Refer to individual planning areas for further details.

b. Building Layout

Site plans shall incorporate an informal, almost random arrangement. Structures shall be arranged in such a manner that the spaces between the buildings become just

as important as the buildings. Although these design elements are more easily achieved in multi-family product types, the same concepts shall be addressed in the single-family neighborhoods. The incorporation of curvilinear streets and varied front and sideyard setbacks will help achieve the desired informal character.

The building layout shall ensure the preservation of view corridors to and from the lagoon and arterial streets.

c. Building Forms

Simple, rectangular volume forms are encouraged, rather than more planar, two dimensional elements. The wall planes should be uncluttered of "pop-outs" and similar attachments. Window and door openings should be deep-set for greater shadow depth and be limited in size such that the wall plane is the dominant feature. Elements such as balconies, decks and trellises can be used to add interest and variety.

d. Massing

All buildings should appear as an assemblage of smaller forms, not as one large mass. It is the proper massing of each planning area that will best create the intended character of the entire Master Plan community.

A variety of massing is encouraged to reinforce the informal nature of the community. A variety of heights, building stories and roof lines shall be included in every planning area.

e. Materials and Finishes

1) Walls

Stucco shall be the predominate material used throughout the community. The finish should range from a light to very light texture. All stucco finishes should be hand troweled. Machine applied finishes are not allowed.

2. Roofs

All sloped roofs shall be finished with a high quality clay or concrete tile which is consistent with the warm climate, Southern California heritage. The shape shall be a barrel type, either 1-piece S-shaped or 2-piece. All colors shall be in the red, reddish-brown or burnt orange range. Glazed tiles are not permitted.

Flat roof areas are discouraged in general but may be used in small areas for roof plane accent. When used, they shall receive a gravel topping which shall be colored to match the adjacent roof tile.

3. Miscellaneous

Decks, stair walls and railings shall be predominately solid in nature with accents of open railing and punched openings. Wrought iron railings may be used for small balconies.

Materials for exterior decks, balconies and stairs are to be compatible with the intended character of the overall development. Prefabricated steel and concrete stairs are discouraged. The color and texture of exposed decks should likewise blend with the overall community character. ,

Glazing materials should be a standard clear or tinted shade. Reflective glass does not conform to the design character of this community and is therefore prohibited. Wood frame windows are encouraged wherever possible.

Entry doors should be of wood and either glazed or decorative in nature. In commercial areas storefront systems (prefabricated modular glass/metal units) are prohibited. All commercial areas shall harmonize with the design character of the community. Special care shall be taken in the planning of all commercial areas to ensure visual and functional compatibility with adjoining development.

Mailbox, carport and trash enclosures should be addressed with the same care as other structures. Their design and material finish should match that of adjacent structures.

Custom detached single family homes in Planning Areas 13, 25, 27, 28 and 29 shall be exempt from the strict interpretation of the standards noted in this section provided that the materials and finishes used are found to be acceptable by a Design Review Board pursuant to the Design Manual to be approved by the Planning Director. in addition, structural elevations for all single family and multi-family dwelling units shall be submitted for review by the Planning Department.

f. Colors

The intent of the community color scheme is to allow for individual expression within a framework which will maintain a sense of compatibility and continuity.

Within the Pacific Rim Country Club and Resort, the color white will be used extensively either on its own or mixed with other colors. In essence, all wall surface colors with the exception of Planning Area 28 will be a tint of white. Therefore, the overall wall surface scheme will be based on color value rather than hue. This means the entire range of hues will be permissible in order to meet personal and market demands. Stain colors will be gauged similarly. A more detailed description of these colors and a color palette will be included in the Aviara Development Overview and Residential Design Guidelines.

Optional colors may be allowed in single family detached planning areas provided that they are found to be compatible with the colors and character of the Master Plan area by the Planning Department.

As discussed under roof treatments above, roof colors shall be in the red to reddish-brown to orange range. Color variations in a roof tile piece or plane are allowed, provided a compatible appearance is maintained.

g. Architectural Guidelines for Planned Unit Development Detached Products

- 1) In projects where there are three 2 story units in a row situated less than 15 feet apart, at least one of the three units shall have a single story building edge with a depth of not less than 10 feet adjacent to one of the other units. The roof covering the single story element shall be substantially lower than the roof for the 2 story element to the unit (this is not intended to preclude long shed-type roofs falling to a single-story element).
- 2) In projects where there are three 2 story units in a row situated between 15 and 20 feet apart, at least one of the three units shall have a single story building edge with a depth of not less than 5 feet adjacent to one of the other units. The roof of the single story element shall be substantially lower than the roof for the two story element of the building (this is not intended to preclude long shed-type roofs falling to single-story element).
- 3) on a project basis, thirty-three percent (33%) of all units shall have a single story edge for forty percent (40%) of the perimeter of the building. For the purpose of this guideline the single story edge shall be a minimum depth of three feet (3'). The units qualifying under the 33% shall be distributed throughout the project.

- 4) For at least fifty per cent (50%) of the units in a project, there shall be at least three separate building planes on street side elevations of lots with 45 feet of frontage or less, and four separate building planes on street side elevations of lots with a frontage greater than 45 feet. The minimum offset, in planes shall be 18 inches and shall include but not be limited to building walls, windows and roofs. The minimum depth between the faces of the forward most plane and the rear plane on the front elevation shall be 10 feet and a plane must be a minimum of 30 square feet to receive credit under this section.
- 5) Rear elevations shall adhere to the same criteria outlined in number 4 above for front elevations except that the minimum depth between front and back planes on the rear elevation shall be 3 feet.
- 6) At least fifty percent (50%) of the units in a project with minimum 51 sideyards shall have one side elevation where there are sufficient of f sets or cutouts so that the side yard setback averages a minimum of 7 feet from the property line.
- 7) Projects with an average lot size of 5,000 sq. ft. or less shall limit the number of units with three car garages to seventy-five percent (75%) of the plans in the project. Project units with three car garages shall be a mix of two door garages, three door garages, and offset (2 planes min. 12") two door garages.
- 8) Fifty percent (50%) of exterior openings for every dwelling unit (doors/windows) shall be recessed or projected a minimum of 21 and shall be with wood or colored aluminum widow frames (no mill finishes).
- 9) Variety in roof framing direction shall be required.
- 10) All architecture shall abide by the design parameters identified in a Design Manual.
- 11) The predominant roof framing for each floor plan shall exhibit directional variety to the other floor plans of the same project.

Notes: a) For the purpose of these guidelines a single story element shall be defined aplate line of 12 feet or less.

Amended 6/27/89

1) Resort Area

The resort area (Planning Areas 2, 9, 10 and 11) creates the dominant landscape character and theme to be reflected throughout the community. It will resemble a hillside village within a natural landscape with the introduction of agricultural groves at its periphery and ornamental plants in its interior garden areas. Cars on the parking deck are screened with trellis rows that recall vineyards. The hotel courtyard is paved with rough stone and exposed aggregate concrete and is framed by a pergola with flowering vines. It is connected by a narrow garden consisting of ramps, stairs, low terrace walls, naturalized plantings and a linear water feature.

2) Golf Course

Golf course areas limit turf to fairways, tees and greens. Naturalized vegetation provide a transition to existing slopes. Hedgerows or eucalyptus follow the valley slope. Water features shall provide obstacles to the golfer as well as create an attractive natural connection to Batiquitos Lagoon.

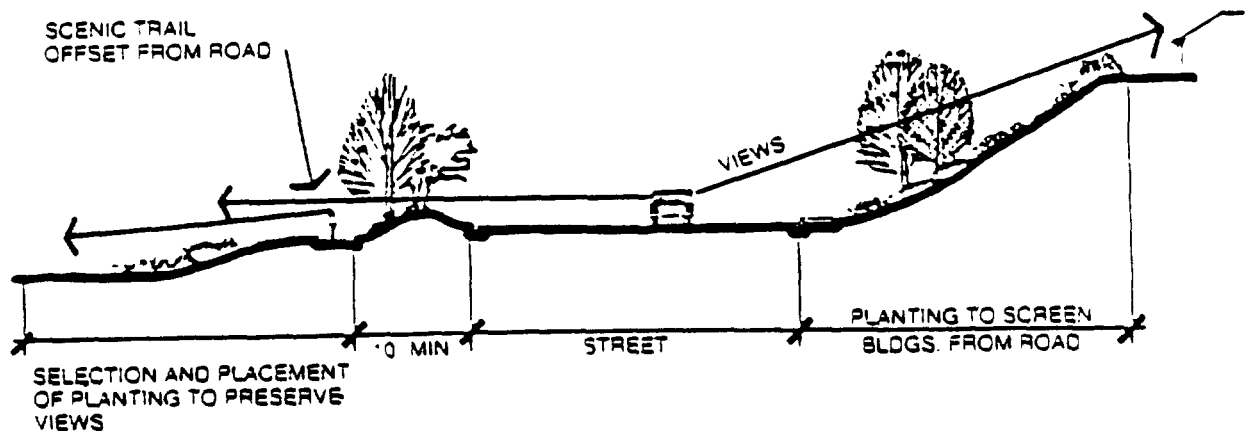
3) Lagoon Shoreline

The lagoon shoreline shall be preserved and in areas of disturbance or decline the naturalized setting shall be reestablished.

4) Hillsides

Hillsides throughout the project will be carefully planned due to their extremely sensitive nature and visibility. The following concepts will apply to these areas:

- All development shall comply with the City's Hillside Ordinance (Chapter 21.95).
- All development shall comply with the grading and natural resource preservation policies of the underlying Local Coastal Programs.
- Existing tree groves and vegetation will be preserved to the greatest extent feasible.
- Erosion control techniques shall be employed where needed.
- Views to and from the lagoon and golf course shall be preserved to the greatest extent feasible. View preservation is illustrated on Exhibit IV-3.
- The landscape treatment shall present a visually cohesive appearance, since hillsides will be viewed from distant areas such as La Costa Avenue, El Camino Real, Interstate 5 and surrounding neighborhoods.
- The Aviara Fire Suppression Guidelines Manual shall be enforced by each of the respective Master Homeowner's Associations.



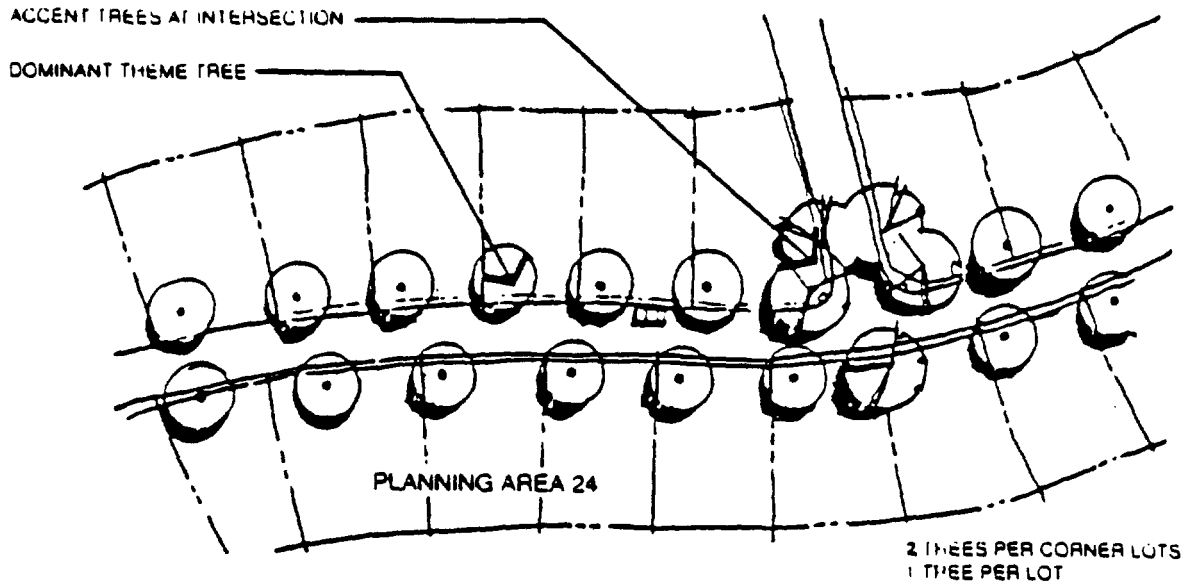
VIEW PRESERVATION

EXHIBIT IV-3

5) Streetscapes

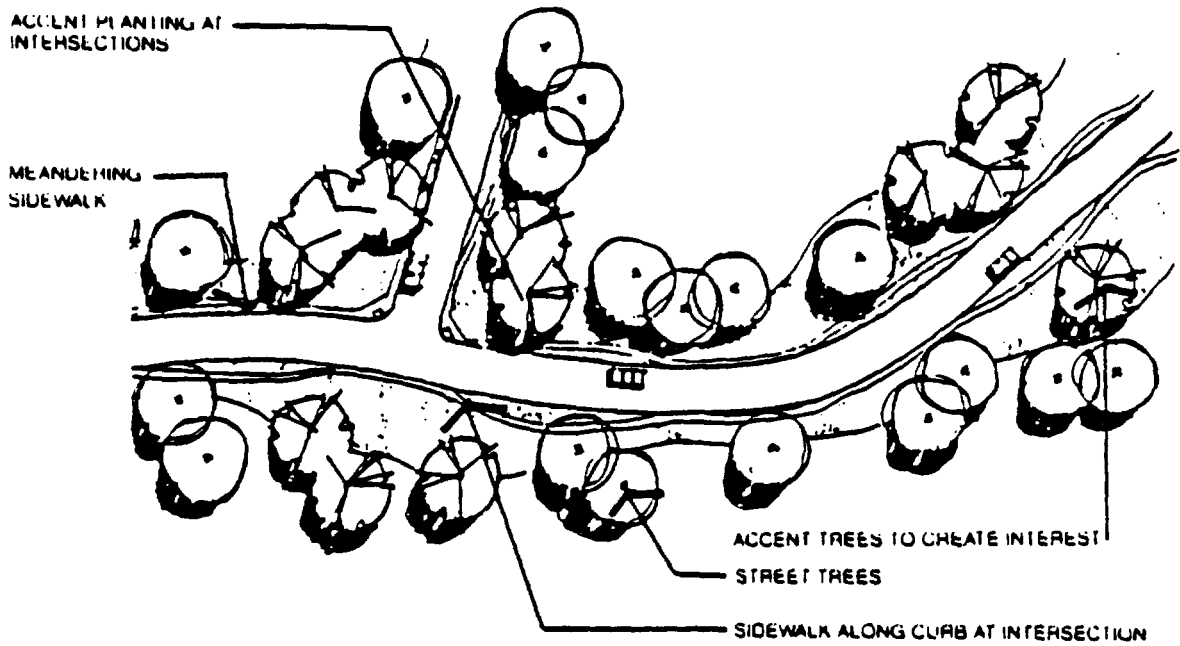
Entries, median plantings, parkways, walls and special features have been pre-selected to correspond with City requirements and to project the desired country club and resort image.

Tree-lined streets will be located throughout the community. Street trees are called out for individual planning areas in Chapter V. As illustrated on Exhibit IV-4, each single-family residential lot shall require a minimum of one street tree with additional accent trees required on corner lots. Exhibit IV-5 illustrates the informal street tree planting pattern required for multi-family neighborhoods. Typical landscape treatment for collector and public streets is shown in section on Exhibit IV-6. Specific landscape treatments are shown in section for Alga Road and Poinsettia Lane on Exhibit IV-7. The upgraded median treatment is shown in plan view for Alga Road and Poinsettia Lane on Exhibits IV-8 and IV-9 respectively.



SINGLE FAMILY RESIDENTIAL

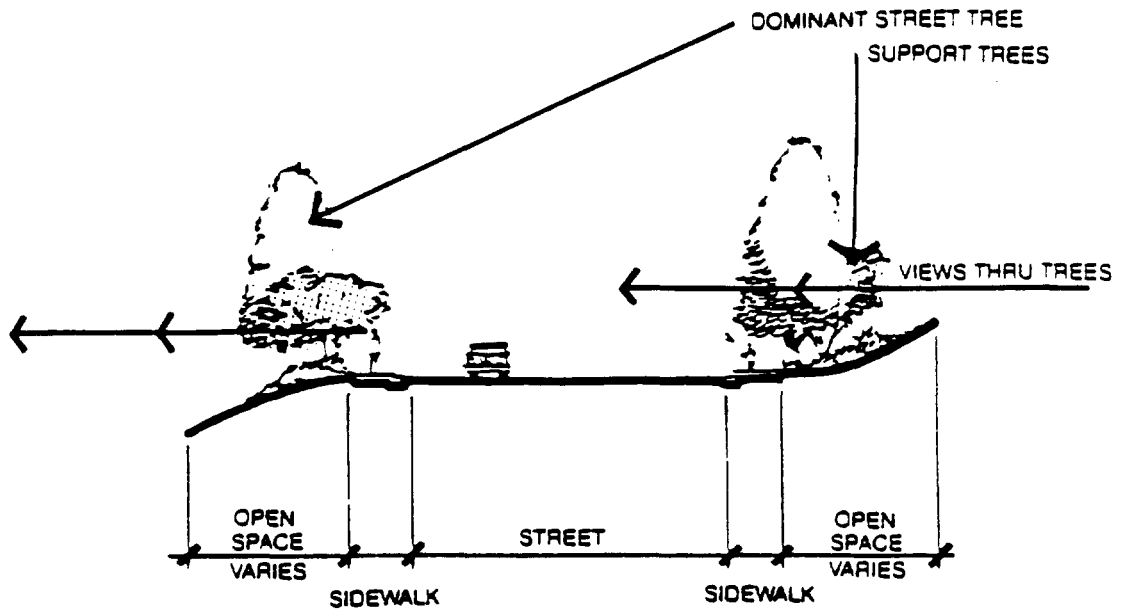
EXHIBIT IV-4



MULTI-FAMILY RESIDENTIAL

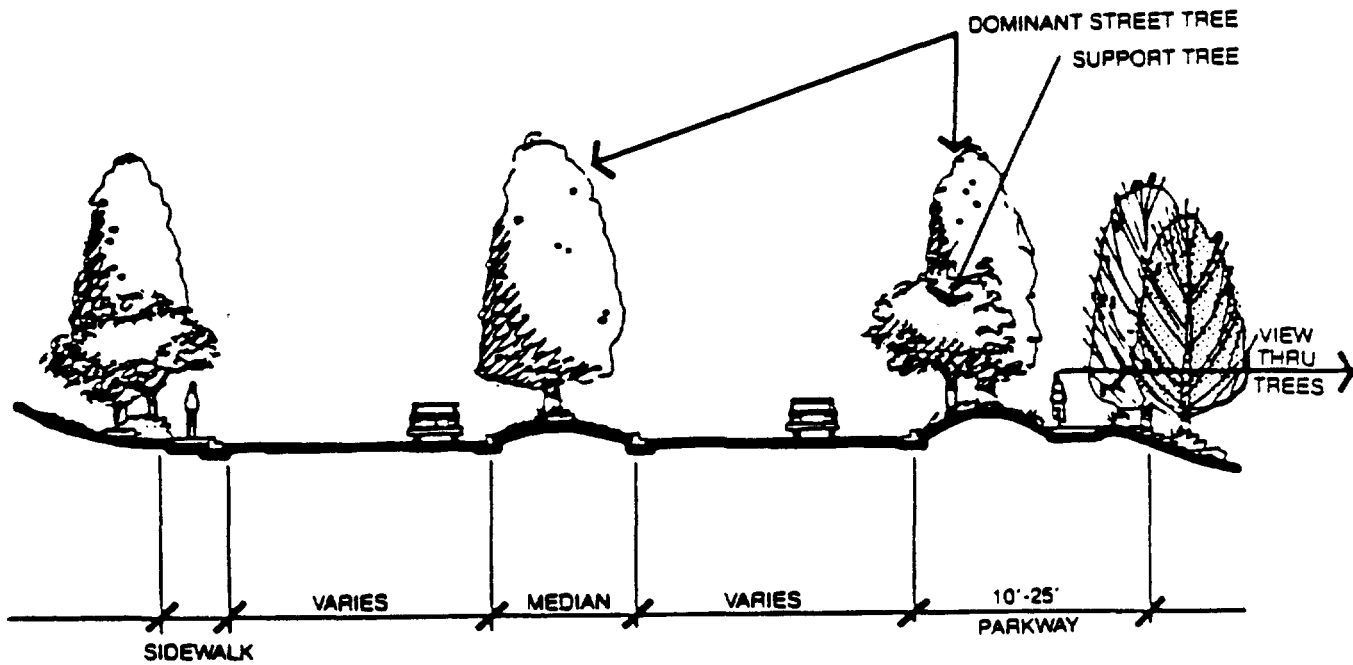
EXHIBIT IV-5

STREETSCAPE CONCEPT



**TYPICAL LANDSCAPE TREATMENT
COLLECTOR & PUBLIC STREET**

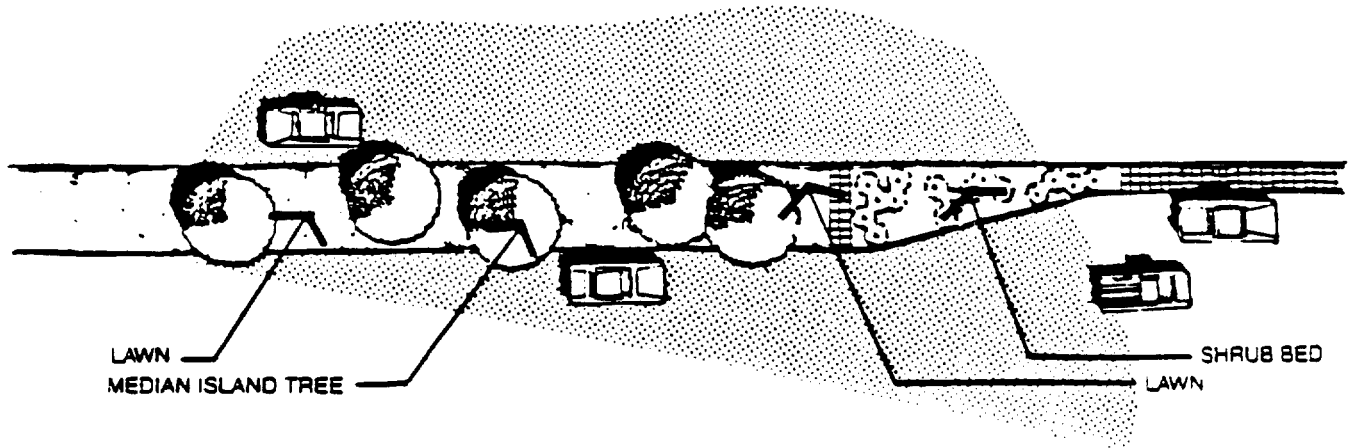
EXHIBIT IV-6



LANDSCAPE TREATMENT ALONG ALGA ROAD & POINSETTIA LANE

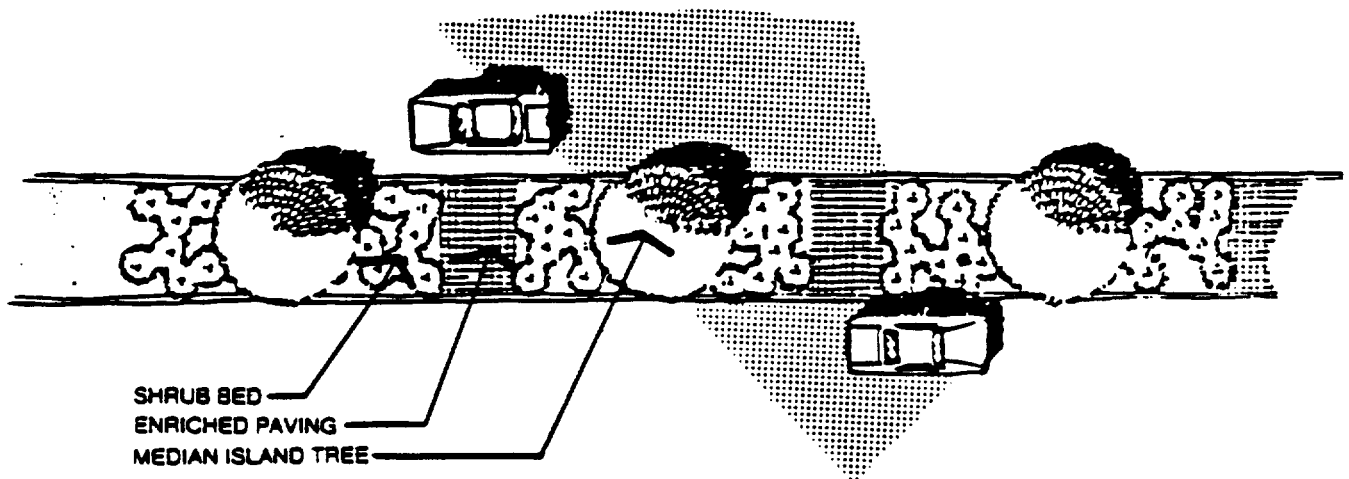
EXHIBIT IV-7

STREETSCAPE



UPGRADED MEDIAN TREATMENT ALGA ROAD

EXHIBIT IV-8



UPGRADED MEDIAN TREATMENT POINSETTIA LANE

EXHIBIT IV-9

MEDIAN TREATMENT

b. Landscape Intensity Zones

The entire Pacific Rim Community shall create a well-balanced landscaped community. Landscape areas, therefore, have been assigned Landscape Intensity classifications based on the intensity of maintenance and water requirements. The classifications which are illustrated on Exhibit IV-10 are generally described as follows:

- Zone One - Lush Landscape

Zone One should be utilized only in areas of a development which require a lush green landscape such as areas of high use or visual importance.

- Zone Two - Refined Landscape

Zone Two should have an unmanicured appearance, not unkept, but rather a landscape designed to require less intensive types of maintenance such as mowing, pruning, fertilizing and watering.

- Zone Three - Naturalizing Landscape

This zone will be planted in low use areas where visual character will not have a refined appearance. It will have a natural appearance similar to areas of native vegetation.

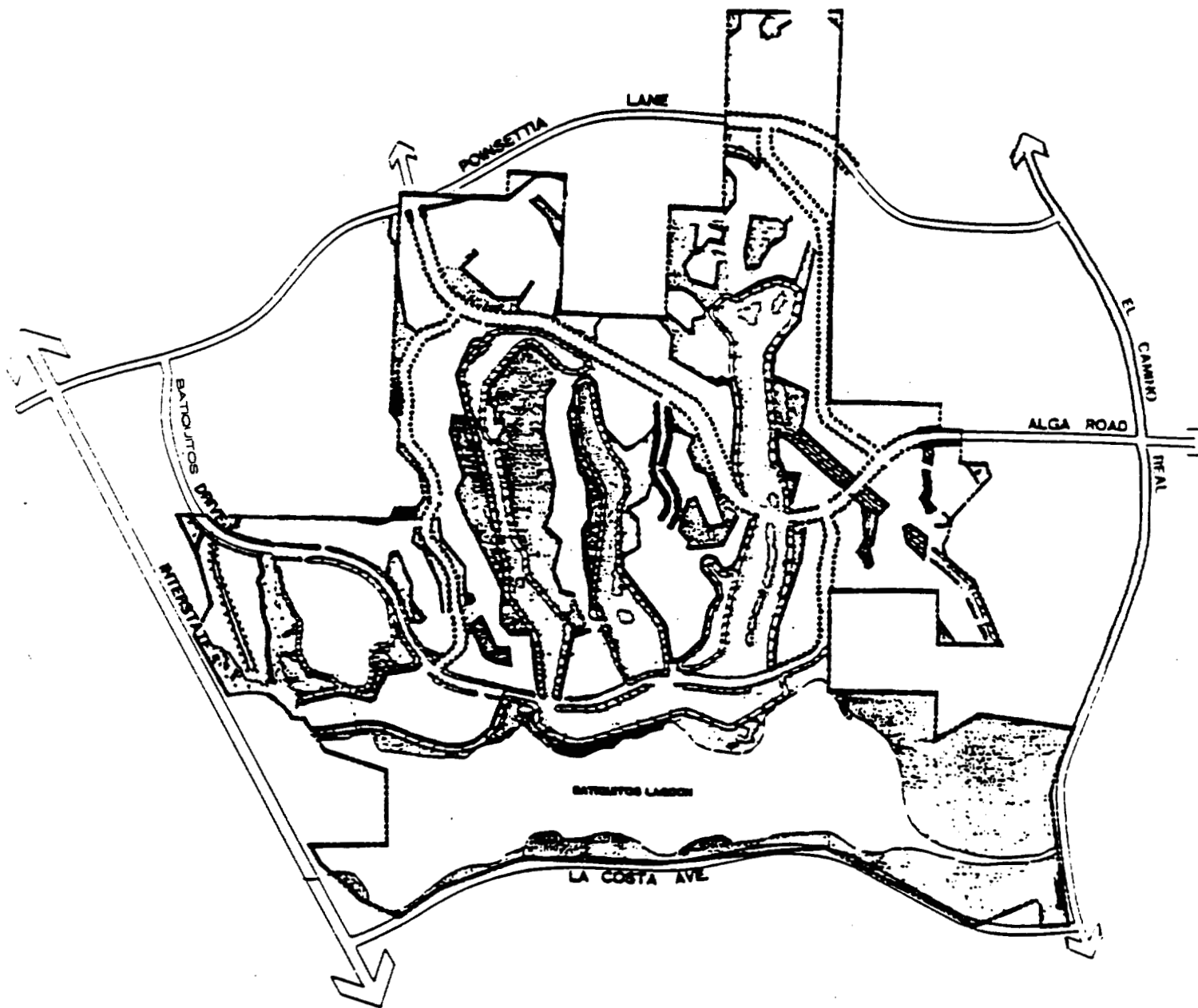
- Zone Four - Native Landscape

Zone Four is an area of existing vegetation where native character shall remain with very little modification.








- Zone Five - Fire Protection Landscape

Landscape areas adjacent to Native or Naturalized landscape areas (dry vegetation areas) shall utilize fire-retardant materials to help protect nearby properties in the event of brush fire. Such areas are divided into several fire suppression planting zones which are illustrated on Exhibit IV-11.

All Plant Zones shall conform to the City of Carlsbad Landscape Guidelines Manual. Table IV-1 is a plant materials matrix which lists suggested plantings for the Master Plan area and indicates the Landscape intensity Zones in which they may be located.



LEGEND

-  LUSH AREA
-  REFINED AREA
-  NATURALIZED AREA
-  NATIVE AREA
-  FIRE PROTECTION AREA
-  BATOQUITOS LAGOON
-  ACCENT AREA



LANDSCAPE ZONES

Amended July 22, 1997

EXHIBIT IV-10

NOTE - Page number 49 not used.

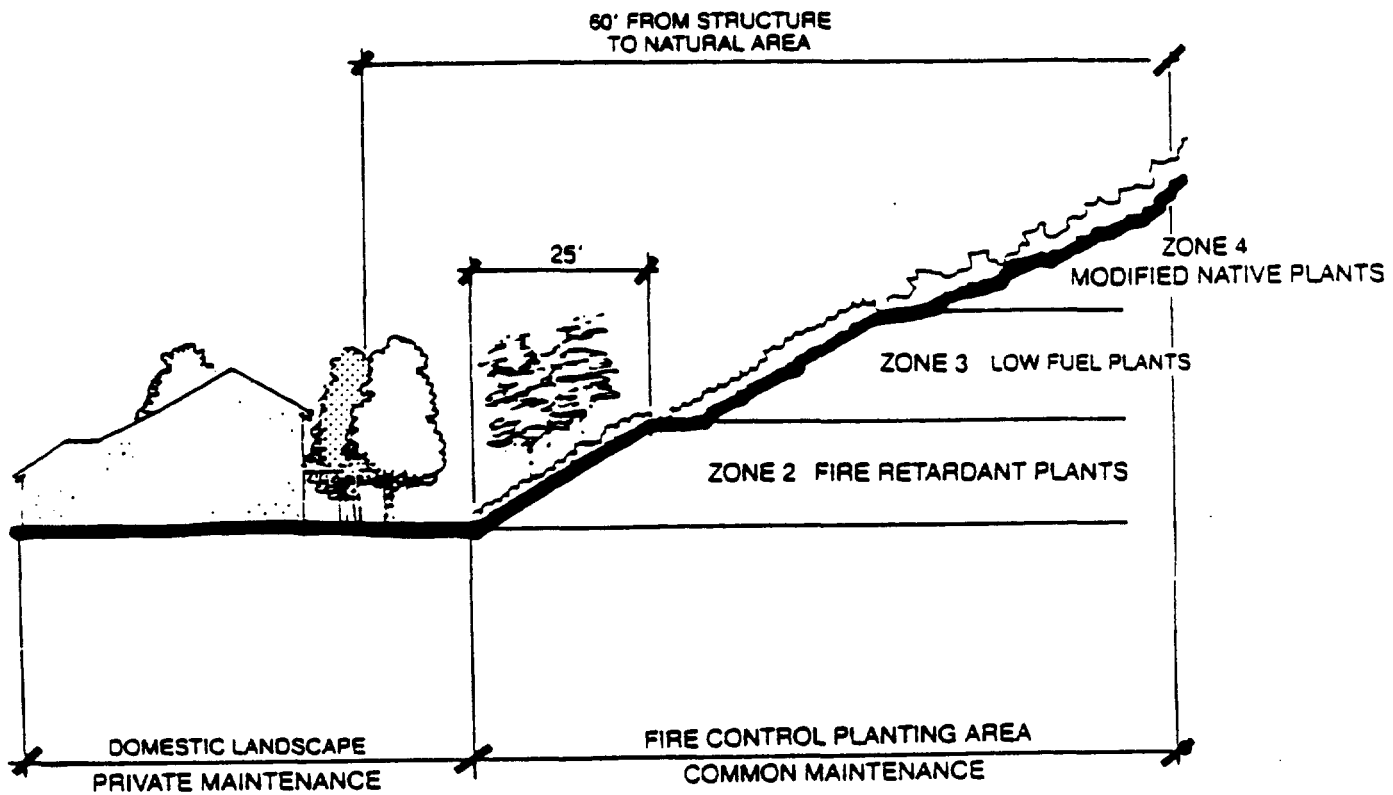
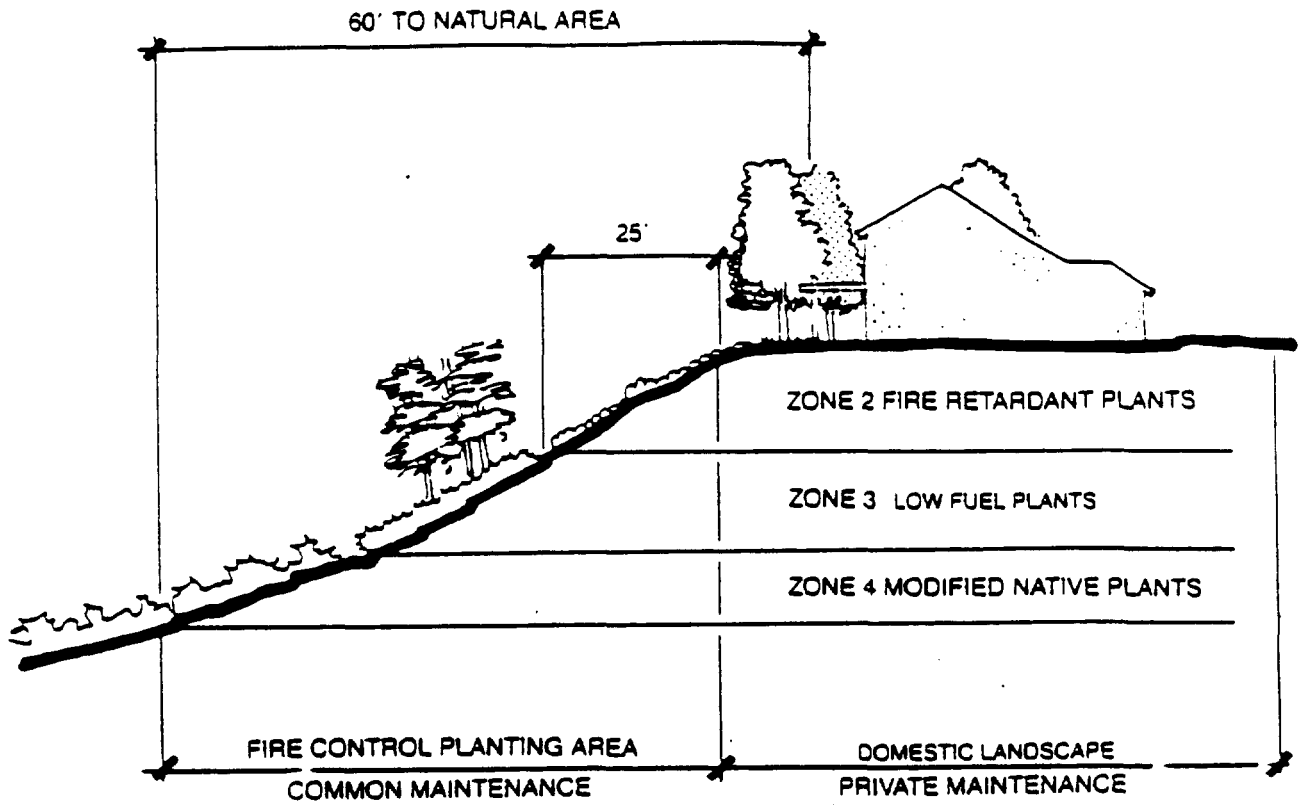


EXHIBIT IV-11

FIRE PROTECTION LANDSCAPE

TREES

PLANT NAMES (BOTANICAL)		ZONE 1 LUSH LANDSCAPE	ZONE 2 REFINED LANDSCAPE	ZONE 3 NATURAL LANDSCAPE
1	<i>Albizzia julibrissin</i>	●		
2	<i>Alnus rhombifolia</i>	●		
3	<i>Arecastrum romanzoffianum</i>	●	●	
4	<i>Bauhinia blakeana</i>	●	●	
5	<i>Betula alba</i>	●		
6	<i>Brachychiton acerifolia</i>	●		
7	<i>Chorisia speciosa</i>	●	●	
8	<i>Cupaniopsis anacardioides</i>	●	●	
9	<i>Erythrina coralloidies</i>	●		
10	<i>Eucalyptus species</i>		●	●
11	<i>Ficus retusa</i>	●		
12	<i>Ficus rubiginosa</i>	●		
13	<i>Jacaranda acutifolia</i>	●		
14	<i>Leptospermum laevigatum</i>			●
15	<i>Liquidambar styraciflua</i>	●		
16	<i>Liriodendron tulipifera</i>	●		
17	<i>Magnolia grandiflora</i>	●		
18	<i>Melaleuca leucadendra</i>		●	
19	<i>Phoenix reclinata</i>	●	●	
20	<i>Pinus canariensis</i>	●	●	●
21	<i>Pinus species</i>	●	●	●
22	<i>Platanus acerifolia</i>	●		
23	<i>Populus species</i>	●	●	
24	<i>Prunus cerasifera</i>		●	●
25	<i>Pyrus kawakamii</i>	●	●	
26	<i>Salix babylonica</i>	●	●	
27	<i>Schinus molle</i>		●	
28	<i>Schinus terebinthefolius</i>		●	
29	<i>Sequoia sempervivens</i> "Los Altos"	●		
30	<i>Ulmus parvifolia</i>	●	●	

SHRUBS

PLANT NAMES (BOTANICAL)		ZONE 1 LUSH LANDSCAPE	ZONE 2 REFINED LANDSCAPE	ZONE 3 NATURAL LANDSCAPE
1	<i>Acacia redolens</i>			•
2	<i>Acanthapus africanus</i>	•	•	
3	<i>Arcotostaphylos species</i>			•
4	<i>Artemisia (low growing)</i>			•
5	<i>Atriplex semibaccata</i>			•
6	<i>Buxus sempevirens</i>	•	•	
7	<i>Callistemon citrinum</i>			•
8	<i>Camellia species</i>	•		
9	<i>Ceanothus species</i>		•	•
10	<i>Cistus species</i>			•
11	<i>Coprosma kirkii</i>	•	•	
12	<i>Cotoneaster species</i>		•	•
13	<i>Dodonaea viscosa</i>			•
14	<i>Echium fastuosum</i>			•
15	<i>Elaeagnus</i>		•	•
16	<i>Escallonia</i>	•	•	•
17	<i>Eugenia unifolia</i>	•	•	
18	<i>Feijoa sellowiana</i>		•	
19	<i>Hebe "Coed"</i>	•		
20	<i>Hemerocallis hybrids</i>	•		
21	<i>Hetermoles arbutifolia</i>			•
22	<i>Hibiscus rosa-sinensis</i>	•		
23	<i>Juniperus species</i>	•	•	
24	<i>Lantana sellowiana</i>		•	•
25	<i>Moraea bicolor</i>	•	•	
26	<i>Nandina domestica</i>	•		
27	<i>Nerium oleander</i>		•	•
28	<i>Photinia species</i>	•	•	
29	<i>Pittosporum tobira</i>	•		
30	<i>Plumbago auriculata</i>		•	
31	<i>Podocarpus species</i>	•	•	
32	<i>Pyracantha species</i>		•	
33	<i>Raphiolepis indica</i>	•		
34	<i>Rhamnus alaternus</i>			•
35	<i>Rhus integrifolia</i>			•
36	<i>Rosmarinus officinalis</i>	•	•	•
37	<i>Tecoma capensis</i>		•	
38	<i>Viburnum species</i>	•		
39	<i>Xylosma senticosa</i>	•	•	

VINES

PLANT NAMES (BOTANICAL)		ZONE 1 LUSH LANDSCAPE	ZONE 2 REFINED LANDSCAPE	ZONE 3 NATURAL LANDSCAPE
1	Bougainvillea species		●	
2	Cissus antarctica	●		
3	Ficus repens	●	●	
4	Hibbertia scandens	●		
5	Parthenocissus tricuspidata	●		
6	Trachelospermum jasminoides	●		
7	Wisteria	●		

GROUNDCOVERS

1	Arctotheca calendula		●	
2	Asparagus sprengeri	●	●	
3	Baccharis pilularis "Twin Peaks"		●	●
4	Cerastium tomentosum		●	
5	Fragaria chiloensis		●	
6	Gazania species	●	●	●
7	Hedera helix	●		
8	Myoporum parvifolium		●	
9	Ophiopogon japonicum	●	●	
10	Pelargonium peltatum	●	●	
11	Potentilla verna	●		
12	Rosmarinus officinalis "Prostrata"		●	
13	Santolina virens	●		
14	Verbena hybrids		●	
15	Vinca major and minor	●		

5. Entry Treatments

Entry treatments are the first reflection of community character. Exhibit IV-12 illustrates the location of the four types of entries. A description of the hierarchy of entries is as follows: All entry treatments shall require the approval of the City Engineer and Planning Director.

a. Community Entry

The two community entries are located at the west and east ends of Alga Road. These entries are the main gateways and therefore should create a distinct sense of arrival and a strong contrast to the surrounding area. The entry will include architecture and landscape architecture reflective of the hotel and central core area. Distinctly articulated entry walls with rock and stucco, large specimen Oak trees and groves of citrus or avocado trees will be used. Extensive use of flower colors will create the visual excitement to enhance this area. An example of a community entry is illustrated on Exhibit IV-13.

b. Major Entry

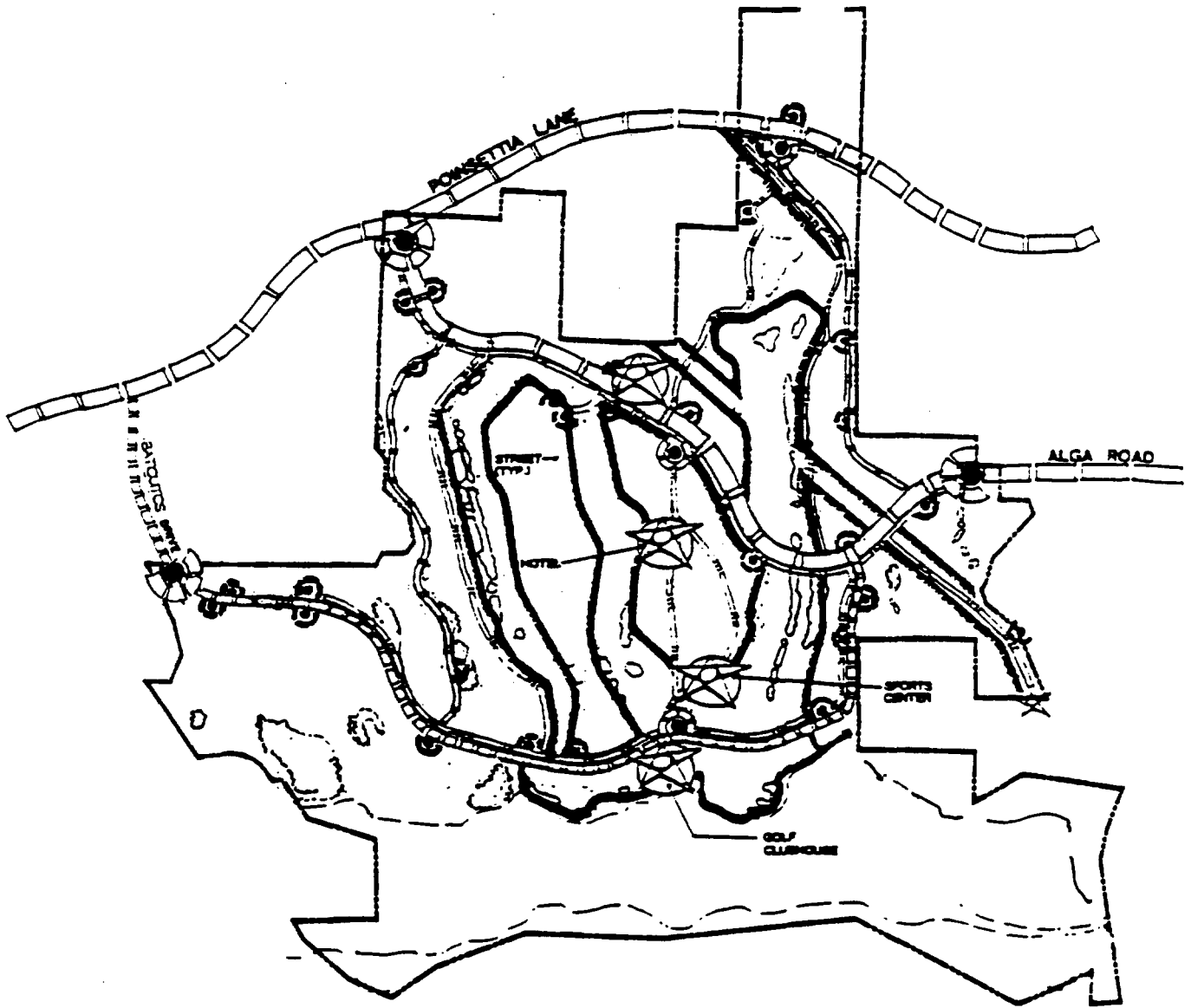
A major entry shall be located at the west end of Pacific Rim Drive. Treatment shall be similar but smaller in scale than the community entries. Additionally, trees related to the lagoon habitat may be introduced. These may include willow or sycamore trees. Exhibit IV-14 illustrates the major entry site.

c. Secondary Entry













Secondary entries are similar but smaller in scale to the community and major entries. The basic difference is that these entries are within the site, and therefore will probably be viewed at slower speeds and within a closer distance. Special treatments may be added to the resort and sports club/restaurant entries due to the special nature of these facilities. The entry to the resort along Alga Road is shown on Exhibit IV-15.

d. Neighborhood Entry

This entry provides the primary access to a specific neighborhood or planning area. All entries shall conform to the entry wall standards, however, letter style, logo and color of entry signs may vary subject to approval by a Design Review Board and City. A typical neighborhood entry is represented on Exhibit IV-16. Trees that have been designated for the individual planning areas or alternatives approved by a Design Review Board may be used at the entry.



LEGEND

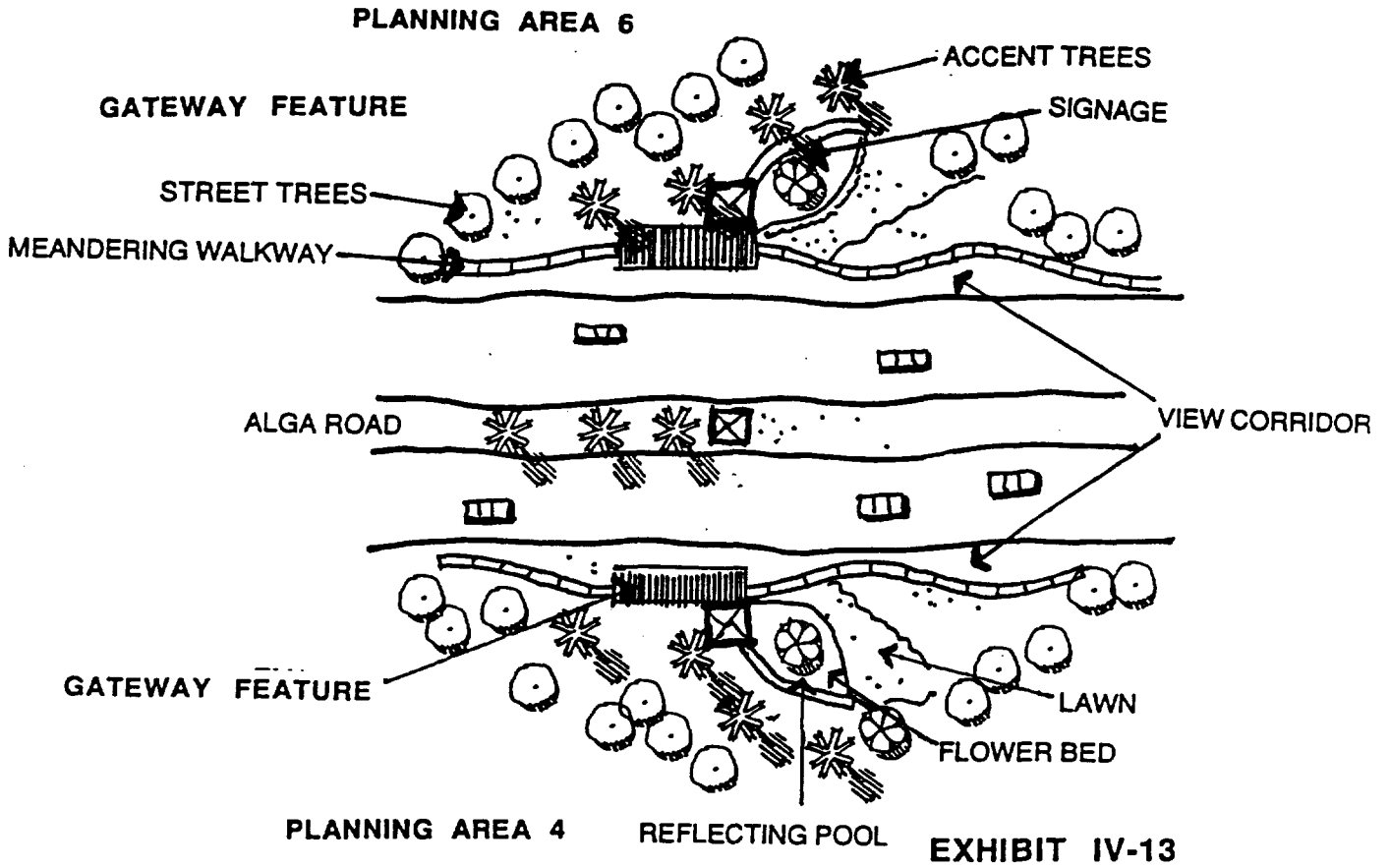
- | | | | |
|---|--------------------------|---|------------------------|
|  | COMMUNITY ENTRY |  | MINOR VEHICULAR ROAD |
|  | MAJOR ENTRY |  | MAJOR PEDESTRIAN TRAIL |
|  | SECONDARY ENTRY |  | LANDMARK |
|  | NEIGHBORHOOD ENTRY |  | SCENIC POINT |
|  | MAJOR VEHICULAR ROAD |  | GOLF COURSE |
|  | SECONDARY VEHICULAR ROAD |  | MAJOR EDGE |



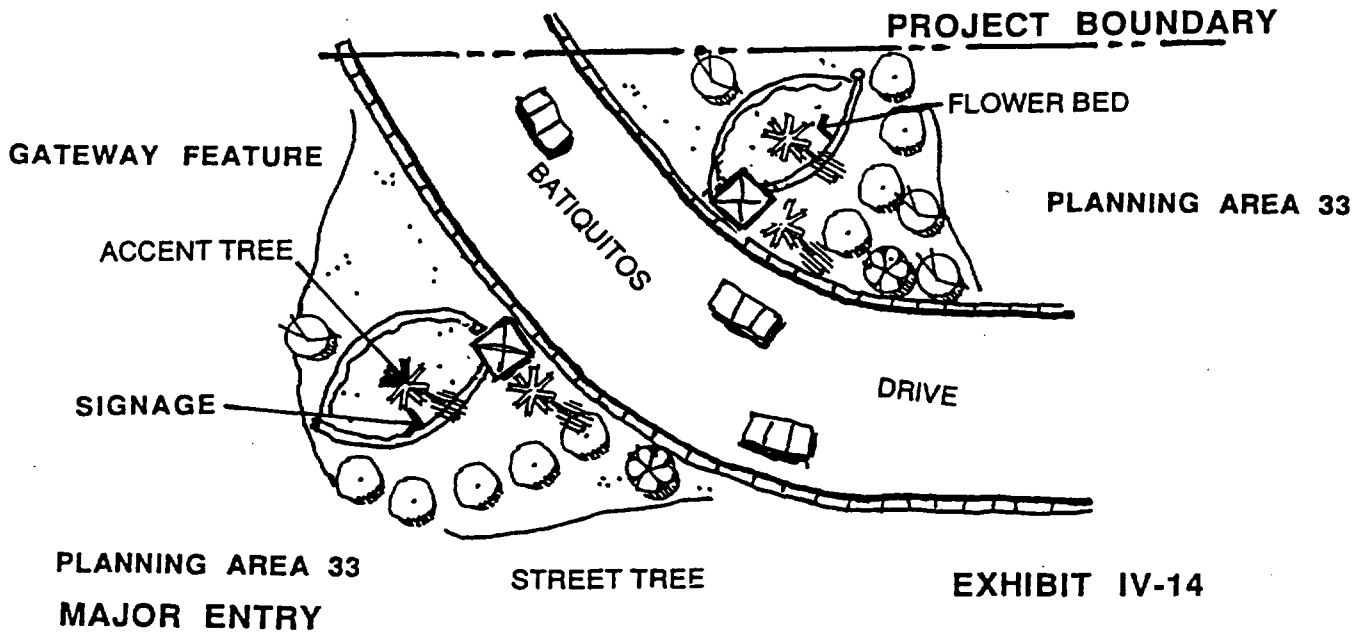
Amended July 22, 1997

LANDSCAPE CONCEPT PLAN EXHIBIT IV-12

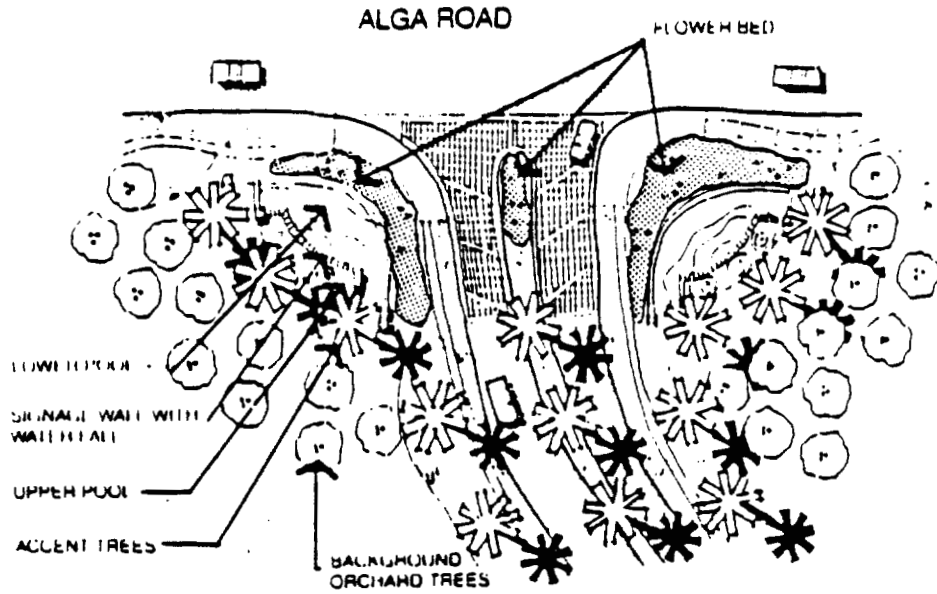




COMMUNITY ENTRY

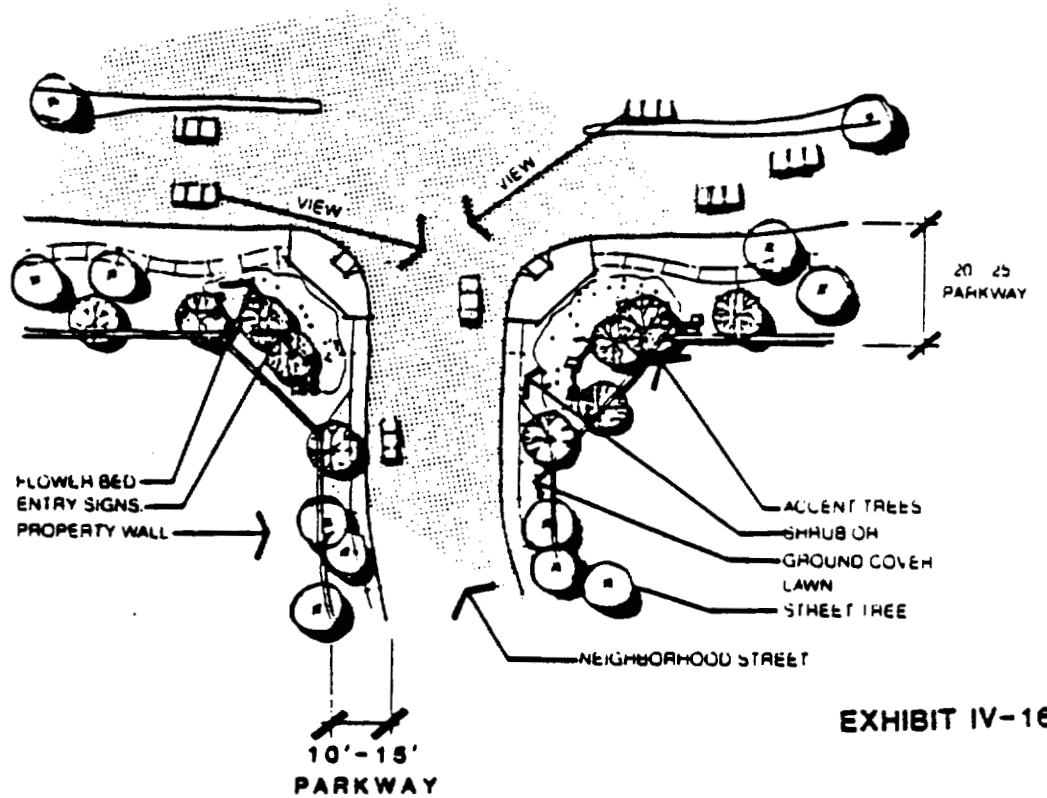


PROJECT ENTRIES



RESORT ENTRIES

EXHIBIT IV-15



NEIGHBORHOOD ENTRY

EXHIBIT IV-16

PROJECT ENTRIES

6. Enriched Paving

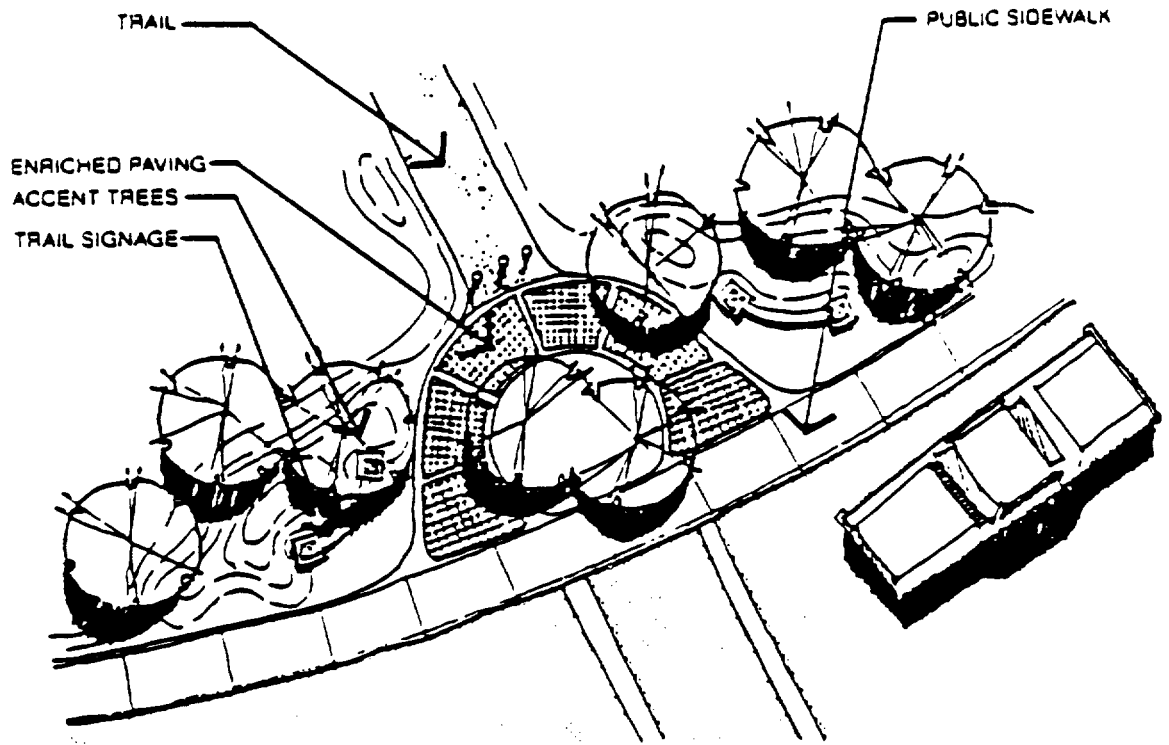
Enriched paving shall be used at special areas in conjunction with fountains, trellis structures, special features, site furnishings and landscape to make the area more visually prominent. Types of paving may include tile, brick, interlocking pavers, stamped concrete, exposed aggregate, colored concrete and decomposed granite. The type of paving used will be based on its visual significance and its relative level of visual perception.

All areas of enriched paving shall be maintained by property owners association, if on common property or by individual, or by approved agreement.

Tile and brick shall be used in courtyards, pedestrian entryways and areas of frequent pedestrian use where special accents are desired, such as the street/trail intersection shown on Exhibit IV-17.

Interlocking pavers and stamped concrete may be used in median islands, streets and vehicular traffic areas. These are areas that are viewed from a distance, perceived at an accelerated speed or where structural requirements and economical considerations do not warrant the use of tile and brick. An example of this use was shown earlier on Exhibits IV-7 and IV-8.

Exposed aggregate and colored concrete shall be used in transition areas where special attention is not warranted. Also, it may be used in areas where a more rustic informal appearance is desired.



TRAIL INTERSECTION AT STREET

EXHIBIT IV-17

7. Community Walls and Fencing

Walls and fences provide security, noise attenuation, project identity, privacy, definition of area and continuity. The purpose of this section is to establish standards including form, color and materials so that visual simplicity and continuity are maintained throughout the community. It should be emphasized, however, that monotony should be avoided by changing angles and direction.

Landscape planting may also be used to supplement and soften fencing and walls. The locations of walls and fences are depicted on Exhibit IV-18. Additional information for specific fences and walls may be found in Chapter V within the appropriate planning area under the title "Fencing".

All walls, and fencing shall not encroach into sight distance requirements. (AASHTO and City standards.)

For the purposes of this Master Plan, walls and fencing fall within one of the following three categories:

a) Noise attenuation structure

Noise attenuation structures shall be used where required (as identified within EIR 83-2(A) and during subsequent project review) to mitigate adverse noise impacts on residential units. The structures may be solid stucco walls, earthen berms or a combination of the two. Wall structures should be of colors which compliment adjacent architectural structures. All noise attenuation structures shall conform to City Traffic Standards for line-of-site distances at street intersections and other public access points. Several noise attenuation structures are illustrated on Exhibit IV-19. All development within the Master Plan shall comply with the following provisions with regard to mitigation of noise impacts:

- The Master Plan shall incorporate suitable physical designs of noise sensitive uses so that their placement may, wherever feasible, mitigate noise impacts on occupants or residents of each use. Where physical design or location of use is not conducive to avoiding or mitigating noise impacts, appropriate noise attenuating construction features shall be employed to reduce interior and exterior noise levels to acceptable levels pursuant to City Council policy.
- Sound attenuating facilities such as berms or walls may also be employed to reduce interior and exterior noise levels. Where opportunities exist, elevated or depressed occupancy areas from known noise sources shall also be incorporated into the plan.

- Dense evergreen landscaping shall be considered for supplementary noise attenuating purposes to all of the above physical design standards.
- A reduction in interior noise levels can be accomplished by special construction techniques although the primary means for mitigating shall be through setbacks, berming, and low noise walls.

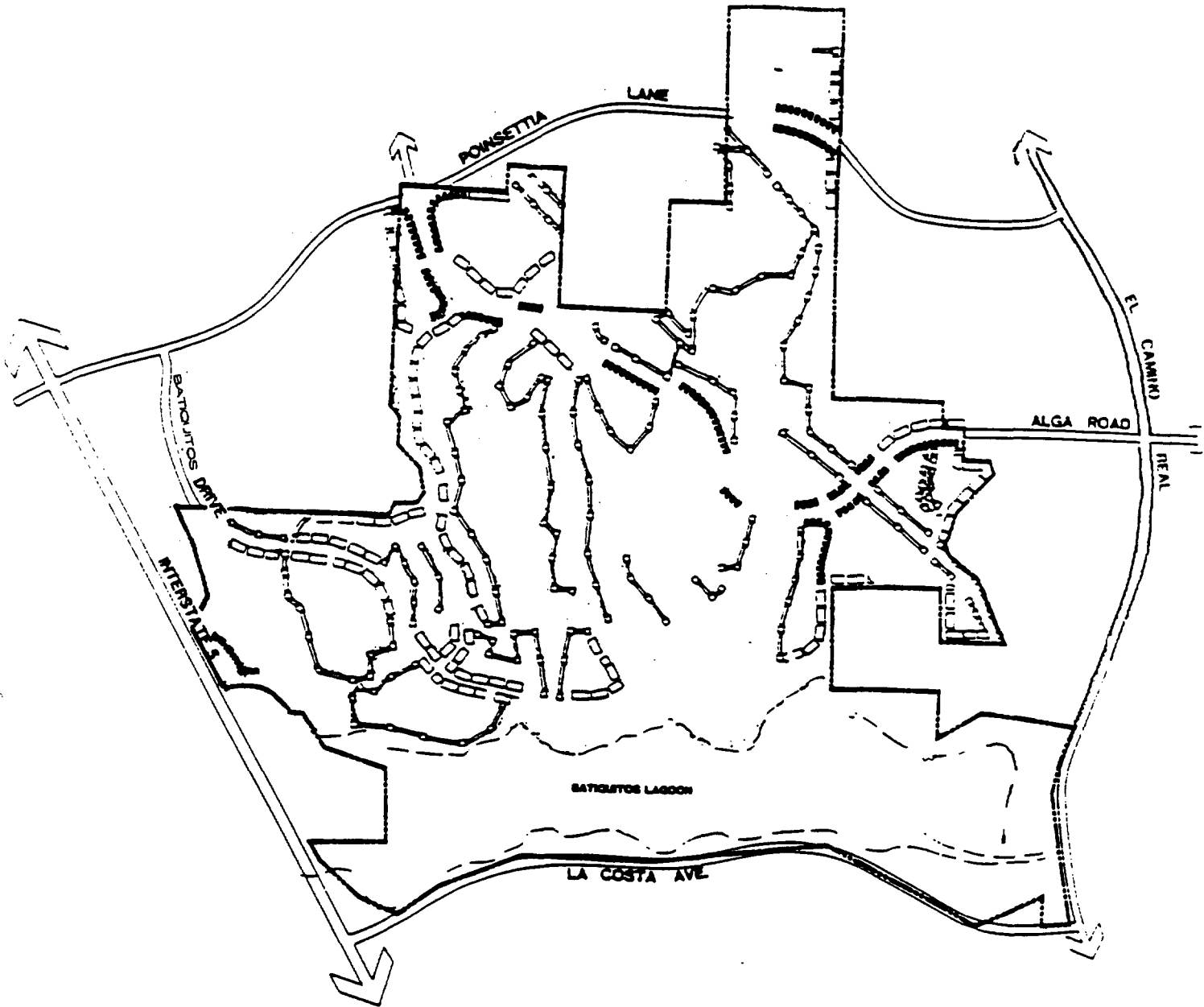
b) Solid wall/fences

This is a solid wall, fence or combination thereof, where sound mitigation is not required, but privacy is a concern. Solid walls shall be of stucco construction with stucco or cut stone pilasters. All wall materials and colors shall be compatible with the design of the neighborhood area. Suggested solid wall designs are shown on Exhibit IV - 20.




c) Open fencing

This type of fencing may be used where a physical barrier is required but preservation of views is desired. Open fencing is not recommended where privacy is of major concern such as downhill or ongrade lots with offsite views into rear yard areas. Open fencing shall be primarily wrought iron with pilasters as shown on Exhibit IV - 21. Pilasters shall match the pilasters used for solid walls (i.e. stucco or cut stone). The lower portion of these fences may be of solid stucco construction. As with solid walls, all materials and colors shall be compatible with the design of the neighborhood area.

Landscape treatments can also act as noise and visual barriers. An example of this is shown on Exhibit IV - 22 where landscaping is used to screen an open parking lot from street passers-by.



LEGEND

-  **SOLID NOISE ATTENUATION WALL**
-  **SOLID WALL/FENCE**
-  **OPEN FENCE WITH PILASTERS**

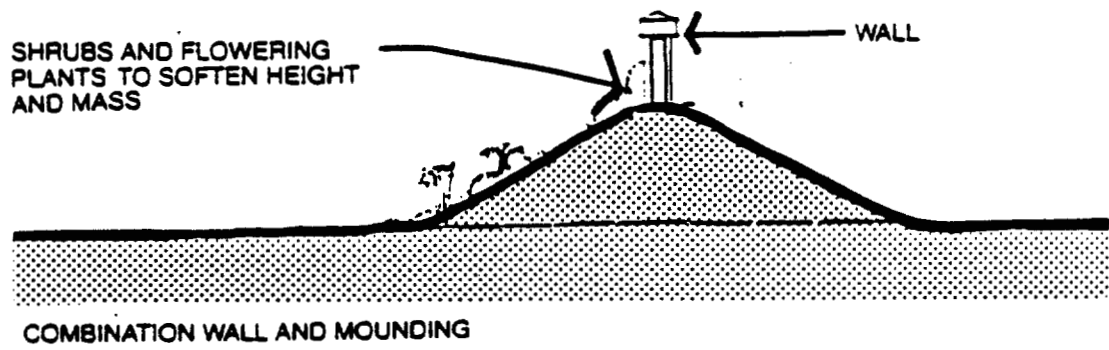
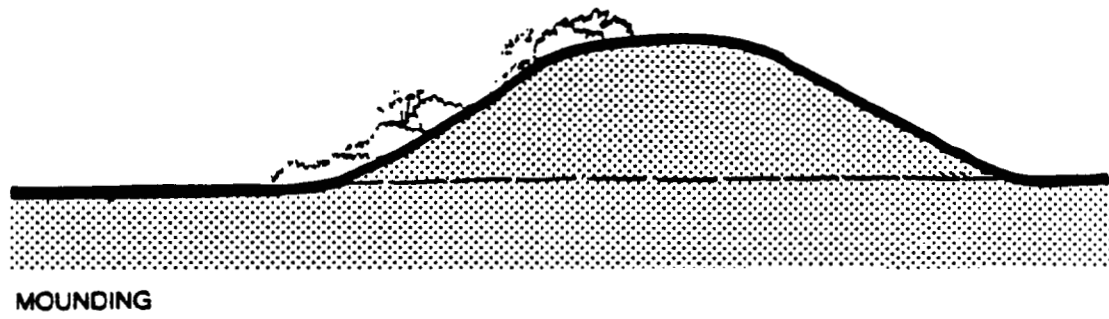
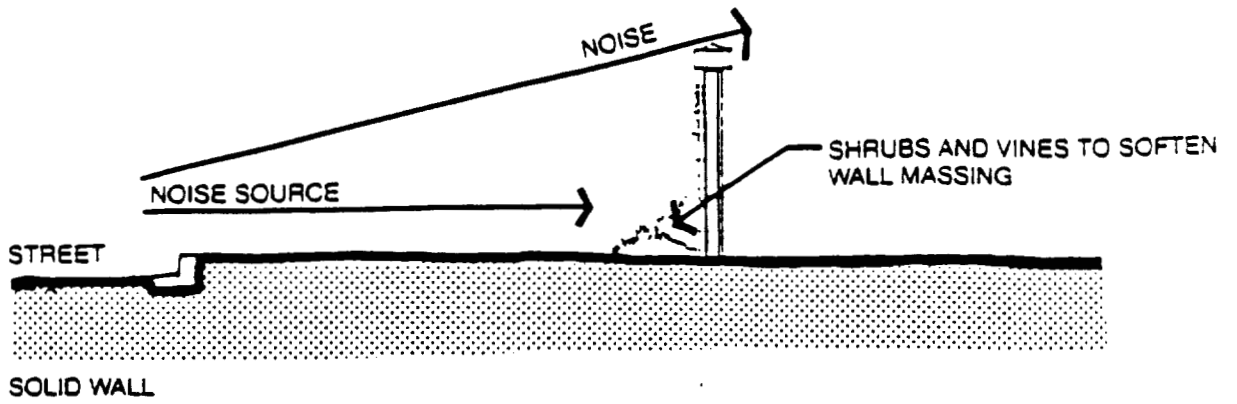


AVIARA

WALL/FENCE PLAN

EXHIBIT IV-18

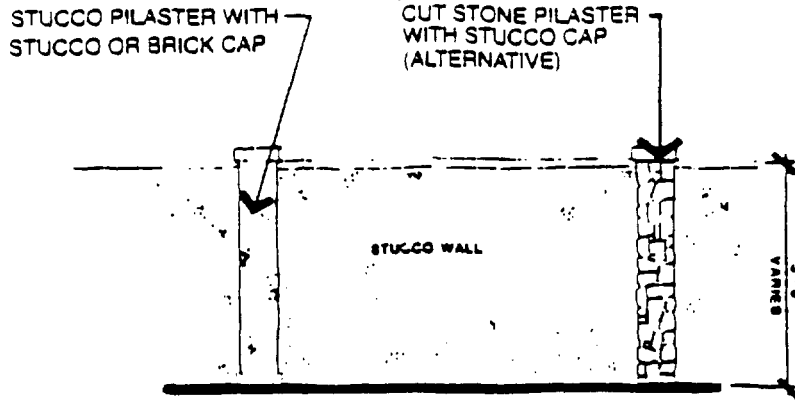




Height of structure determined by noise attenuation study.

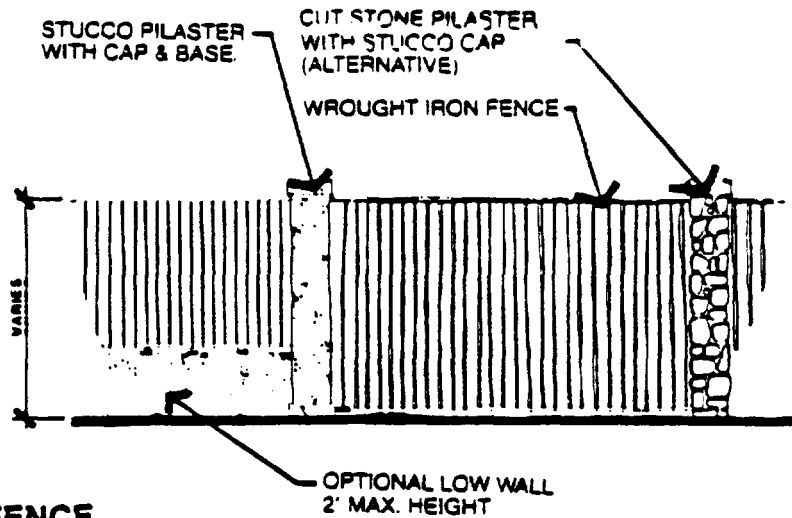
**ALTERNATIVE NOISE
ATTENUATION SOLUTIONS**

EXHIBIT IV-19



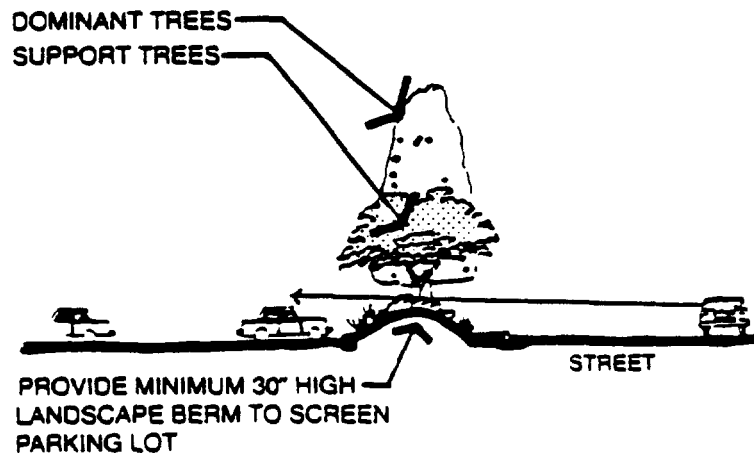
SOLID WALL

EXHIBIT IV-20



OPEN FENCE

EXHIBIT IV-21



**TYPICAL PARKING LOT
SCREENING TREATMENT**

EXHIBIT IV-22

8. Pedestrian Circulation

The Pacific Rim Country Club and Resort is a well-balanced community which will offer a variety of experiences to the resident and visitor. Therefore, an extensive pedestrian circulation system has been designed which is intended to heighten this experience. The pedestrian circulation system as shown on Exhibit IV-23 will consist of:

a. Trail System - This system will generally be separate from surface streets. However, in cases where major community trails are located along streets, the trail will be in the form of a meandering sidewalk on one side of the street. Examples of design techniques for meandering sidewalks are depicted on Exhibit IV-24. The trail system will include:

- The Lagoon Nature Trail consistent with the Lagoon Enhancement Program.
- The Golf Course Trail extends from Pacific Rim Drive northward to Alga Road. An example of this trail is shown on Exhibit IV-25.
- The Oak Preserve Trail is located between the SDG&E utility easement and Alga Road through Planning Area 4.
- The Stream and Lake Trail is located on the east side of the resort site between Pacific Rim Drive and Alga Road.
- There are two SDG&E Parkway Trails located in the northeast portion of the Pacific Rim Country Club and Resort. A typical cross section is shown on Exhibit IV-26. Exhibit IV-27 is an example of the trail along the northeast side of Planning Area 3. A portion of the trail located between Planning Areas 4 and 5 is illustrated on Exhibit IV-28.

All community trails will be maintained by the master association with jurisdiction over the geographical area upon which the trail segment is located as provided in the Master Maintenance Plans.

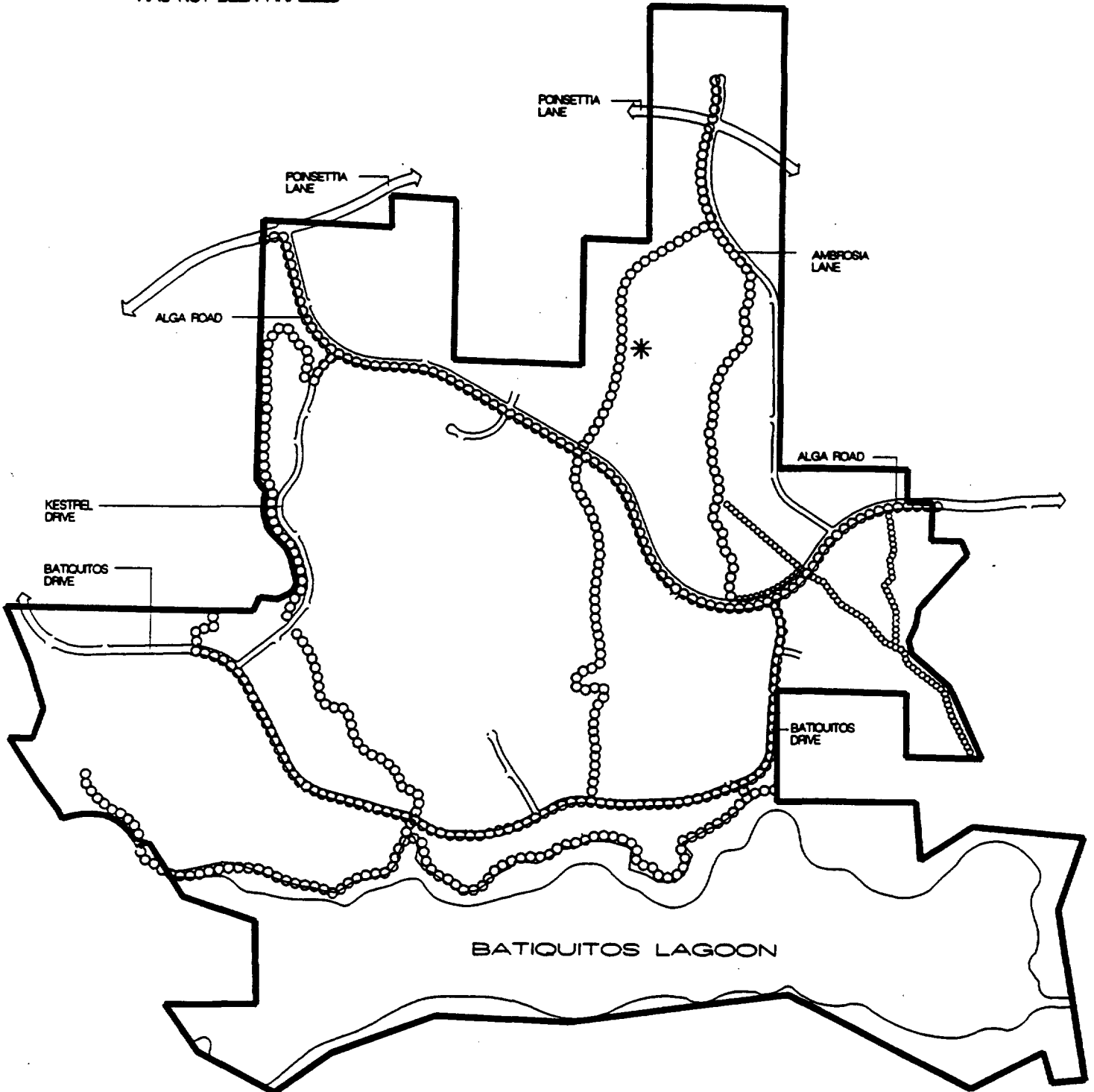
b. Walk System - All other walks associated with streets shall be part of the pedestrian system. This system will allow pedestrian access to the various landmarks and neighborhoods of the Pacific Rim Country Club and Resort.

Certain streets located within single family planning areas may include sidewalks along one side of the street only or no sidewalks subject to the approval of the City Engineer.

9. Recreational Vehicle Storage

A two acre recreational vehicle storage lot will be located within the public utility easement on the northeast side of Planning Area 23. The site was chosen for its low visibility and compatibility with the Neighborhood Commercial Center. The site shall be buffered and screened on all sides subject to the approval of the Planning Director. If for some reason this site cannot be used or cannot be used concurrently with Phase I then the developer shall select another site agreeable to the Planning Director.

* NOTE: ALIGNMENT OF THIS TRAIL HAS NOT BEEN FINALIZED



LEGEND

-  MAJOR COMMUNITY TRAIL
-  SECONDARY TRAIL



NORTH

Amended May 17, 1995

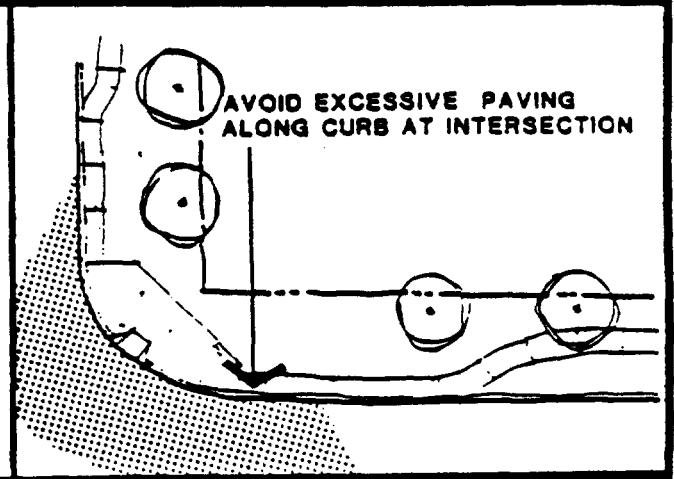
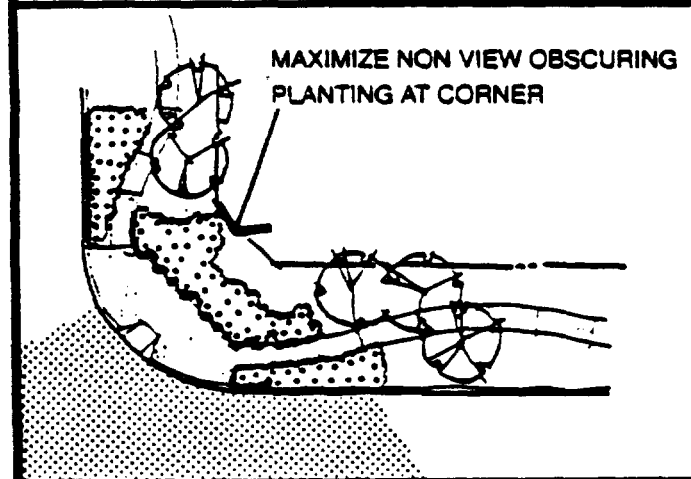
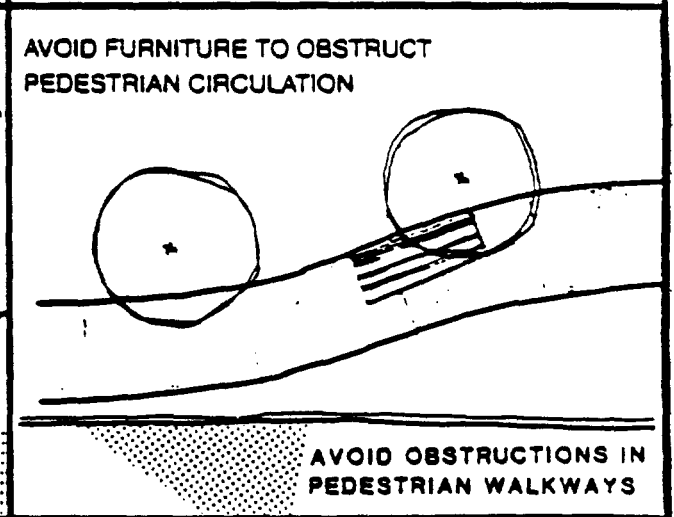
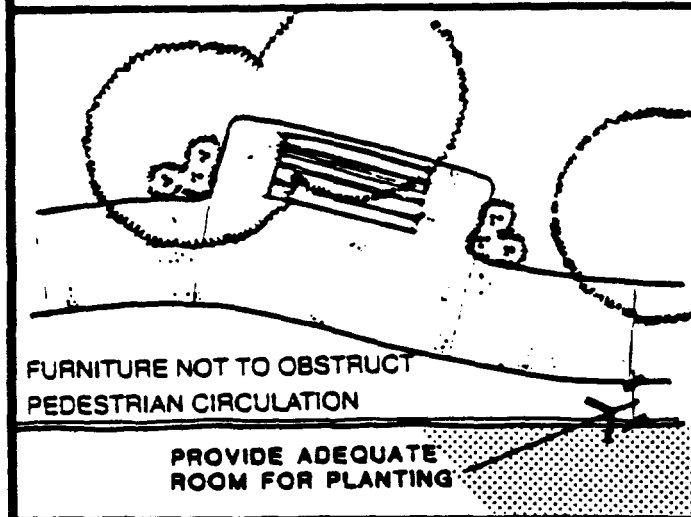
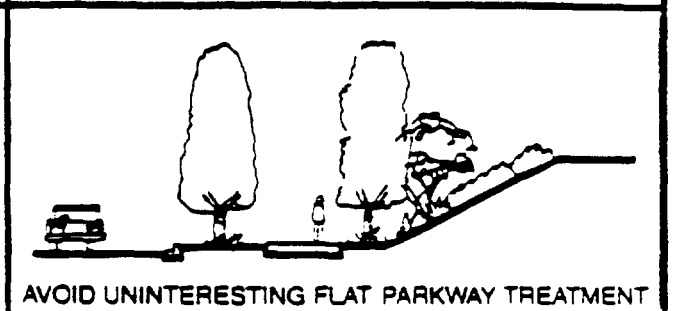
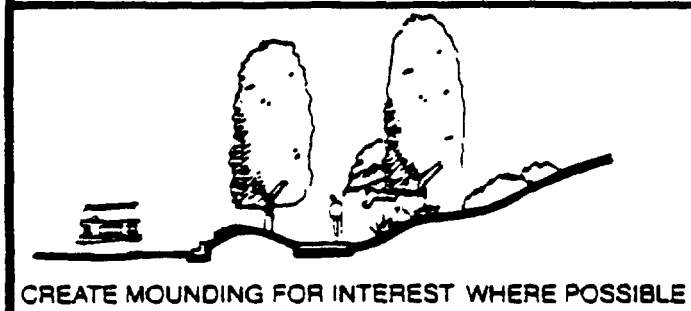
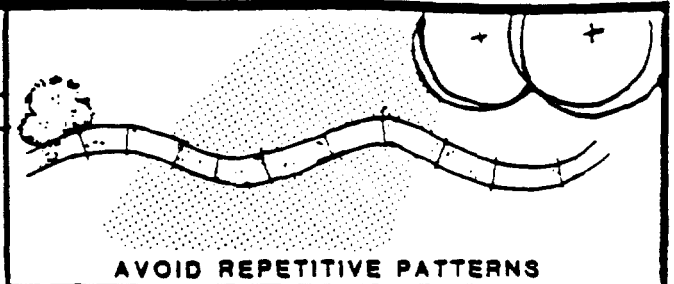
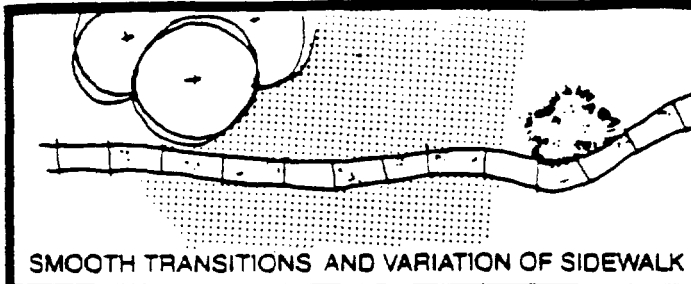
EXHIBIT IV-23
TRAIL SYSTEM

920309
UPDATED: MARCH 12, 1997



DO THIS

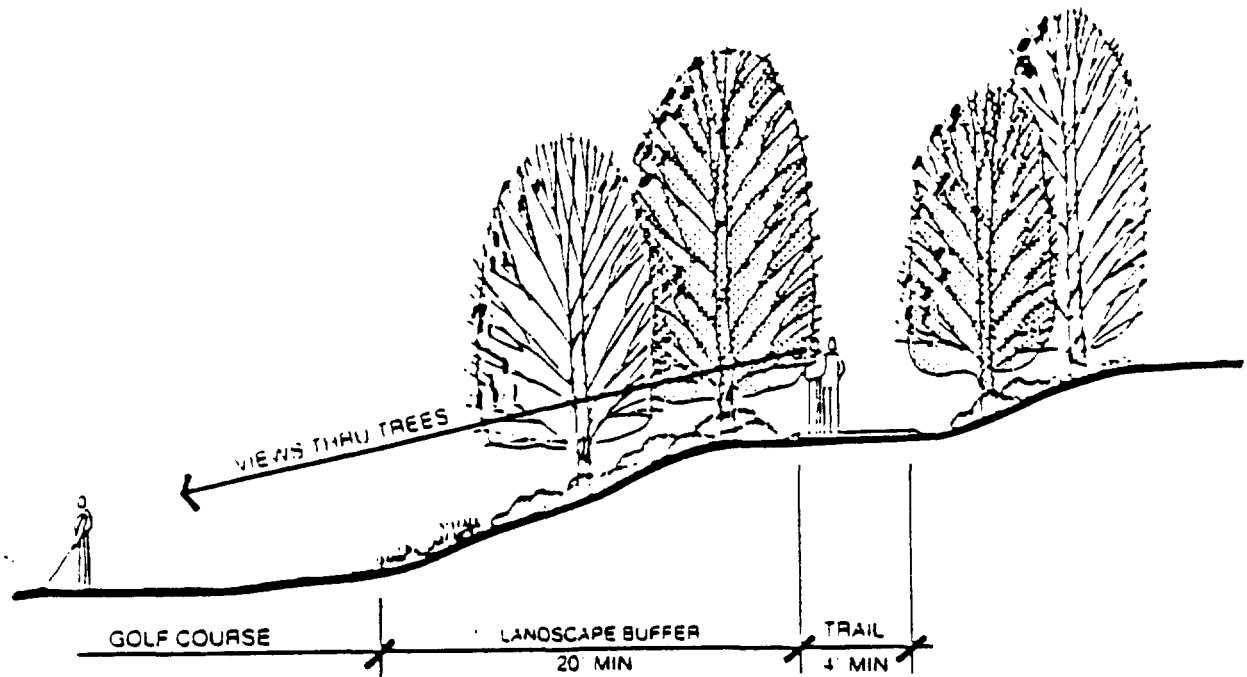
NOT THIS



MEANDERING SIDEWALK TREATMENT

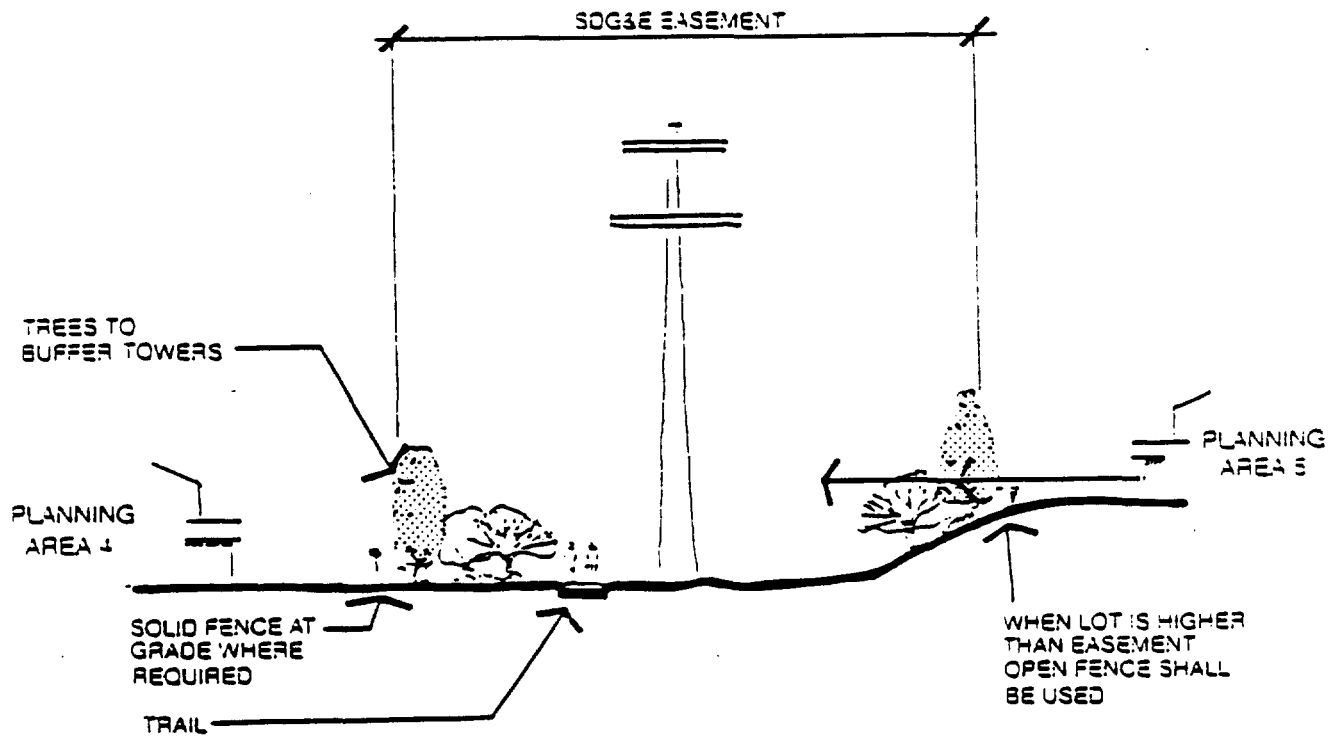
EXHIBIT IV-24

WALKWAY TREATMENTS



SCENIC TRAIL OVERLOOKING GOLF COURSE

EXHIBIT IV-25

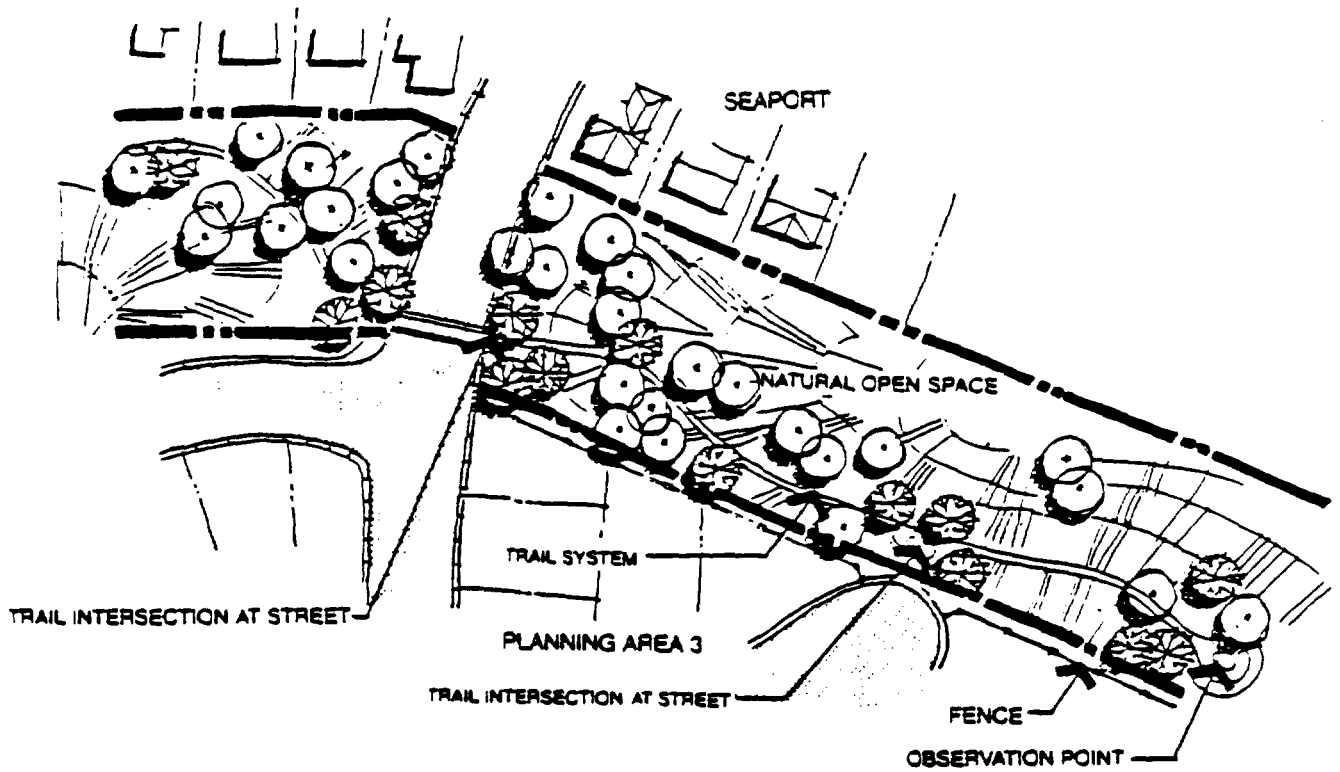


Planting along easement will conform to SDG&E specifications

SDG&E EASEMENT LANDSCAPE TREATMENT

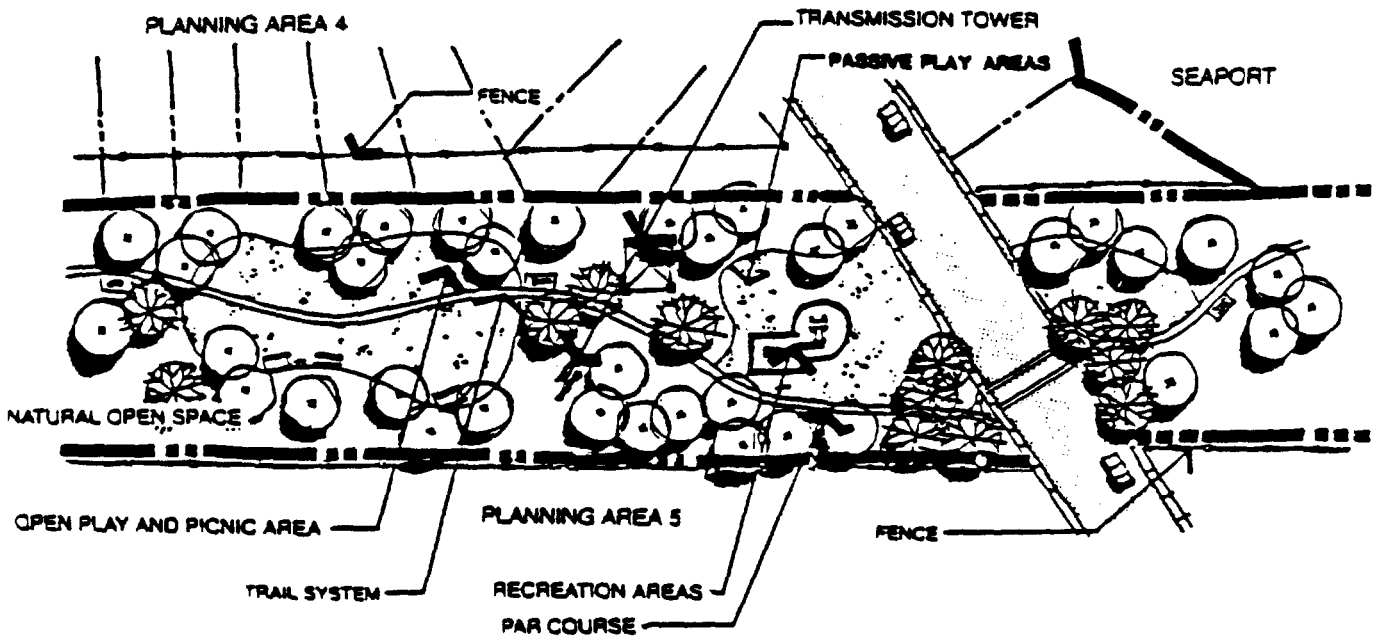
EXHIBIT IV-26

OPEN SPACE TREATMENT



**SDG&E EASEMENT OPEN SPACE TREATMENT
PLANNING AREA 3**

EXHIBIT IV-27



SDG&E EASEMENT OPEN SPACE TREATMENT

EXHIBIT IV-28

OPEN SPACE TREATMENT

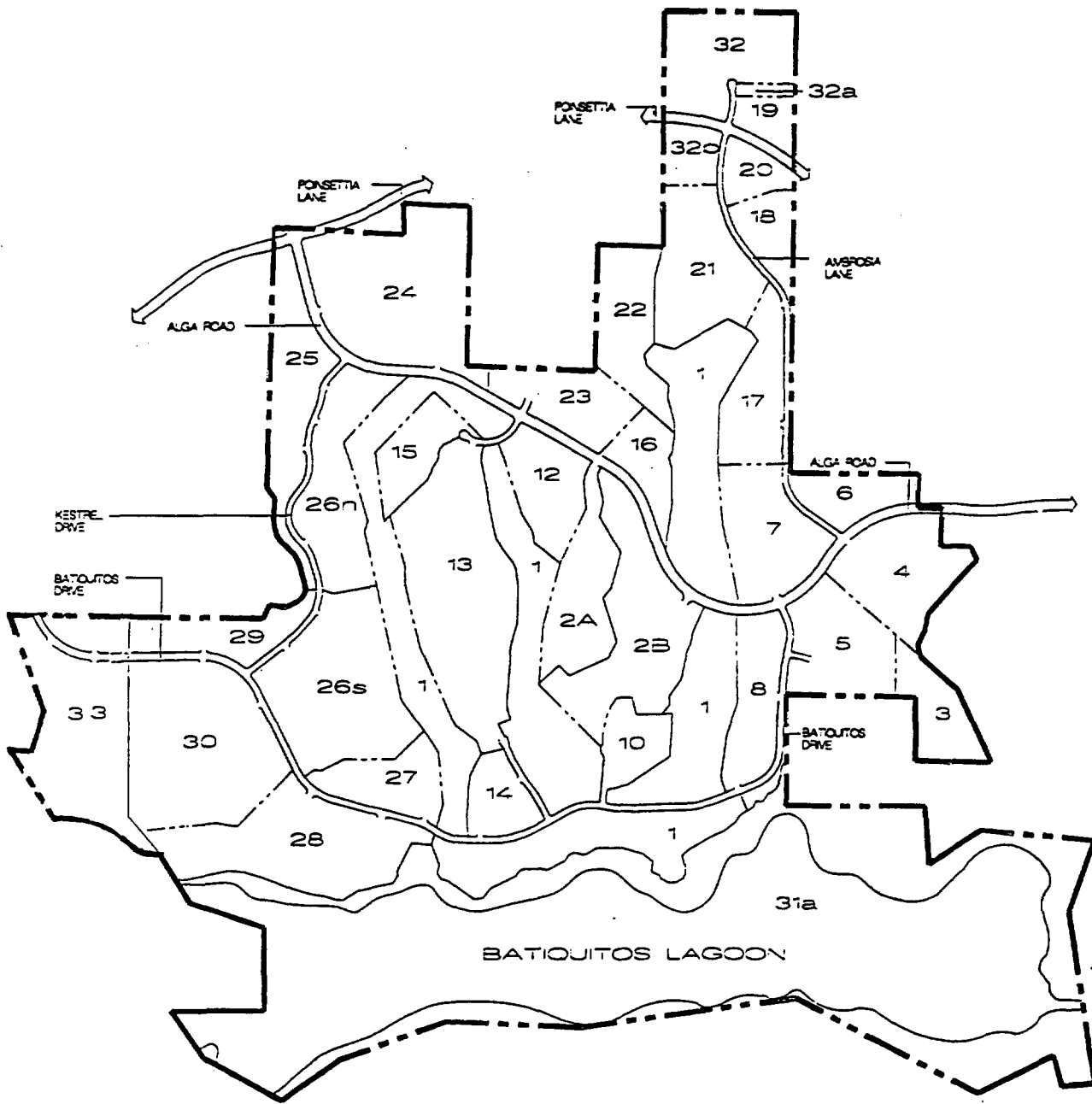
CHAPTER V
PLANNING AREA
DEVELOPMENT STANDARDS

V. PLANNING AREA DEVELOPMENT STANDARDS

This chapter presents a complete set of development standards for each of the 32 individual planning areas which comprise the Pacific Rim Country Club and Resort Master Plan. The development regulations provided for each of the planning areas in this chapter along with the community-wide standards described in Chapter IV become the official development standards for these individual planning areas. In effect, this chapter becomes 32 zoning ordinances, one for each planning area. Exhibit V-1 shows the location of the various planning areas within the Master Plan.

To assist the reader's understanding, the development standards for each of the planning areas have been divided into three sections.

- The first section generally describes the planning area and describes land uses which are permitted.
- The second section includes site development standards including lot size, building height, setbacks and parking requirements.
- The third section considers special design criteria such as landscape treatments, entry ways and trails. A special design criteria exhibit is included for each of the planning areas which illustrates natural slope areas, tree groves, project entry points, fence locations, and other criteria specifically required for the area.



AVIARA

Amended May 7, 1991
 Amended December 14, 1995

PLANNING AREAS

EXHIBIT V-1



PLANNING AREA 1: GOLF COURSE

DESCRIPTION:

This 171.5 acre planning area includes a private 18-hole championship golf course located along the north shore of the lagoon and in three of the canyons to the north of the lagoon. A driving range, clubhouse and related parking facilities are located along Pacific Rim Drive.

DEVELOPMENT STANDARDS: O-S

All development in Planning Area 1 shall conform to the standards of the O-S Open Space zone (Carlsbad Municipal Code, Chapter 21.33) unless otherwise noted in this chapter.

USE ALLOCATION:

18-hole golf course

Driving Range

Maximum of 30,000 square feet golf course clubhouse which will include:

Dining Room	2,000 s.f.
Lounge	1,300 s.f.
Grill	700 s.f.
Pro Shop	1,030 s.f.
Administration	700 s.f.
Locker Rooms	3,000 s.f.
Cart and bag Storage	5,500 s.f.
Other related areas	16,500 s.f.

PERMITTED USES:

The following uses are allowed within the Golf Course Planning Area: an 18-hole golf course, a driving range, a golf course clubhouse which includes a pro shop, administrative offices, dining room, lounges, cart storage, locker rooms, and any other related accessory uses or structures determined to be consistent with a typical golf course operation by the Planning Director.

CONDITIONAL USES:

A City Manager's conditional use permit shall be required for any major or professional golf tournaments held at the golf course.

SITE DEVELOPMENT STANDARDS:

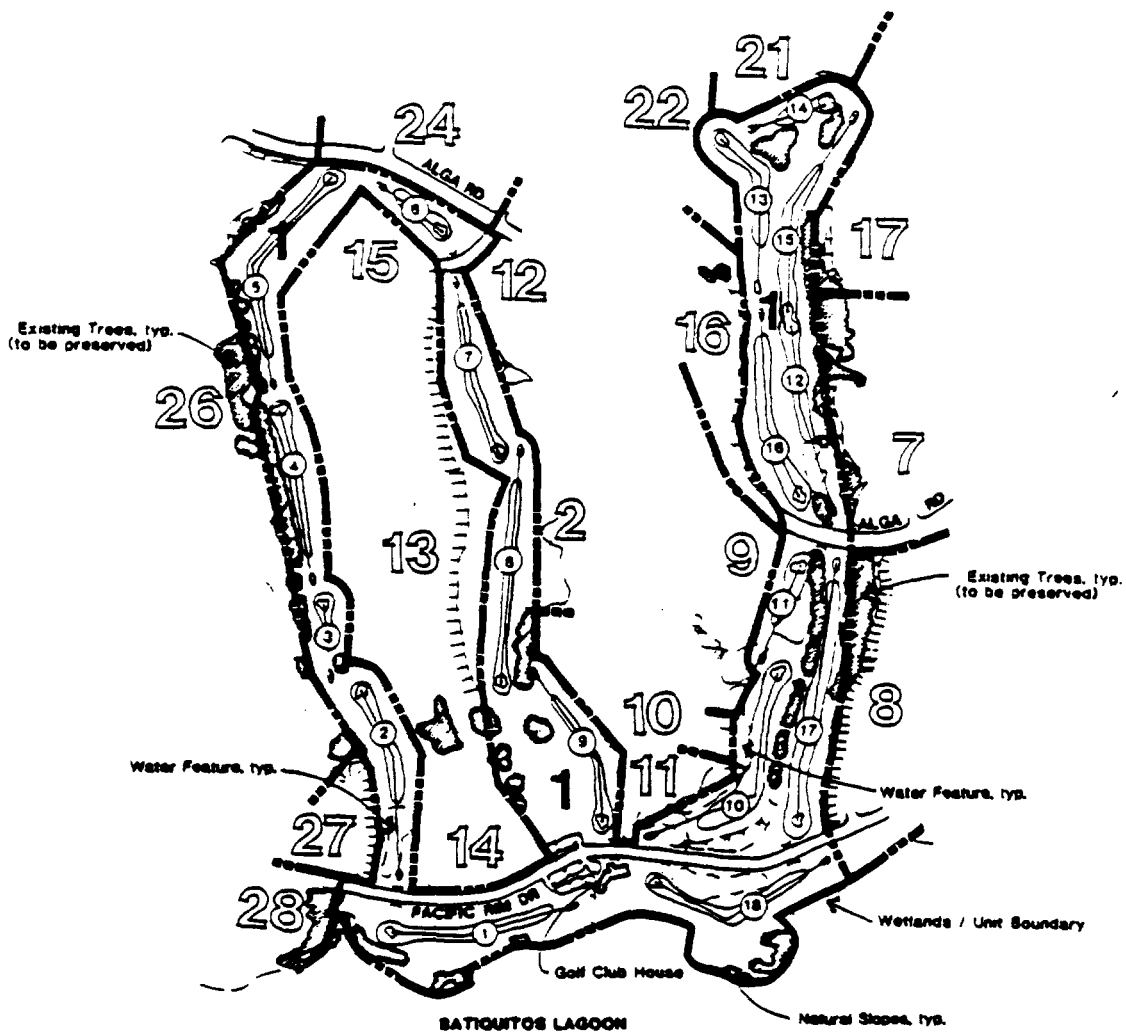
Height:

The maximum height of the clubhouse shall not exceed 28 feet. Accessory structures shall not exceed 14 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code.

Setbacks:

The clubhouse structure shall be a minimum of 50 feet from the edge of curb of Pacific Rim Drive and 175 feet from the Batiquitos Lagoon wetlands boundary. Clubhouse parking facilities shall be a minimum of 20 feet from edge of curb of Pacific Rim Drive and shall be located below the grade of the adjacent elevations of Pacific Rim Drive.

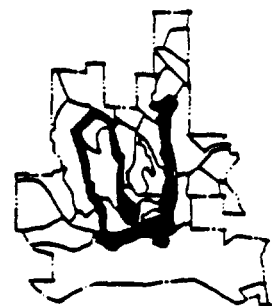
Amended 7/10/90
Amended 12/14/95



Legend

- | | | | |
|--|------------------------|--|-------------------------|
| | Entry Treatment | | Scenic Point |
| | Wall/Fencing | | View Orientation |
| | Trail | | |

Key Map



Parking:

Parking shall be provided per the Parking Demand Study, Four Seasons Aviara Resort, dated August 3, 1995. Up to 25% of the required parking may be compact spaces with minimum dimensions of 8.5 feet by 15.0 feet. A shuttle service shall provide transportation between the clubhouse, the Sports Center, restaurants and the hotel.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * The structural length of the clubhouse parallel with La Costa Avenue shall not exceed 200 feet maximum.
- * Due to its close proximity to the lagoon and because it is highly visible from many offsite as well as onsite locations, special care shall be taken to ensure that all elevations of the golf course clubhouse are compatible with the architecture of the hotel.
- * Strong architectural relief features shall be incorporated into the design of the clubhouse.
- * All out buildings (maintenance, restrooms, etc.) shall be compatible with the architecture of the golf clubhouse.

Entry Treatment:

The golf course clubhouse will have an enhanced entrance at Pacific Rim Drive.

Fencing:

Open fencing of a uniform design may be located along the edges of the golf course on adjacent planning areas.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Views to and from the golf course, lagoon, La Costa Avenue and Pacific Rim Drive must be preserved.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been predetermined to provide consistency in design quality.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Amended 7/10/90

- * Manicured fairways and greens will be used with native or naturalized grasses and sage scrub in rough areas. Existing trees shall be preserved to the extent possible and selectively pruned. Eucalyptus, native sycamore and poplar trees shall be introduced. Water features shall provide a visual connection to Batiquitos Lagoon.
- Full landscaping of the clubhouse and associated structures shall be incorporated to soften views from Pacific Rim Drive and La Costa Avenue.
- All parking areas along Pacific Rim Drive shall be recessed below the grade of Pacific Rim Drive and fully landscaped to screen them from views. A minimum 320 square feet landscaped island shall be provided for every ten parking spaces.

Street Trees:

The style of street trees in Planning Area 1 shall be informal. The dominant street tree shall be the existing eucalyptus. Support trees may include Western Cottonwood (*Populus fremonti*).

Open Space:

With the exception of the clubhouse, out buildings and associated parking area, all of this planning area shall be maintained as open space by the golf course management.

Trails:

A continuous trail system shall be located along the north shore of Batiquitos Lagoon, consistent with that approved as part of the Batiquitos Lagoon Enhancement Plan.

Grading:

No grading or development (exclusive of the public access trail along the lagoon shoreline which shall be consistent with the Lagoon Enhancement Plan) shall be allowed within 100 feet of the wetland boundary.

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 2a: HOTEL

DESCRIPTION:

This 20.3 acre planning area includes a destination resort hotel and related accessory uses, including a parking garage.

DEVELOPMENT STANDARDS: C-T

All development in Planning Area 2a shall conform to the standards of the C-T Commercial Tourist zone (Carlsbad Municipal Code, Chapter 21.29) unless otherwise noted in this chapter.

USE ALLOCATION:

Guestrooms:

Main Building 336 rooms

Banquet/Conference Facilities:

Main Building 36,000 s.f.

Two restaurants within the main building with a floor area not to exceed 10,000 square feet with additional terrace seating.

The restaurants shall not include any signage along the exterior of the hotel structure, nor shall they include a separate access way from the hotel's exterior.

The restaurants shall be oriented to the interior of the hotel.

Parking structure.

Other associated hotel uses internal to the hotel structure.

PERMITTED USES:

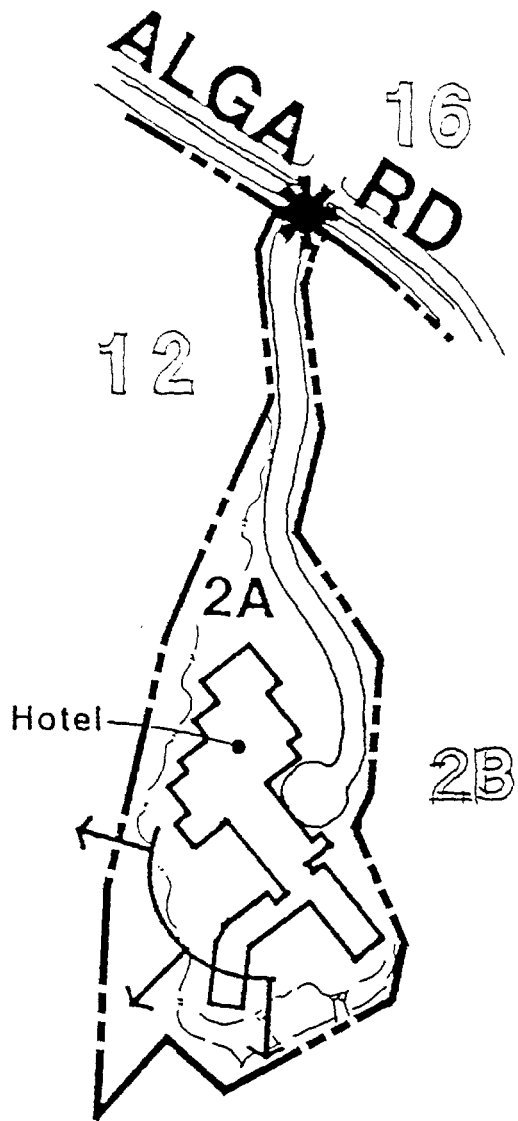
Hotel and accessory uses commonly associated with a full service hotel which could include, but are not limited to: restaurant, coffee shop, lounge, health club, ballroom, banquet rooms, meeting rooms, administrative offices, timeshare marketing and administrative offices, and retail uses (not to exceed 6,000 s.f.) provided for the convenience of hotel guests when located within the hotel structure(s).

SITE DEVELOPMENT STANDARDS:




Height:



The maximum height of the main hotel structure shall not exceed 53 feet per the City's Ordinance. Any portion of the structure exceeding 53 feet shall be for architectural features only and shall not increase the useable floor area

Amended 7/10/90
Amended 12/14/95

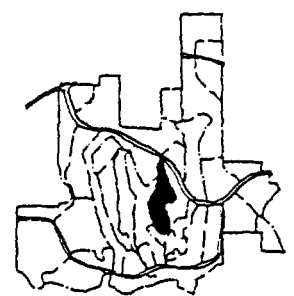


Legend

-  Entry Treatment
-  Wall/Fencing
-  Trail

-  Scenic Point
-  View Orientation

Key Map



Design Criteria - Planning Area 2A

Exhibit V- 3

of the hotel. Heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code.

Parking:

Parking requirements shall be as defined in the Parking Demand Study, Four Seasons Aviara Resort, Dated August 3, 1995. Up to 25% of the required parking may be compact spaces with minimum dimensions of 8.0 feet by 15.0 feet. A shuttle service, provided by the hotel, shall provide transportation between the hotel, resort club, sports center, and golf course clubhouse at reasonably scheduled intervals as approved by the Planning Director.

Fire Suppression:

- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees:

The hotel entry road shall be planted with Mexican Fan Palm (*Washingtonia robusta*). Alga Road will feature Canary Island Pine (*Pinus canariensis*) as a theme tree and Western Cottonwood (*Populus fremontii*) as a support tree.

Open Space:

The slope areas of the hotel site shown on the Special Design Criteria exhibit shall be retained as open space and shall be maintained by a community open space maintenance district.

Trails:

A segment of a major community trail shall begin at the trail along Alga Road and continue southward along the hotel entry road southerly through the open space to Planning Area 10. This trail segment shall be constructed as a condition of development for this planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

Amended 7/10/90
Amended 12/14/95

PLANNING AREA 2b: RESORT CLUB

DESCRIPTION:

This 46.0 acre planning area includes interval ownership (timeshare) and tourist-serving uses.

DEVELOPMENT STANDARDS: C-T

All development in Planning Area 2b shall conform to the standards of the C-T Commercial Tourist Zone (Carlsbad Municipal Code, Chapter 21.29) unless otherwise noted in this chapter.

USE ALLOCATION:

A maximum 240 timeshare units.

A maximum 26,000 square foot reception and recreation building.

Freestanding accessory and maintenance buildings.

Surface parking areas.

Permitted Uses:

Timeshare units and accessory tourist uses, including reception, sales, recreation and maintenance, subject to the following conditions:

1. Except for the requirement of a conditional use permit, the timeshare project must comply with the provisions of Section 21.42.010(10) (C.M.C.).
2. If the proposed project cannot be successfully marketed as a timeshare project, the development shall be converted to a hotel use in conjunction with the hotel in Planning Area 2A subject to a Master Plan Amendment and all conditions of Section 21.42.010(11)(A)(I) and (II).
3. The maximum time increment for recurrent exclusive use of occupancy of a timeshare unit shall be four (4) months. A note indicating this requirement shall be placed on the final map. The seller of the timeshare units shall disclose this maximum time increment to all potential buyers.

SITE DEVELOPMENT STANDARDS:

The maximum height of all structures is 35 feet. Heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code.

Parking:

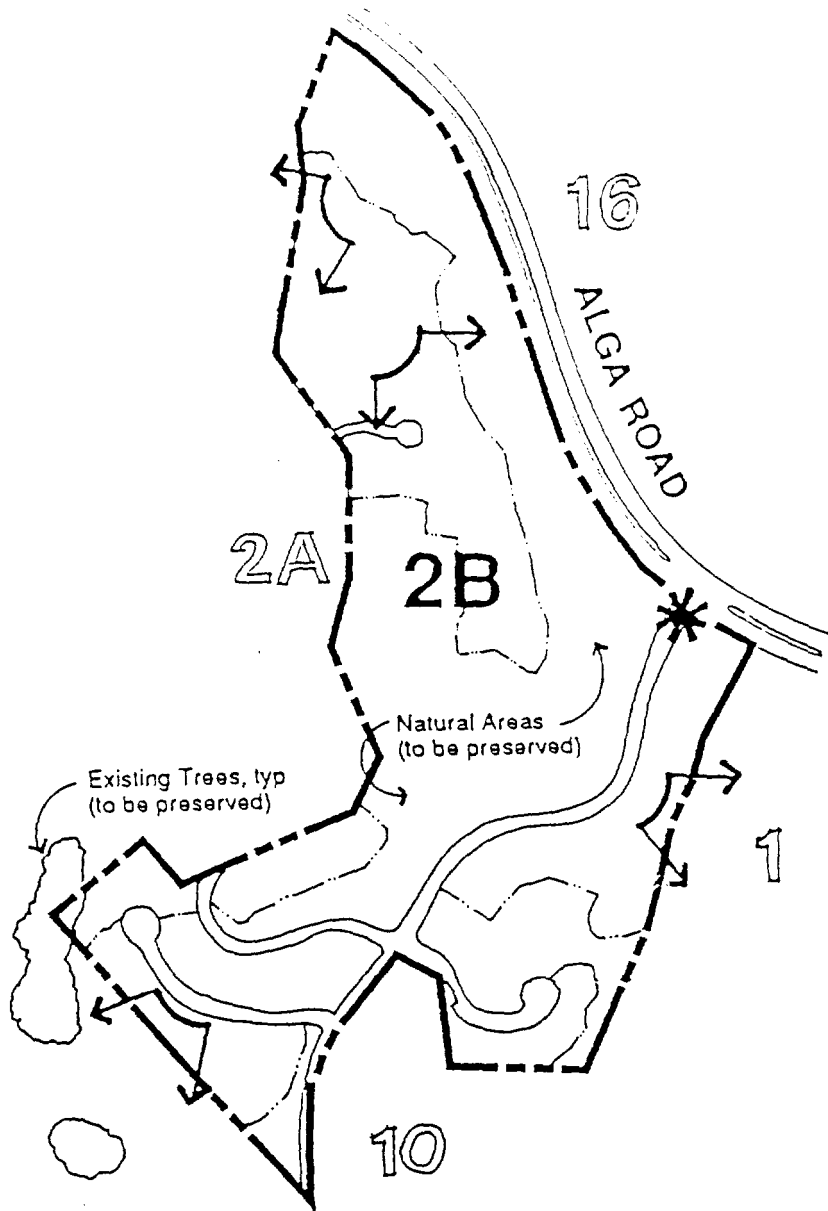
Parking requirements shall be a minimum of 1.2 spaces per timeshare unit. A shuttle service, provided by the Hotel, shall provide transportation between the hotel, resort club, sports center, and golf course clubhouse at reasonably scheduled intervals as approved by the Planning Director.

Fire Suppression:






- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Open Space:

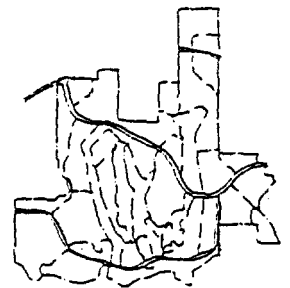
The slope areas of the Planning Area 2b site shown on the Special Design Criteria exhibit shall be retained as open space and shall be maintained by a community open space maintenance district.



Legend

- | | | | |
|---|-----------------|---|------------------|
|  | Entry Treatment |  | Scenic Point |
|  | Wall/Fencing |  | View Orientation |
|  | Trail | | |

Key Map



Trails:

A segment of a major community trail shall begin at the trail along Alga Road and continue southward along the hotel entry road southerly through the open space to Planning Area 10. This trail segment shall be constructed as a condition of development for this planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 3: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 5.0 acre planning area consists of single family residential homes. This neighborhood includes a 150-foot wide public utility corridor along the northeast boundary which will provide a 5.2 acre passive recreation area and pedestrian trail.

DEVELOPMENT STANDARDS: R-1-7500

All development in Planning Area 3 shall conform to the standards of the R-1 one-family residential zone (Carlsbad Municipal Code, Chapter 21.10) unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 27 residential units. (5.4 DU/AC)

PERMITTED USES:

The following uses are allowed within this planning area. Single family detached residential units along with passive and active recreation uses. Duplex units are expressly prohibited within this planning area.

SITE DEVELOPMENT STANDARDS:

Height:

To encourage height variation for this neighborhood at least 10 of the units shall not exceed a height of 18 feet above finished grade (maximum 20 feet from the roof peak). The maximum height in this planning area is 28 feet as defined by Section 21.04.065 of the Carlsbad Municipal Code. These single story units shall be located on lots 121, 122 and other lots as determined by the Planning Director.

Lot Size:

The minimum lot size shall be 7,500 square feet. The minimum lot width shall be 60 feet except that lots fronting on knuckles or cul-de-sacs shall have a minimum frontage pursuant to the Carlsbad Municipal Code, Chapter 20.16.010. At least 15% of the lot area shall be reserved for open space. This open space shall be located in the rear yard and shall not exceed a gradient of 5%.

Setbacks:

To encourage a variety of front yard setbacks, the minimum setback shall be 20 feet with at least 8 of the units having a 24-foot front yard setback and being dispersed throughout the planning area. All other setbacks shall be pursuant to Chapter 21.10 of the Carlsbad Municipal Code.

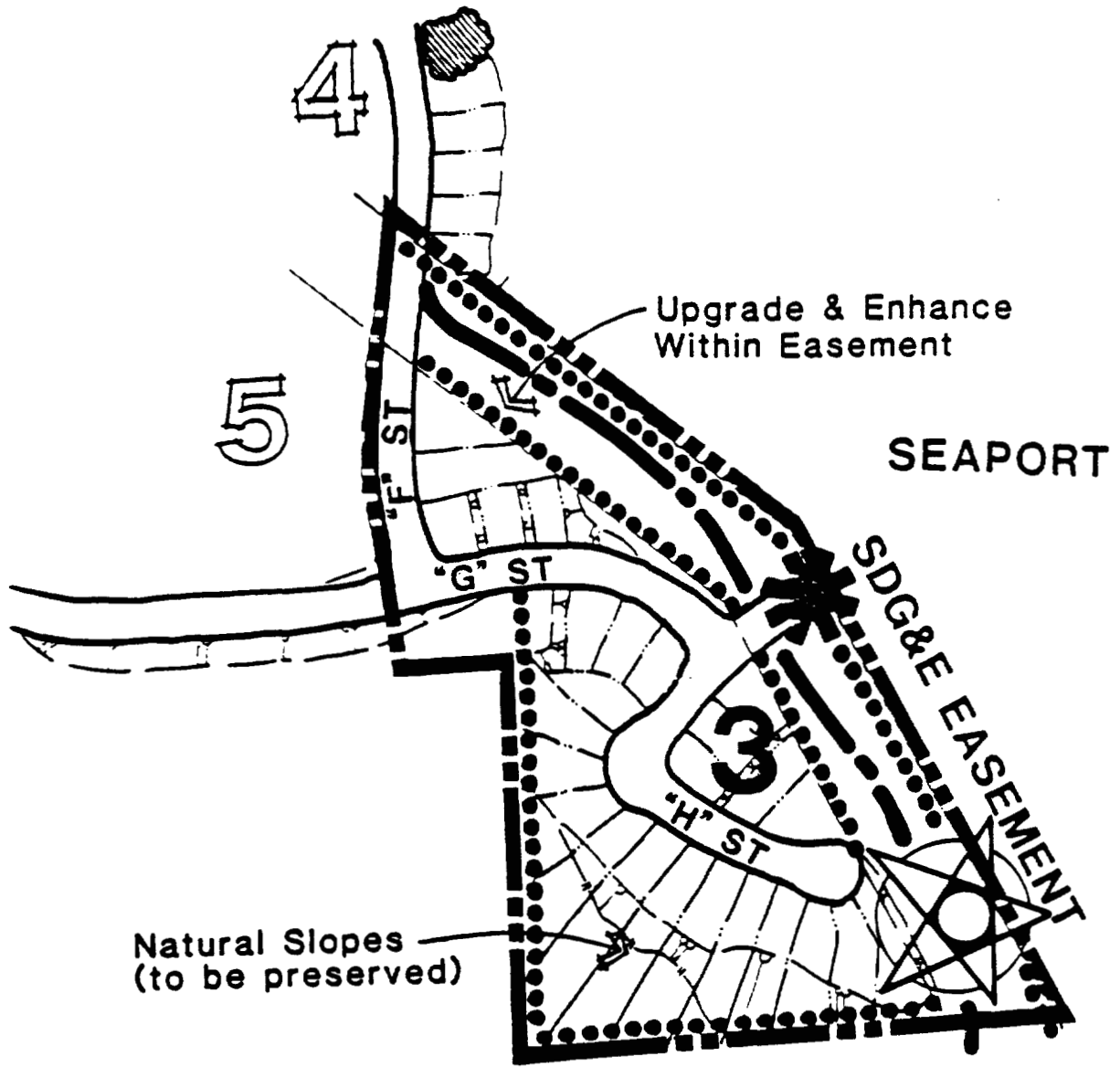
Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:



Legend



Entry Treatment

Wall/Fencing

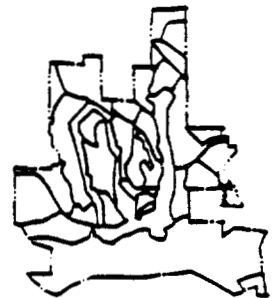
Trail



Scenic Point

View Orientation

Key Map



- As shown on the conceptual site plan for this planning area, the identified natural slope areas shall be preserved and maintained as open space.
- Structural elevations shall be submitted for all lots in this planning area prior to final map approval.
- Site planning and structural elevations shall be coordinated to ensure the preservation of lagoon views for the adjacent Seaport development.
- Attention shall be given to the incorporation of the open space area as an amenity to the neighborhood.

Entry Treatment:

A neighborhood entry way shall be located at Mimosa Drive.

Fencing:

Open fences shall extend along each side of the public utility corridor within the boundaries of the planning area. Open fences shall also be located along the southerly and westerly boundaries of the site.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- The dominant unifying landscape elements for this planning area shall be pre-selected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Pacific Rim Drive, La Costa Avenue and the adjacent Seaport development.
- Views to the lagoon from Seaport must be preserved to the maximum extent possible.
- Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowners.
- A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees:

Street trees for this planning area shall be Evergreen Pear (*Pyrus kawakamii*).

Open Space:

The public utility corridor and slope areas of the south portion of the planning area shall be maintained as open space. The public utility corridor and other open space areas of the planning area shall be maintained by the community open space maintenance district. Due to the visual sensitivity, special care shall be taken to maintain the visual quality of the lagoon-facing slope areas which are included in the maintenance district.

Trails:

A portion of the SDG&E Parkway Trail is located within the public utility corridor. It is suggested that future development of the property immediately to the south include an extension of the pedestrian trail southward to Batiquitos Lagoon. A viewpoint facility shall be located at the southerly end of the pedestrian trail. The onsite trail segment shall be constructed as a condition of development of the planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 4: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 27.7 acre planning area located at the easterly entrance to the project will include small lot single family residential homes. The planning area is separated from Planning Area 5 to the southwest by a 150-foot wide public utility corridor which functions as an open space buffer. Primary access is taken from Alga Road which forms the northwest boundary of the site.

DEVELOPMENT STANDARDS: PD

All development in this planning area shall conform to the standards of the Planned Development Ordinance described in Chapter 21.45.090 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 103 residential units. (4.5 DU/AC)
Recreation facilities

PERMITTED USES:

The following uses are allowed within this planning area: small lot single family detached residential units. Private recreation facilities shall be included in this planning area. Duplex units are expressly prohibited.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area is 28 feet as defined by Section 21.04.065 of the Carlsbad Municipal Code. A minimum of 30% of all dwelling units shall be a maximum of one story (18 feet) in height.

Lot Size:

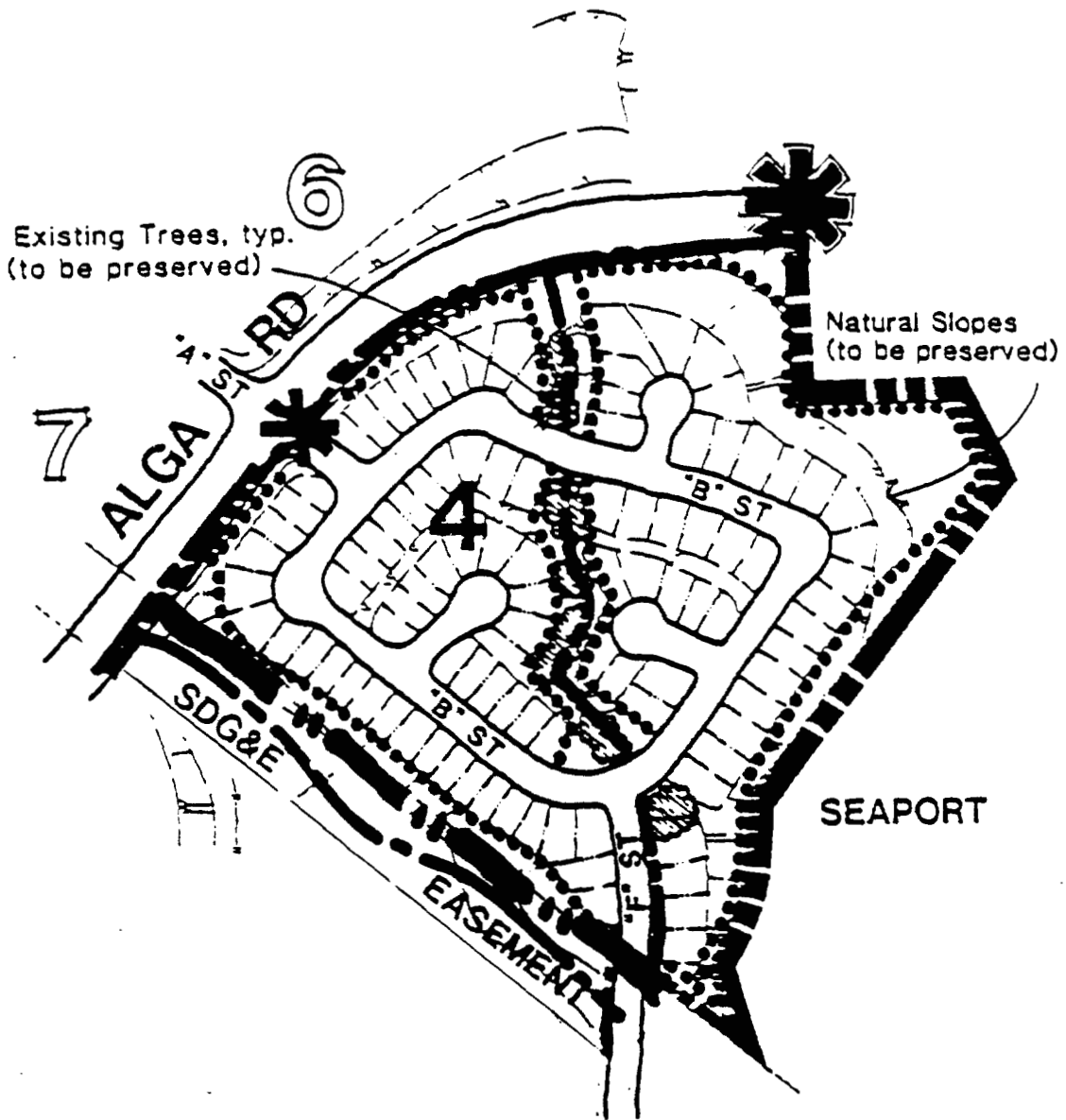
The minimum lot size for lots along the east side of the oak preserve/open space corridor shall be 6,000 square feet. The minimum lot size for lots to the west of the corridor shall be 5,000 square feet. The minimum lot width shall be 60 feet for minimum 6,000 square foot lots or greater, and 50 feet for lots less than 6,000 square feet except that lots which face onto cul-de-sacs or knuckles shall be 35 feet. The minimum lot size for lots adjacent to the Seaport development shall be 7,500 square feet.

Setbacks:

All structures shall be setback a minimum of 50 feet from the Alga Road right-of-way. A 20-foot front yard setback shall be required. Corner lots shall have a 10-foot side-yard setback along the side street which shall be landscaped. The minimum side-yard shall be 5 feet. The distance between single story structures shall not be less than 10 feet. The distance between two and one story structures shall not be less than 15 feet. Rear yard setbacks shall be a minimum of 15 feet of useable area (slope does not exceed 10%). All 7,500 square foot lots shall comply with the standards of Chapter 21.16.010 of the Carlsbad Municipal Code.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.



Legend



Entry Treatment

Wall/Fencing

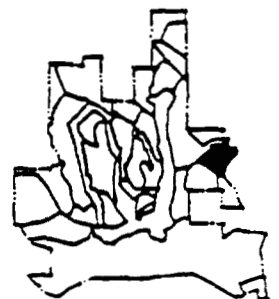
Trail



Scenic Point

View Orientation

Key Map



SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- Special attention shall be given to the incorporation of the adjacent open space areas as amenities to the neighborhood.
- Structural elevations shall be submitted for all lots in this planning area as a part of the Site Development Plan review.
- Site planning and structural elevations shall be coordinated to ensure preservation of lagoon views from the adjacent Seaport development.
- As shown on the conceptual site plan for this planning area, the identified natural slopes and tree groves shall be preserved in open space.
- It is the intent of the Master Plan to encourage a variety of front and sideyard setbacks.

Entry Treatment:

A community entry feature may be located along Alga Road at the east entrance to the Master Plan area. A neighborhood entry element shall be located at the intersection of Alga Road and "A" Street.

Fencing:

Traffic noise along Alga Road shall be attenuated through the incorporation of a solid masonry wall, earthen berm or combination of the two. The precise location and construction of this system shall be determined as a result of a noise study for the area. A solid fence shall be located along the easterly boundary of the planning area between Alga Road and the public utility corridor. Open fencing shall be located along the northeastern boundary of the public utility corridor and both side of the north-south open space area.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- * Views to the lagoon from the Seaport development must be preserved, wherever possible.
- * Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Alga Road and Pacific Rim Drive.

- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been predetermined to provide consistency in design and quality.
- * Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.
- * Existing Oak trees shall be preserved within the central trail system. Street frontage landscaping along Alga Road shall conform to the streetscape criteria.

Street Trees:

The Community entry on Alga Road shall utilize Canary Island Pine (*Pinus canariensis*) as a theme tree and Western Cottonwood (*Populus fremontili*) as a support tree. "F" Street shall be planted with Evergreen Pear (*Pyrus kawakamii*). All other streets within the planning area shall be planted with Indian Laurel Fig (*Ficus retusa*).

Open Space:

An open space corridor and oak preserve shall be maintained which generally bisects the planning area in a north-south direction. The open space corridor shall be maintained by the community open space maintenance district. To ensure preservation of the major oak trees within this corridor, during site development plan review a plan must be submitted to the Planning Director identifying all major oak trees. All grading and development shall be kept outside of the dripline of these identified oak trees.

Trails:

The Oak Preserve Trail shall be provided within the open space corridor described above. This trail forms a connection between Alga Road to the north and the secondary trail located within the public utility corridor of Planning Area 5. A portion of the major community trail along the south side of Alga Road is also located within this planning area. These trails shall be constructed as a condition of development of this planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

Planning Area 5: Cluster Single Family Residential:

Description:

This 23.8 acre planning area located along the south side of Alga Road permits cluster single family homes. A 150 foot wide public utility easement serves as an open space buffer with Planning Area 4 to the northeast.

Development Standards:PD

All development in Planning Area 5 shall conform to the development standards of the PD ordinance (Carlsbad Municipal Code, Chapter 21.45.090) unless otherwise noted in this chapter.

Use Allocation:

Maximum of 189 residential units. (7.9 DU/AC)
Private recreation facilities are required in conjunction with the residential units.

Permitted Uses:

Cluster single family housing along with passive and active recreational uses.

Site Development Standards:

Height:

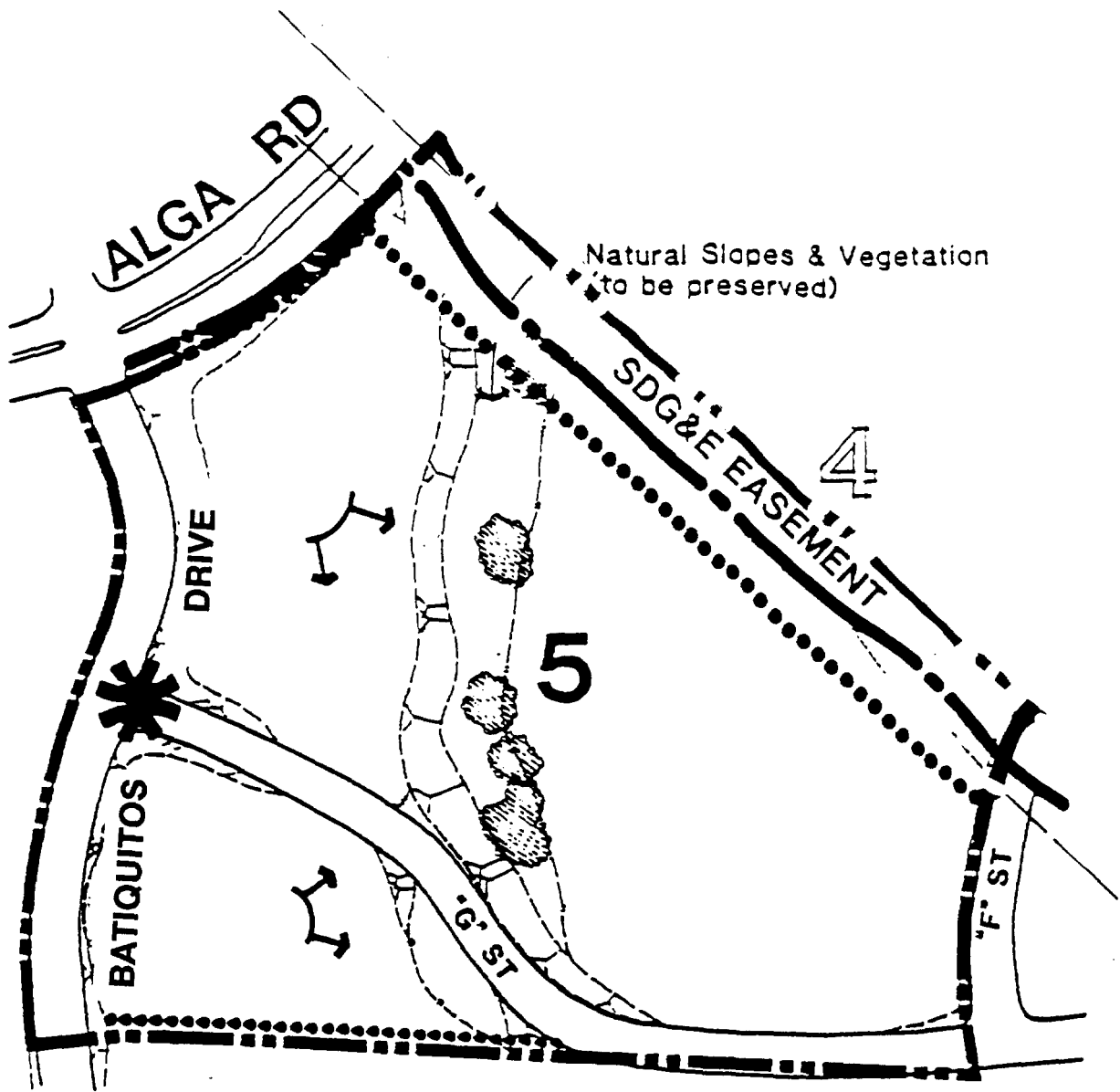
A maximum of 30 feet and two stories shall be allowed if a minimum roof pitch of 3/12 is provided. If less than a 3/12 roof pitch is provided, the maximum height limit shall be 24 feet and two stories. Building height shall be measured per the definition contained in Section 21.04.065 of the Carlsbad Municipal Code.

Setbacks:

The minimum setback from Alga Road for all structures shall be 50 feet. The minimum setback from Batiquitos Drive shall be 30 feet for all structures. Minimum distance between homes on common lots shall be 10 feet excluding architectural features intrusion as allowed by Section 21.45.090(b)5 of the Carlsbad Municipal Code Planned Development Ordinance . Driveways for clustered single family serving four units or less may be 24 feet in width. Garages shall be setback a minimum of 18 feet from 24 foot wide private driveways. Garages facing out onto a private or public street shall be setback a minimum of 20 feet. All structures shall be set back minimum 10 feet from private streets excluding architectural features intrusions a described by Section 21.45.090(b)5 of the Carlsbad Municipal Code Planned Development Ordinance. A graphic depicting a typical cluster plan layout is depicted on Exhibit V-6a.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.



Legend



Entry Treatment

Wall/Fencing

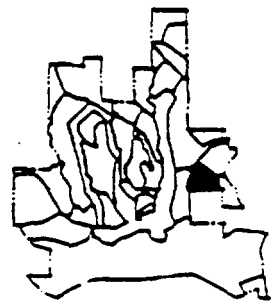
Trail



Scenic Point

View Orientation

Key Map



Special Design Criteria:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- As shown on the conceptual site plan for this planning area, the existing natural slopes and tree groves shall be preserved.
- Strong architectural relief features shall be incorporated into all structures visible from Alga Road and Pacific Rim Drive.
- Views to and from the lagoon and back-country shall be preserved.
- Curvilinear streets shall be combined with informal building settings to strengthen the mediterranean hilltown appearance of the planning area.
- A variety of building massing is encouraged.
- Outdoor courtyards, patios and plazas should be included.
- Special attention shall be given to incorporated the adjacent open space area as an amenity to the neighborhood.
- For cluster single family homes the minimum lineal dimension of outdoor private use areas shall be 15 feet provided that the private use area shall not be less than 225 square feet and this area may be counted toward satisfying private passive recreational area requirements.

Entry Treatment

All entries shall be located along Hummingbird Street. A neighborhood entry way shall be located at the intersection of Pacific Rim Drive and Hummingbird Street.

Fencing:

Traffic noise along Alga Road shall be attenuated through the incorporation of a solid masonry wall, earthen berm or combination of the two. The precise location and construction of this system shall be determined as a result of a noise study for the area. An open fence shall be constructed along the southwestern boundary of the public utility corridor. A solid wall shall be constructed along the southwestern boundary of the public utility corridor. A solid wall shall be constructed along the southerly planning area boundary between Pacific Rim Drive and Hummingbird Street.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- Views to and from the golf course and lagoon must be preserved.
- Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been predetermined to provide consistency in design and quality.
- Landscape screening of all dwelling units shall be incorporated to soften views of these structures from Alga Road and Pacific Rim Drive.
- A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.
- Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.
- Existing trees identified during Site Development Plan review shall be preserved.

Street Trees:

Pacific Rim Drive shall be planted with Jacaranda (*Jacaranda acurifolia*). Evergreen Pear (*Pyrus kawakamii*) shall be utilized as a street tree on all other public streets within the planning area.

Fencing/Lighting:

A solid noise attenuation wall shall be located along the school site frontage to Alga Road. Other fencing within the school grounds shall be determined by the Carlsbad Unified School District. Lighting shall be shielded from surrounding streets and neighborhoods.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV are recommended for this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- Views to the golf course and lagoon from adjacent planning areas shall be reasonably preserved.

- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Alga Road and Pacific Rim Drive.
- Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting etc. have been pre-determined to provide consistency in design and quality.
- Landscaping adjacent to the public utility corridor shall utilize trees, shrubs and wall to visually screen utility structures and provide security and privacy for the homeowner.
- A fire suppression zone subject of the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.
- Existing trees identified during Site Development Plan review shall be preserved.
- All open parking located along Alga Road shall be fully landscaped.

Open Space:

The open space corridor which bisects the planning area in a north-south direction and connects with the public utility corridor in Planning Area 4 shall also be maintained as open space. This area shall include natural slopes and vegetation whenever possible. This open space area shall be maintained by the community open space maintenance district.

Trails:

The major community trail along the southeasterly side of Alga Road (existing sidewalk systems) is located in this planning area and has been constructed. No certificates of occupancy shall be issued for any units or phases located adjacent to the SDG&E easement until the required master plan secondary trail segment within this easement area is constructed and landscaped to the satisfaction of the Planning Director.

Grading:

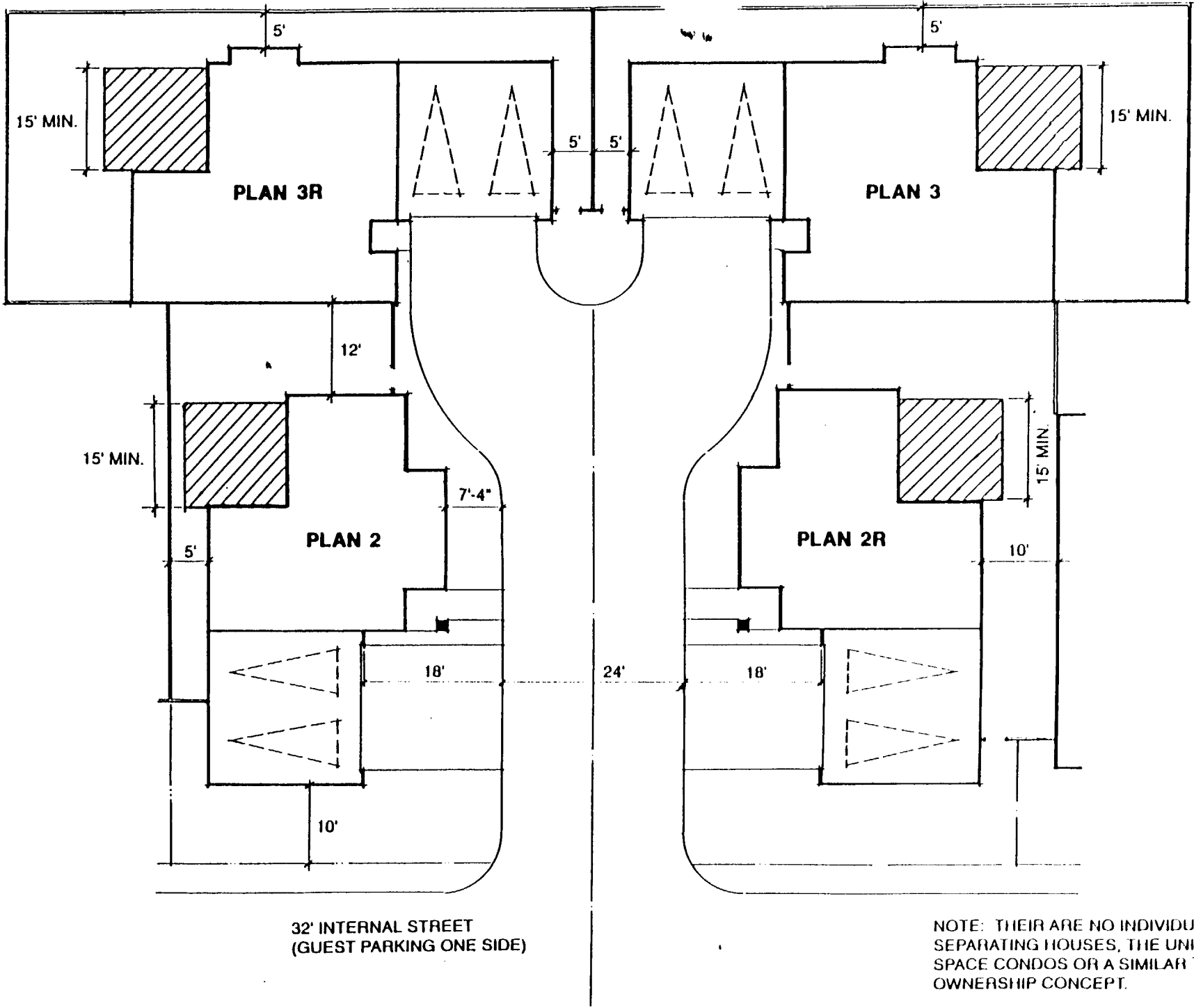
Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review. Coastal deed restricted areas shall not be subject to any grading.

TYPICAL CLUSTER PLAN - 4 UNITS MAX.
DESIGN CRITERIA - PLANNING AREA 5

Amended 1/9/96

EXHIBIT V-6a

- 93 a -



PLANNING AREA 6: SCHOOL SITE

DESCRIPTION:

This 12.4 acre planning area located on the north side of Alga Road at the easterly entrance to the project area provides for an elementary school site. Entrance to the planning area will be from "A" Street.

DEVELOPMENT STANDARDS: O-S

All development in this planning area shall conform to the standards of the O-S Open Space zone described in Chapter 21.33 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Public elementary school.

PERMITTED USES:

The following uses are allowed within the School Site Planning Area: an elementary school operated by the Carlsbad Unified School District which may include such school-related uses as an auditorium, cafeteria, ball fields, playgrounds and parking lots. A major community entry element may be located at the southeast corner of the site along Alga Road.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height of the auditorium and cafeteria shall not exceed 35 feet. The height of all other structures shall not exceed 28 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code.

Setbacks:

All structures and parking facilities shall be located a minimum of 50 feet from Alga Road. All structures and parking facilities shall be located a minimum of 35 feet from "A" Street. All structures shall be located a minimum of 10 feet from all interior property lines.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

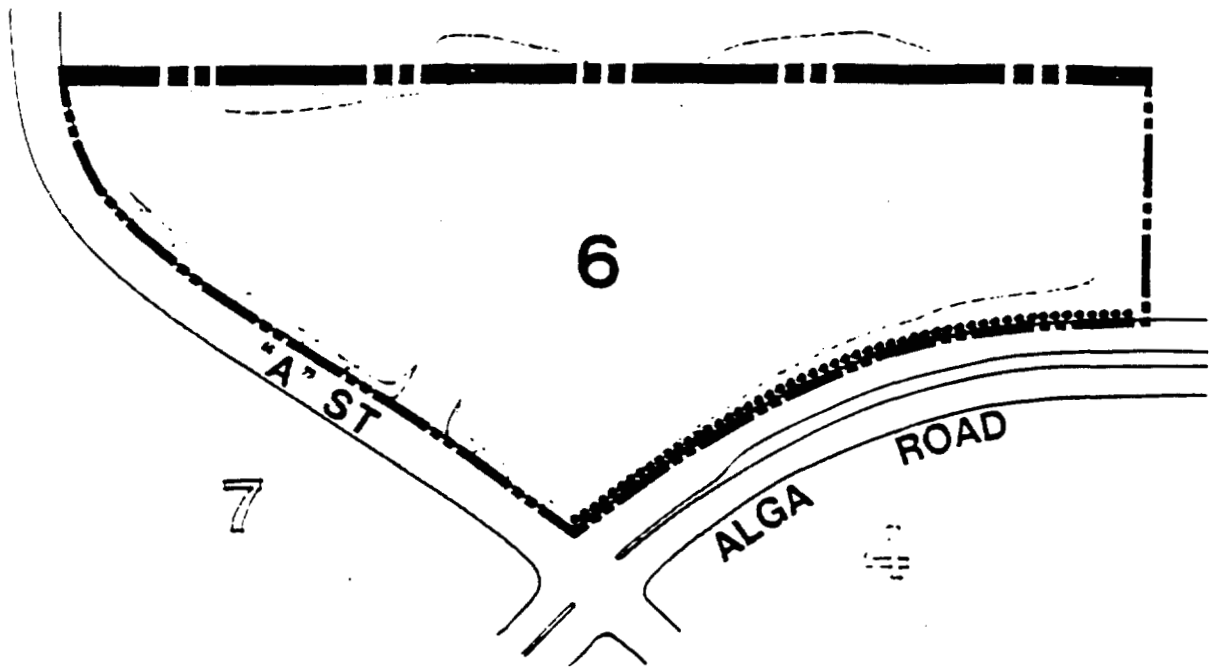
Design:

All community-wide design standards described in Section B of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- It is recommended that curvilinear streets and varying setbacks be included in the site planning of the school in order to reflect the appearance of the adjacent planning areas.
- Outdoor courtyards, patios and plazas shall be included where possible.

Entry Treatment:

The school entry shall be located on "A" Street.



Legend



Entry Treatment

Wall/Fencing

Trail



Scenic Point

View Orientation

Key Map



Fencing/Lighting:

A solid noise attenuation wall or similar noise mitigation shall be placed along the school site frontage to Alga Road is required by a noise study to be submitted with the site plan. Other fencing within the school grounds shall be determined by the Carlsbad Unified School District. All lighting shall be shielded from surrounding streets and neighborhoods.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV are recommended for this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Views to the golf course and lagoon shall be respected.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.
- * All structures visible from Alga Road shall be landscaped to soften views of these structures.
- * Landscape shall conform to school district requirements and shall be installed prior to occupancy.
- * Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.

Street Trees:

"A" Street shall be planted with Rusty Leaf Fig (*Ficus Rubiginosa*).

Open Space:

Manufactured slopes shall be landscaped and shall be maintained by either the school district or the community open space maintenance district. A 20-foot wide easement along Alga Road and a 15-foot wide easement along "A" Street shall be dedicated to the Aviara Master Association for the purpose of landscape maintenance.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 7: MULTI-FAMILY RESIDENTIAL

DESCRIPTION:

This 30.2 acre planning area consists of multi-family residential homes. The neighborhood is located on the north side of Alga Road. A 150-foot wide public utility easement which crosses the area will provide opportunity for passive recreation areas. The planning area also borders the east side of the 12th and 15th holes of the golf course in an area of mature eucalyptus groves.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 7 shall conform to the development standards of the PD ordinance as described in Chapter 21.45.090 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 240 residential units. (7.9 DU/AC)

Private recreation facilities in conjunction with the residential units are required.

PERMITTED USES:

Multi-family residential housing along with passive and active recreational uses.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height shall not exceed 35 feet. At least 50% of the structures in this Planning Area shall be no more than two stories in height. Where three story structures are proposed, no more than one-half of the structure shall be three stories in height. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code.

Setbacks:

The minimum setback for all structures from the Alga Road right-of-way shall be 50 feet. All parking shall be setback from Alga Road a minimum of 30 feet provided that it is fully screened. The average setback along "A" Street shall be 30 feet and the minimum shall be 25 feet for all structures and parking. All other front yard setbacks shall be in conformance with Section 21.45.090(b) of the Carlsbad Municipal Code. All structures shall be setback a minimum of 30 feet from the public utility easement. The minimum building separation is 10 feet between one-story structures, 15 feet between one and two-story structures and 20 feet for two or more story structures.

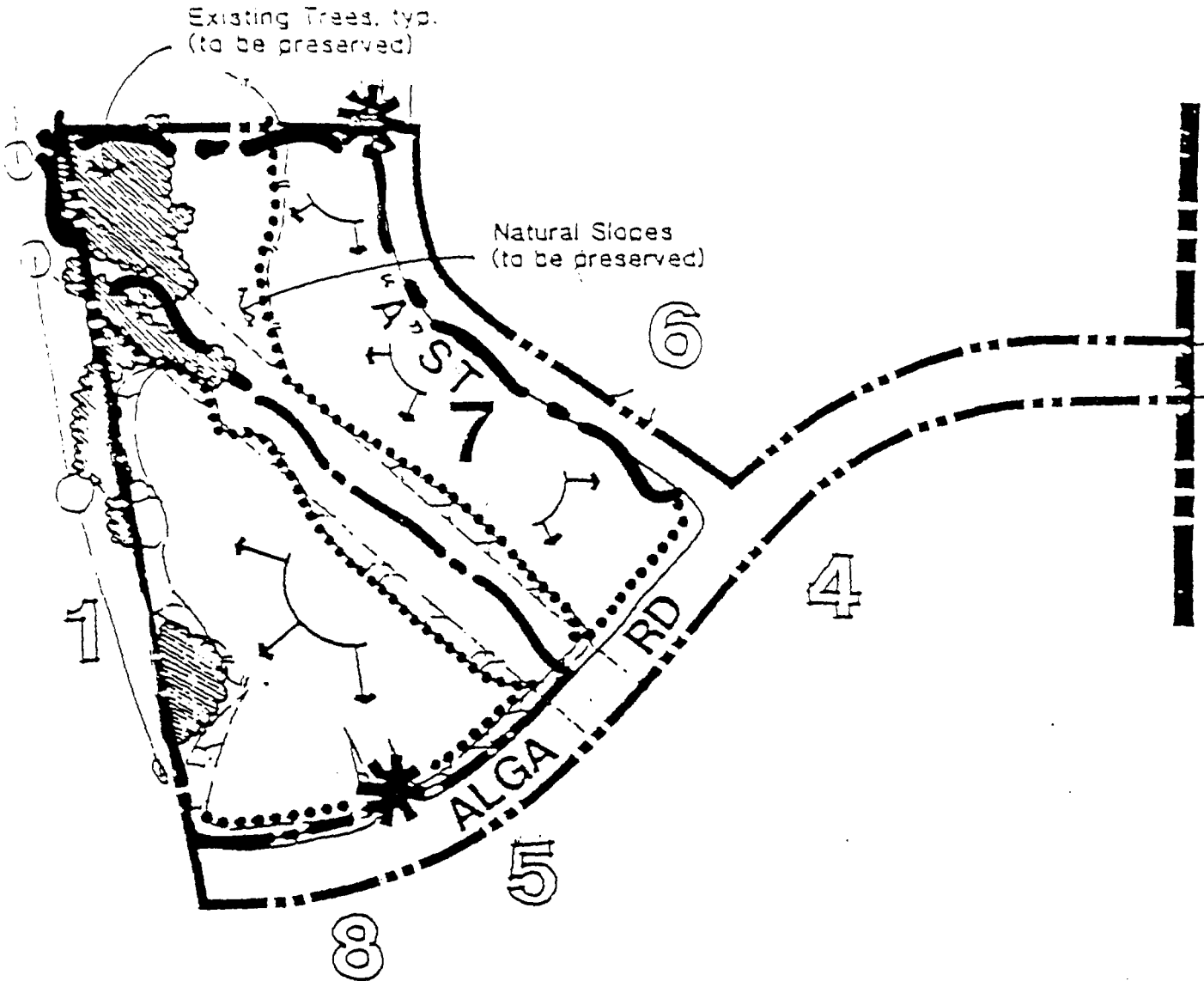
Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.






SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:



Legend

-  Entry Treatment
-  Wall/Fencing
-  Trail
-  Scenic Point
-  View Orientation

Key Map



- Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped building footprints.
- Strong architectural relief features shall be incorporated into all structures visible from Alga Road.
- As shown on the conceptual site plan for this planning area, the natural slopes and identified tree groves shall be preserved and maintained as open space.
- Curvilinear streets shall be combined with informal building sitings to strengthen the mediterranean hilltown appearance of the planning area.
- Outdoor courtyards, patios and plazas shall be included.
- Special attention shall be given to incorporate the adjacent open space area as an amenity to the neighborhood.

Entry Treatment:

A neighborhood entry way shall be located along Alga Road.

Fencing:

A noise attenuation wall may be required along the frontage of Alga Road where development occurs. A noise study shall be conducted prior to submittal of the Site Development Plan to determine these possible needs. Open fencing shall be required along the boundaries of the public utility.

Landscape:

All community-wide landscape standards as described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- Views to the golf course and lagoon must be preserved.
- Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been predetermined to provide consistency in design and quality.
- Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
- Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

- * All structures visible from Alga Road shall be landscaped to soften views of these structures.
- * All parking lots located along Alga Road shall be fully landscaped and bermed to screen from view.
- * Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.

Street Trees:

The frontage along Alga Road shall be planted with Canary Island Pine (*Pinus canariensis*). "A" Street shall be planted with Rusty Leaf Fig (*Ficus rubiginosa*).

Trails:

The portion of the major community trail which extends from Alga Road to Poinsettia Lane is located along the ~~westerly~~ easterly edge of the site and connecting at the Phase III portion of the major community trail. In lieu of meandering side walks, enhanced amenities are to be provided in the Ambrosia Lane right-of-way. A secondary trail is located along the northwest side of Alga Road beginning at the above noted trail and extending to the public utility corridor, thence northwesterly within the corridor and ending at the tree grove adjacent to the golf course. These trails shall be constructed as a condition of development.

Open Space:

The public utility corridor shall be maintained as open space. Significant natural slopes and eucalyptus groves located adjacent to the golf course along the westerly boundary of the planning area shall also be maintained as open space. A tree thinning program shall be submitted to the Planning director for approval. These open space areas shall be maintained by the community open space maintenance district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 8: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 27.3 acre planning area provides for small lot single family residential units. Homes in this neighborhood are bounded by Alga Road to the north and Pacific Rim Drive to the east and south. The area overlooks Batiquitos Lagoon to the south and is adjacent to the 17th fairway of the golf course.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 8 shall conform to the development standards of the PD ordinance as described in Chapter 21.45.090 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 75 residential units. (2.7 DU/AC)

Private recreation facilities are required in conjunction with the residential units.

PERMITTED USES:

Single-family detached residential units are allowed in this planning area. Private recreation facilities are required.

SITE DEVELOPMENT STANDARDS

Height:

The maximum height allowed in Planning Area 8 is 28 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code. A variety of building heights is required for this planning area to provide visual interest.

Lot Size:

The minimum lot size for this planning area shall be 4,500 square feet. The minimum lot width shall be 40 feet except that lots which front on cul-de-sacs or knuckles shall have 35-foot minimum widths.

Setbacks:

The minimum setback for all structures from the Alga Road right-of-way shall be 50 feet and Pacific Rim Drive shall be 30 feet. The minimum front yard setback from internal streets shall be 20 feet. The minimum building separation is 10 feet between one story structures, 15 feet between one and two story structures and 20 feet for two or more story structures. All other setbacks shall be in conformance with Section 21.45.090(b) of the Carlsbad Municipal Code.

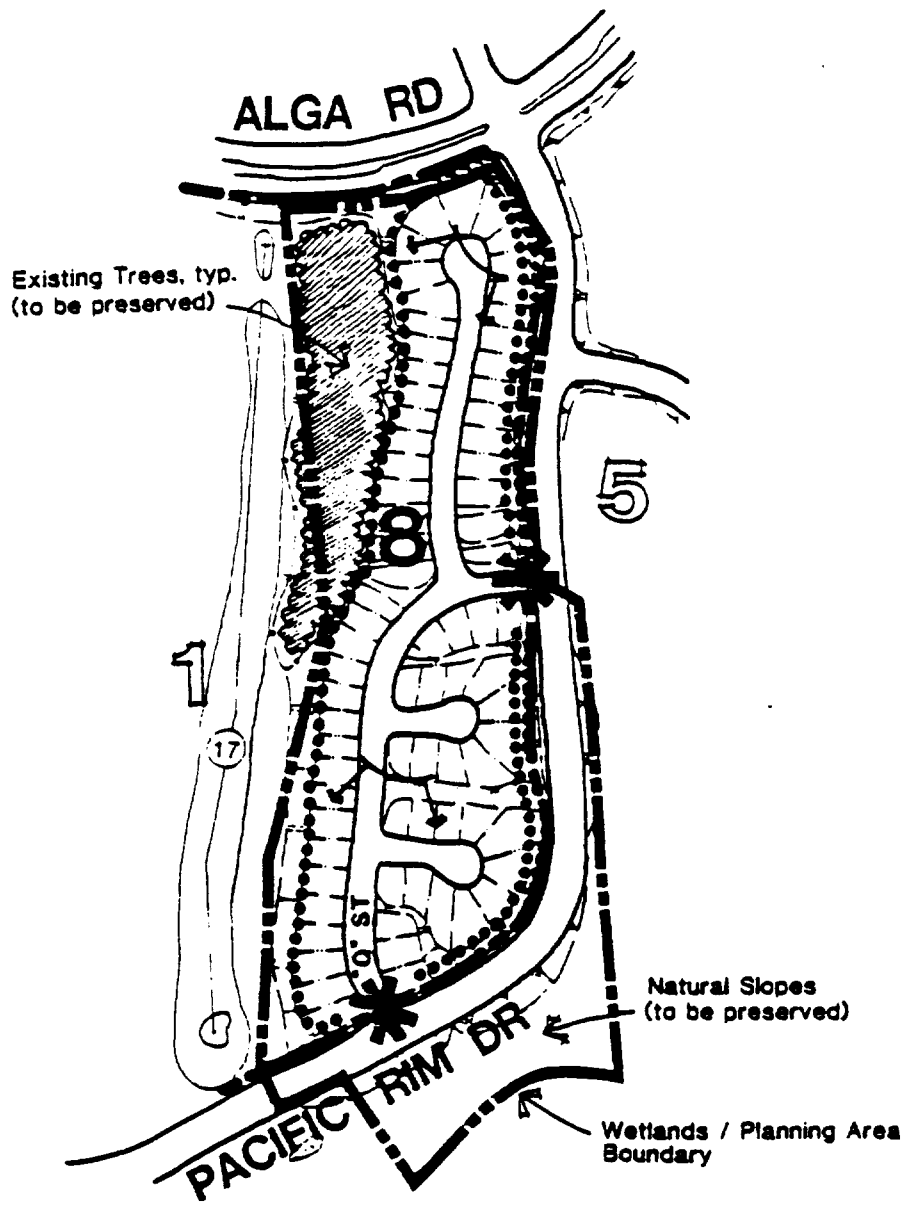
Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area.



Legend



Entry Treatment

Wall/Fencing

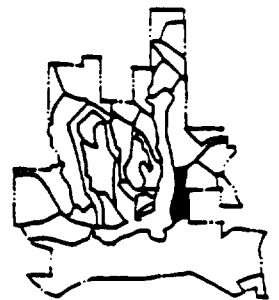
Trail



Scenic Point

View Orientation

Key Map



- * Curvilinear streets shall be combined with varying setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Special attention shall be given to incorporate the adjacent open space area and eucalyptus groves as an amenity to the neighborhood.
- Strong relief features shall be incorporated into all structures visible from Alga Road and Pacific Rim Drive.
- As shown on the conceptual site plan for this planning area, the identified natural slopes and tree groves shall be preserved as open space.

Entry Treatment:

A neighborhood entry way and a secondary entrance shall be located along Pacific Rim Drive.

Fencing:

A noise attenuation wall and/or berming may be required where residential development is located near Alga Road. A noise study shall be required to be submitted during site plan review to determine this requirement. A solid fence shall be located along the Pacific Rim Drive frontage. An open fence shall be located along the golf course between Pacific Rim Drive and the major eucalyptus grove.

Landscape:

All community-wide landscape standards described in Section A, Community Design elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- Views to and from the golf course and lagoon must be preserved.
- Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * All structures visible from Alga Road and Pacific Rim Drive shall be landscaped to soften views of these structures.
- Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and decorative walls to visually screen utility structures and provide security and privacy for the homeowner.
- Existing trees identified during Site Development Plan review shall be preserved.
- A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Open Space:

A portion of the northwest quarter of the planning area adjacent to the golf course shall be maintained as open. Thinning of eucalyptus trees shall be allowed upon approval of the Planning Director. Natural areas, passive recreation areas and manufactured slopes shall be maintained by the community open space maintenance district. Active recreation areas shall be maintained by the Homeowner's Association.

Street Trees:

Pacific Rim Drive shall be planted with Jacaranda (*Jacaranda acutifolia*).

Trails:

A segment of the major community trail along Pacific Rim Drive shall be located in this planning area. This trail begins at the major community trail along the southerly side of Alga Road and continues to the golf course on the northerly side of Pacific Rim Drive. These trails shall be constructed as a condition of development. A portion of the major community trail along Alga Road is also located within this site.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 9

The Aviara Master Plan does not contain a Planning Area 9. The previous Planning Area 9 has been amended for inclusion into present Planning Area 2b through City of Carlsbad and Coastal Commission action MP 177(O) and LCPA 90-03(A) approved on December 14, 1995. As a result, Planning Area 9 no longer exists.

PLANNING AREA 10: SPORTS CENTER

DESCRIPTION:

This 11.8 acre recreation site permits a community membership sports center which provides active recreation facilities.

DEVELOPMENT STANDARDS: C-T

Development in this planning area shall conform to the standards of the C-T Commercial-Tourist zone (Carlsbad Municipal Code, Chapter 21.29) unless otherwise noted in this chapter.

USE ALLOCATION:

Sports center shall be a maximum of 52,400 square feet including a restaurant, 12 regulation tennis courts including one tennis court with seating for membership and resort guest tournaments.

A 25 meter pool and a recreational pool.

A sports center restaurant not to exceed 5,500 square feet with indoor and outdoor eating areas.

Approximate areas shall include:

Aerobics	3,700 s.f.
Free weights/Stationary weights	5,300 s.f.
Restaurant	4,600 s.f.
Cafe	1,600 s.f.
Gymnasium	2,800 s.f.
Other Related Uses	35,400 s.f.

PERMITTED USES:

The following uses are allowed with the Sports Club Planning Area: tennis courts, swimming pools, and a health club facility which could include a restaurant, bar, lounge, pro shop, sports boutique, beauty salon, meeting rooms, day care, racquetball courts and other health or fitness related retail uses.

CONDITIONAL USES:

A City Manager's Conditional Use Permit shall be required for all tournament competitions at the tennis facilities or swimming meets at the pool and diving facilities.

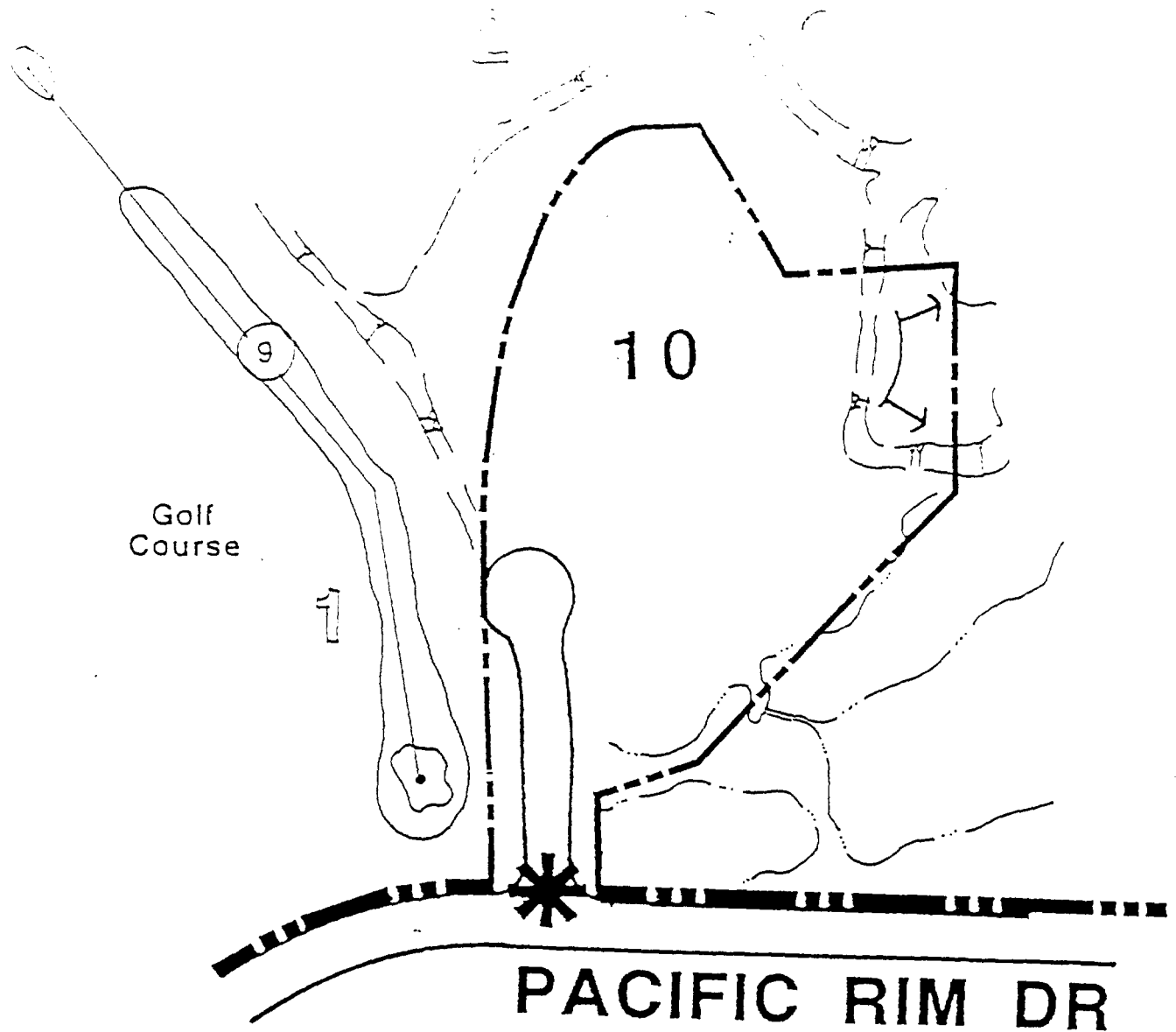
SITE DEVELOPMENT STANDARDS

Height:




The maximum height shall be 35 feet per Section 21.04.065 of the Carlsbad Municipal Code.

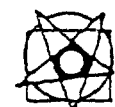

Setbacks:

All structures shall be located a minimum of 30 feet from Batiquitos Drive. The sports center building shall be located a minimum of 200 feet from the nearest residential structure.



Legend

-  Entry Treatment
-  Wall/Fencing
-  Trail

-  Scenic Point
-  View Orientation

Key Map



Parking:

Parking shall be as defined in the Parking Demand Study, Four Seasons Aviara Resort, dated August 3, 1995. A maximum of 25% of the required parking may be compact spaces with minimum dimensions of 8.0 feet by 15.0 feet. A shuttle service, provided by the hotel, shall provide transportation between the Sports Center, restaurants, golf course, clubhouse and the hotel at reasonably scheduled intervals as approved by the Planning Director.

Landscaping in Parking Area:

A minimum of 15 percent of the open parking areas shall be landscaped subject to the approval of the Planning Director.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * Strong architectural relief features shall be incorporated into the design of the Sports Center. The architectural design shall assure the preservation of views from Batiquitos Drive and La Costa Avenue.
- * The architecture of the Sports Center shall be compatible with that of the hotel and golf clubhouse.
- * Outdoor courtyards, patios and plazas should be included.
- * Special attention shall be given to the incorporation of the adjacent open space area as an amenity to the planning area.

Entry Treatment:

A secondary entry treatment shall be located at the intersection of Batiquitos and Kingfisher Road.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the developments of this planning area:

- * Landscape screening of the Sports Center, including the use of specimen trees, shall be incorporated to soften the view of these structures from Batiquitos Drive and La Costa Avenue.
- * Views to and from the golf course, lagoon, Batiquitos Drive and La Costa Avenue shall be preserved.

- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Open Space:

All open space areas shall be landscaped as described in the Landscape section above.

Trails:

A portion of the Stream and Lake Trail, which extends from Alga Road to Batiquitos Drive, is located within this planning area. The onsite segment shall be constructed as a condition of development of this planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 11

This Master Plan does not contain a Planning Area 11. The previous Planning Area 11 has been amended for inclusion into present Planning Area 10 through City of Carlsbad and Coastal Commission action MP 177(O) and LCPA 90-03(A) approved on December 14, 1995. As a result, Planning Area 11 no longer exists.

PLANNING AREA 12: CLUSTERED SINGLE FAMILY DETACHED RESIDENTIAL

DESCRIPTION:

This 26.1 acre planning area provides for clustered single family detached residential. The neighborhood fronts upon Alga Road to the northeast and is bounded by the hotel planning area to the east and the 7th and 8th holes of the golf course to the west. The southern portion of this neighborhood will preserve the natural slopes and vegetation.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 12 shall conform to the development standards of the PD Ordinance as described in Chapter 21.45.090 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 317 residential units. (21.1 DU/AC)
Private recreation facilities are required in conjunction with the residential units.

PERMITTED USES:

Clustered single family detached housing (condominium ownership).

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height shall not exceed 30 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code. No structures in this Planning Area shall be more than two stories in height.

Setbacks:

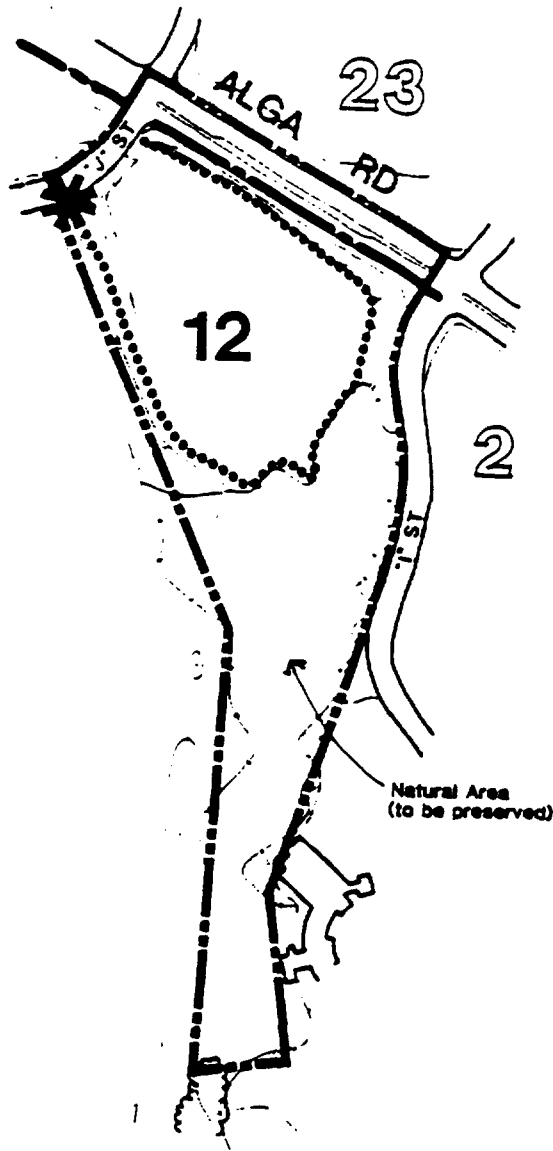
The minimum setback for all structures from the Alga Road right-of-way shall be 50 feet. The minimum setback for all structures and parking from Black Rail Court shall be 30 feet. All parking shall be setback a minimum of 35 feet from Alga Road, provided that it is fully screened. Front yard setbacks within the clusters shall be a minimum of 5 feet. All structures shall be setback a minimum of 20 feet from the planning area boundary. The minimum building separation shall be 10 feet. All structures shall be setback a minimum of 10 feet from internal spine streets. All structures shall be setback 20 feet from the fire suppression zone. Units which have garages that front on the main spine internal street, shall have a minimum setback of 20 feet to the garage face. All front yard setbacks shall be measured from the back of curb or the back of sidewalk, whichever is closer. All side yards fronting on the cluster driveway shall be a minimum of seven and one-half (7.5) feet. All other side yards and rear yards shall be a minimum of five (5) feet.

Street Width:

The main internal spine street shall be 30 feet wide. The entrance drive to each cluster shall be 24 feet wide and all private drives within the clusters shall be 20 feet wide.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code. All open parking shall be screened from Alga Road by the use of berming and heavy landscaping.



Legend



Entry Treatment

Wall/Fencing

Trail



Scenic Point

View Orientation

Key Map



SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- Strong architectural relief features shall be incorporated into the structures visible from Alga Road.
- As shown on the conceptual site plan for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- Curvilinear streets shall be combined with varied structural setbacks to strengthen the Mediterranean hilltown appearance of the planning area clusters.
- Outdoor courtyards and patios shall be included.

Entry Treatment:

A neighborhood entry way shall be located on Black Rail Court.

Fencing:

Traffic noise attenuation structure may be required adjacent to Alga Road in the form of an approved decorative noise wall, earthen berm or combination of the two. A noise study shall be required prior to the submittal of a building permit to determine the extend of this element. An open fence shall be required at the perimeter of the development area beginning at Alga Road and extending around to Black Rail Court.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- Views to the golf course and lagoon shall be preserved.
- Landscape screening of structures shall be incorporated to soften the view of these structures from Alga Road.
- Landscape screening shall be required for parking lots located along Alga Road and other internal streets.
- Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

- The eastern slope near the hotel entry shall conform to the hotel landscaping criteria.
- Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.

Street Trees:

Canary Island Pine (*Pinus canariensis*) shall be planted along Alga Road. Queen Palm (*Arecastrum Romanzoffianum*) shall be planted along Black Rail Court.

Open Space:

The northwest graded slopes adjacent to the 7th hole of the golf course and the graded slopes above the intersection of Alga Road and the resort entry road shall be maintained as open space. The portion of the planning area to the south of the developed area shall be maintained as a natural open space. The above open space areas shall be maintained by the community open space maintenance district.

Trails:

The planning area cluster frontage on Alga Road shall include a segment of the major community trail located along the south side of the street. This segment shall be constructed as a condition of development.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 13: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 65.4 acre planning area consists of a private gated community of single family residential homes. The neighborhood in general is bounded by the golf course to the east and west. Access is provided to both Alga Road and Pacific Rim Drive. Home sites generally are located along the central ridge line. The remainder of the site will be reserved as open space.

DEVELOPMENT STANDARDS: R-1-8

All development in Planning Area 13 shall conform to the standards of the R-1 one-family residential zone (Carlsbad Municipal Code, Chapter 21.10), unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 72 residential units. (1.1 DU/AC)

PERMITTED USES:

Single family detached residential units are allowed in this planning area. No subdivision of Lot 308 is permitted.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height allowed in this planning area is 30 feet to the peak of the roof. All heights shall be determined per section 21.04.065 of the Carlsbad Municipal code. The maximum height allowed on Lot 308 is 25 feet and not to exceed two stories.

Lot Size:

The minimum lot size for Planning Area 13 shall be 8,000 square feet. The minimum lot width shall be 70 feet. At least 15% of the lot area shall be reserved for open space. This open space shall be located in the rear yard and shall not exceed a gradient of 5%.

Setbacks:

The minimum front yard setback for split-level lots shall be 20 feet. All other setbacks shall maintain a minimum 25 foot front yard setback. For units that include side loaded garages, a minimum 20 foot setback is allowed (for the garage) as long as the section of the garage within the 25 foot setback is no greater in width than 40% of the allowed building frontage (lot width minus side yard setbacks); and that the ground floor habitable portion of the building maintain a setback a minimum of 40 feet. This reduced front yard setback is allowable for side loaded garages only. No living area is allowed inside or above the structure within the reduced setback area. The minimum side yard setback shall be 10 feet. All other setbacks shall be per Chapter 21.10 of the Carlsbad Municipal Code.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

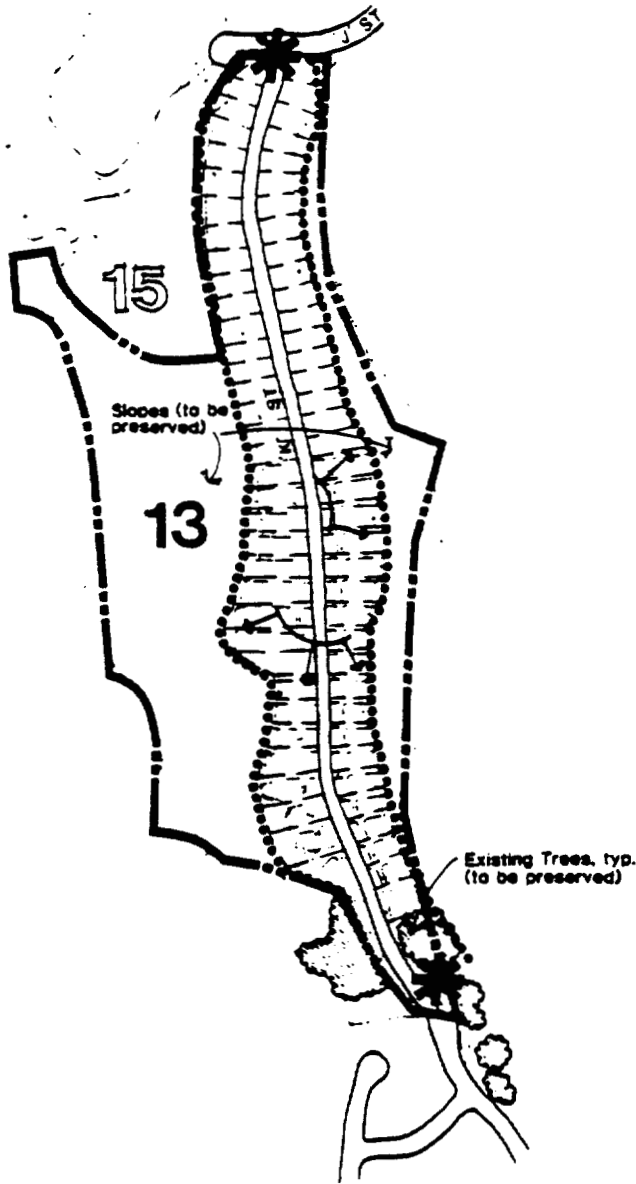
SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

* Development shall only be allowed along the ridgetop of this planning area except for Lot 308.

Amended April 1, 1992
Amended July 22, 1997
Amended March 10, 1998



Legend



Entry Treatment

Wall/Fencing

Trail



Scenic Point

View Orientation

Key Map



* As shown on the conceptual site plan for this planning area, the identified natural slopes and tree groves shall be preserved and maintained as open space.

* A site plan must be submitted to the Planning Director for review for all lots in this planning area.

* Architectural elevations must be submitted to the Planning Director for review for all dwelling units in this planning area.

Entry Treatment:

A neighborhood entry way shall be located at the intersection of "J" and "K" Streets. Gated entries on "K" Street at the north and south end of the planning area shall be allowed but are not required.

Fencing:

Open fencing shall be located along the rear property lines at the top of slope of lots located on "K" Street.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

* Manufactured slopes visible from Alga Road, Pacific Rim Drive or La Costa Avenue shall be heavily landscaped.

* Landscape screening of structures shall be incorporated to soften the view of these structures from Alga Road, Pacific Rim Drive, the Aviara Gold Course and La Costa Avenue. Proposed development on Lot 308 shall be colored to blend into the surrounding hillside and natural open space areas. Building materials shall be of natural earthen tones, including deep shades of green, brown or grey with no white or light shades and no bright tones, except for minor accents.

* The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.

* Views to and from the golf course, Alga Road, Pacific Rim Drive and La Costa Avenue shall be preserved.

* Existing trees identified during Site Development Plan review shall be preserved.

* A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan. All elements of the fire suppression plan, including the location of zone boundaries and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Landscape Guidelines" shall be the subject of future local coastal program amendments.

Street Trees:

"K" Street shall be planted with London Plane Tree (*Platanus acerifolia*).

Open Space:

The natural slopes of this planning area shall be maintained as natural open space. Maintenance of these areas shall be conducted by the community open space maintenance district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 14: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 20.9 acre planning area includes small lot single family detached homes. The area is located on the north side of Pacific Rim Drive across the street from the 1st hole of the golf course. Homes in this neighborhood will also overlook the golf course to the west and the east.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 14 shall conform to the standards of the PD Ordinance (Carlsbad Municipal Code, Chapter 21.45.090) unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 52 residential units. (2.5 DU/AC)

Private recreation facilities shall be required in this planning area.

PERMITTED USES:

Single family detached residential units are allowed in this planning area. Recreational facilities.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height allowed in this planning area is 24 feet. All heights shall be determined per Section 21.45.065 of the Carlsbad Municipal Code. A variation in one and two-story homes shall be required along Pacific Rim Drive.

Lot Size:

The minimum lot size for Planning Area 14 shall be 6,000 square feet. The minimum lot width shall be 60 feet except that lots located on knuckles or cul-de-sacs shall have a minimum width of 35 feet.

Setbacks:

All structures shall be setback a minimum of 30 feet from Pacific Rim Drive. The minimum rear yard setback shall be 15 feet (slope does not exceed 10%). All other setbacks shall conform to Section 21.45.090(b) of the Carlsbad Municipal Code. The distance between one story structures shall not be less than 10 feet. The distance between two story structures shall not be less than 20 feet. The distance between one story and two story structures shall not be less than 15 feet.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

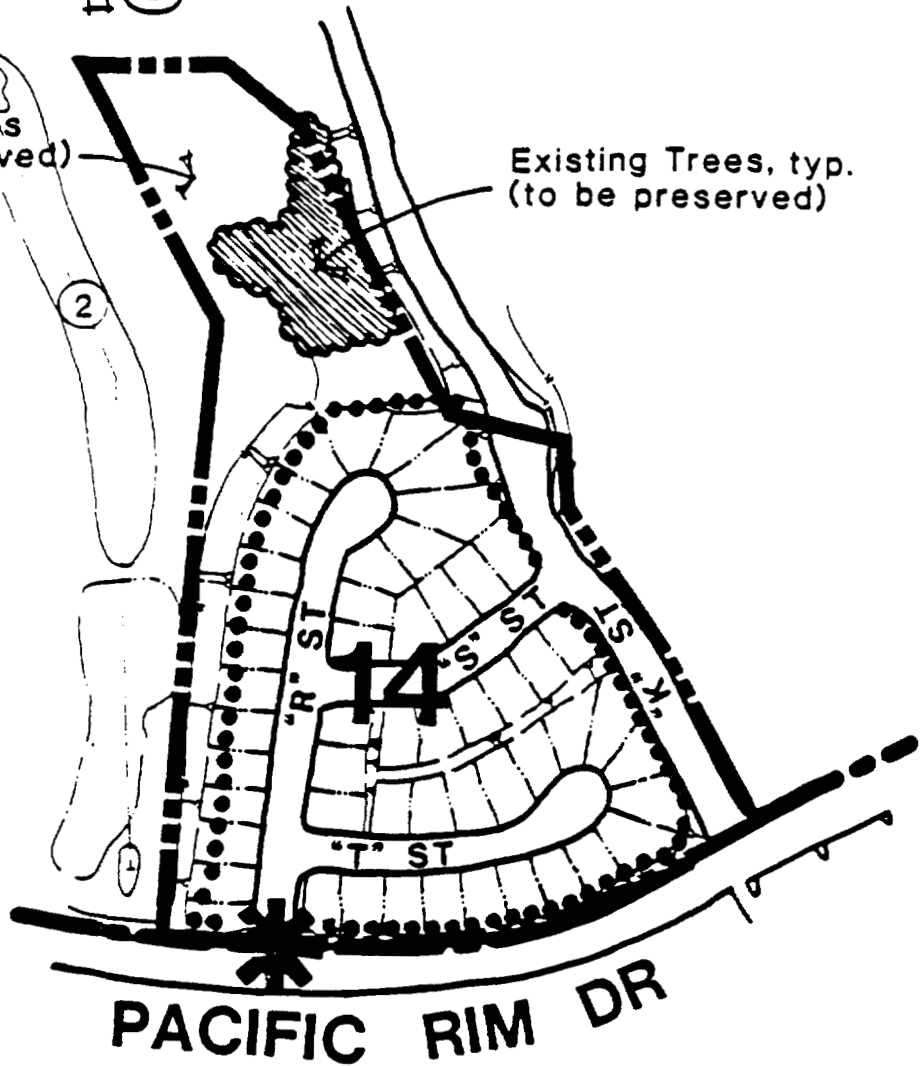
Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

13

Natural Slopes
(to be preserved)

Existing Trees, typ.
(to be preserved)



Legend



Entry Treatment

Wall/Fencing

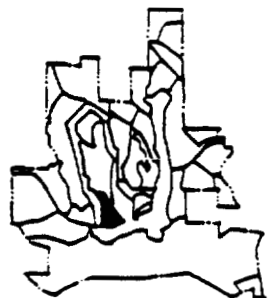
Trail



Scenic Point

View Orientation

Key Map



- * Special attention shall be given to incorporate the adjacent open space area and golf course as an amenity to the neighborhood.
- * Strong architectural relief features shall be incorporated into the structures visible from Pacific Rim Drive and La Costa Avenue.
- * As shown on the conceptual site plan for this planning area, the identified natural slopes and tree groves shall be preserved and maintained as open space.

Entry Treatment:

A neighborhood entry way shall be located at the westerly planning area entrance from Pacific Rim Drive.

Fencing:

Open fencing shall be located along the rear property lines of lots adjacent to the golf course and lots adjacent to the northerly natural open space area. Solid fencing shall be located at the rear lot lines of lots located along Pacific Rim Drive and "K" Street.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscaping shall be incorporated to screen all dwelling units from Pacific Rim Drive and La Costa Avenue.
- * Views to and from the golf course, lagoon, Pacific Rim Drive and La Costa Avenue shall be preserved.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monument, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees:

"K" Street adjacent to the planning area shall be planted with Queen Palm (*Arecastrum romanzoffianum*), Pacific Rim Drive shall be planted with Jacaranda (*Jacaranda acutifolia*).

Open Space:

The slope areas on the north, west and south edges of the planning area shall be maintained by the community open space maintenance district.

Trails:

The portion of the major community trail along the north side of Pacific Rim Drive located within this planning area shall be constructed as a condition of development.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 15: MULTI-FAMILY RESIDENTIAL

DESCRIPTION:

This 23.3 acre planning area provides for multi-family attached homes. The neighborhood is bounded on three sides by the 5th and 6th holes of the golf course. "J" Street provides site access on the southeasterly side of the planning area from Alga Road.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 15 shall conform to the development standards of the PD Ordinance (Carlsbad Municipal Code, Chapter 21.45.090) unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 192 multi-family residential units. (8.2 DU/AC)
Private recreation facilities shall be required in conjunction with the residential units.

PERMITTED USES:

Multi-family residential housing.
Recreational facilities.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area shall not exceed 30 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code.

Setbacks:

The minimum front yard setback shall be 20 feet measured from the property line for buildings and 20 feet measured from property line for open parking or garages. All structures shall be located a minimum of 20 feet from the top of slope adjacent to the golf course. A minimum building separation of 20 feet shall be maintained.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

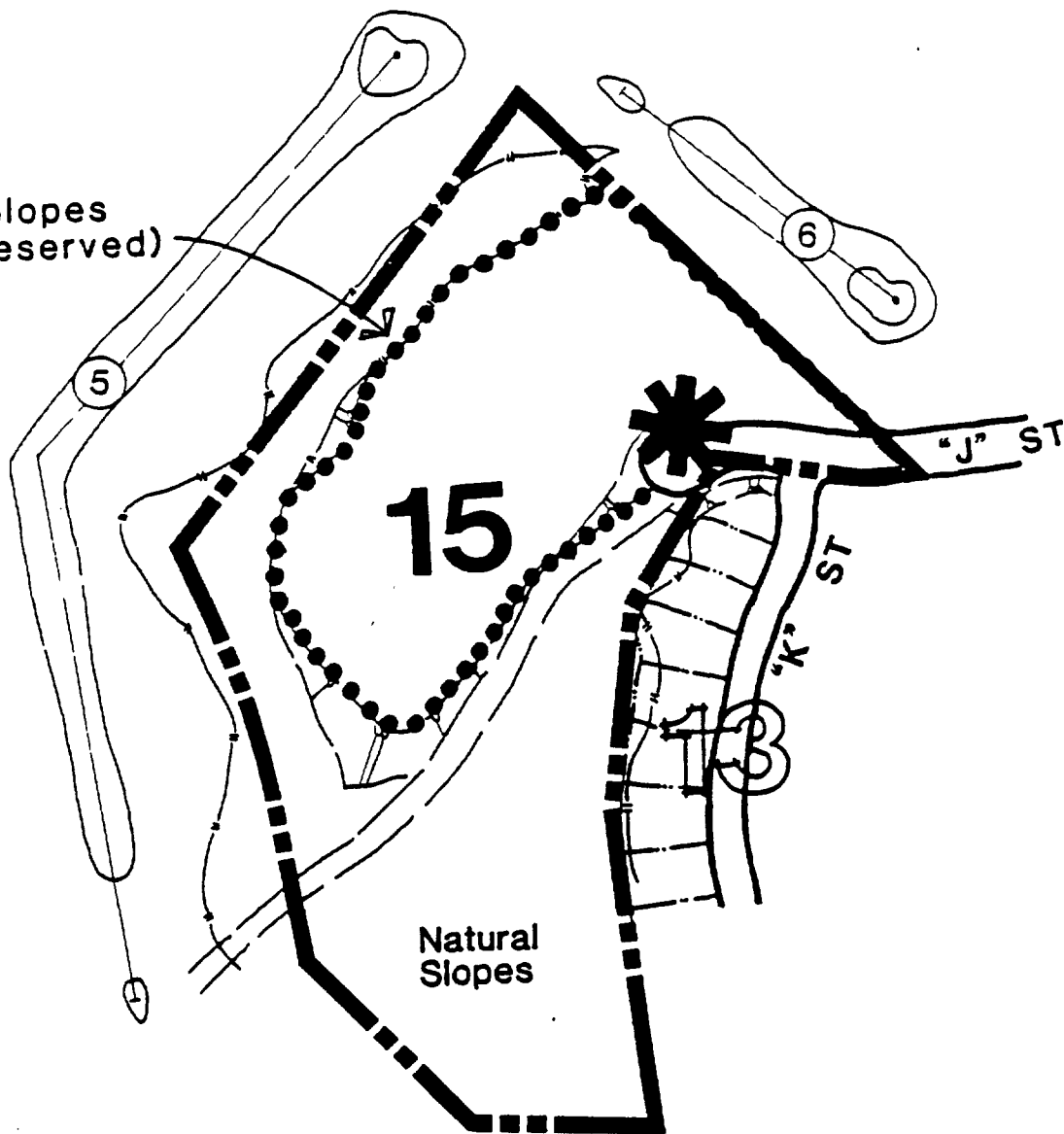
Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped building footprints.

Revised 2/7/95

Natural Slopes
(to be preserved)



Legend



Entry Treatment



Wall/Fencing



Trail



Scenic Point



View Orientation

Key Map



- Curvilinear streets shall be combined with varied structural setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Outdoor courtyards, patios and plazas shall be included.
- Special attention shall be given to incorporate the adjacent open space and golf course area as an amenity to the neighborhood.
- As shown on the conceptual site plan for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into all structures visible from Alga Road.

Entry Treatment:

A neighborhood entry way may be located along "J" Street.

Fencing:

If required as a result of a noise study, a noise attenuation structure, earthen berm, or combination of the two shall be required along the northeast planning area boundary which parallels Alga Road. The noise study shall be conducted prior to submittal of a Site Development Plan. An open fence shall be located at the top of the slope beginning at Alga Road and extending to "J" Street.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscaping shall be incorporated to screen all dwelling units from Alga Road and the golf course.
- * The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- * Views to and from the golf course and lagoon should be preserved.
- A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.
- * Special consideration shall be given to areas visible from Alga Road. Trees should be compatible with the Alga Road streetscape and golf course area.

- * Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.

Street Trees:

"J" Street shall be planted with Canary Island Pine (*Pinus canariensis*). London Plane Tree (*Platanus acerifolia*) shall be the support tree.

Open Space:

Common open space slope areas shall be maintained by the community open space maintenance district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 16: MULTI-FAMILY RESIDENTIAL

DESCRIPTION:

This 8.1 acre planning area provides for multi-family attached homes. This neighborhood located on the north side of Alga Road is bounded by the 16th hole of the golf course on the east side. The northern portion of the planning area including the 150 foot wide public utility corridor will be retained as natural open space.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 16 shall conform to the development standards of the PD Ordinance as described in Chapter 21.45.090 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 121 residential units. (14.9 DU/AC)

Private recreation facilities shall be required in conjunction with the residential units.

PERMITTED USES:

Multi-residential housing. Private recreation facilities shall also be included in this planning area.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height shall not exceed 35 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code. At least 50% of the structures in this Planning Area shall be no more than two stories in height. Where three story structures are proposed, adequate structural relief and roofline variation shall be incorporated into the structures to reduce mass.

Setbacks:

The minimum setback from the Alga Road right-of-way for structures shall be 50 feet and open parking shall be 30 feet. The minimum setback for parking and structures measured from the property line on "M" Street shall be 20 feet. A minimum building separation of 20 feet shall be maintained.

Parking:

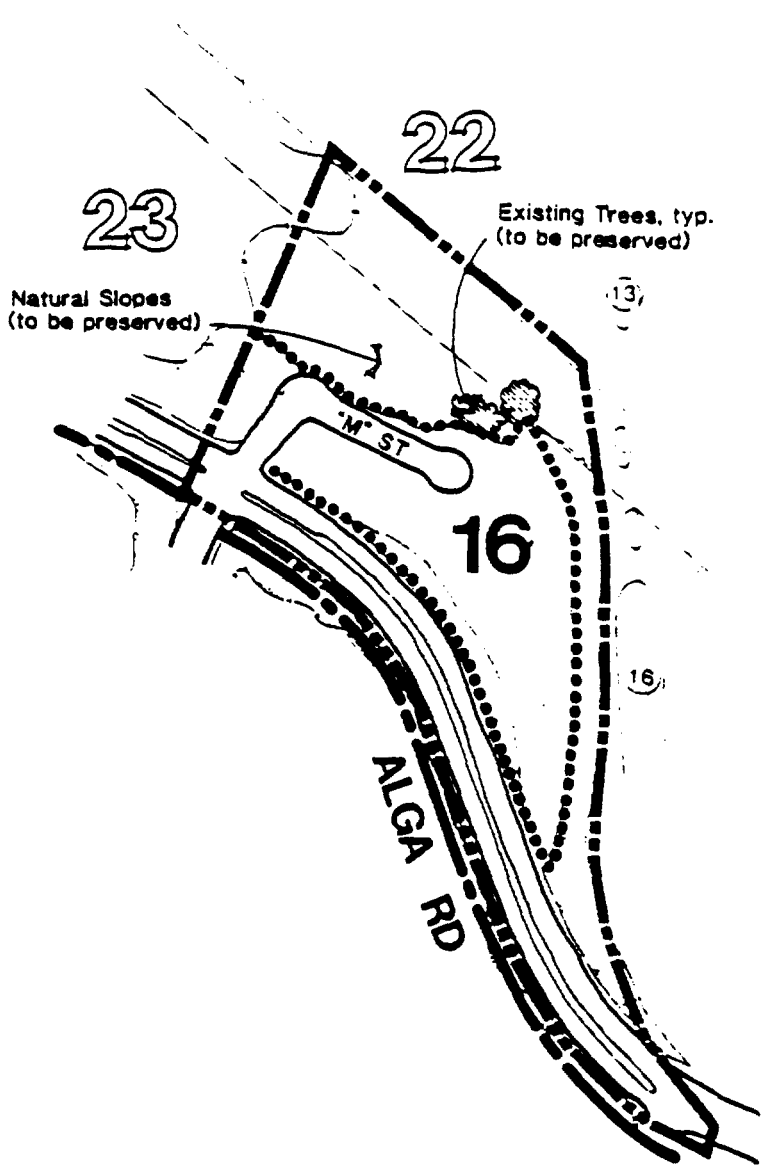
Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code. All open parking adjacent to Alga Road shall be adequately screened from the street.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area:

- * As shown on the conceptual site plan, the identified natural slopes and tree groves shall be preserved and maintained as open space.
- * Strong architectural features shall be incorporated into all structures visible from Alga Road.



Legend



Entry Treatment

Wall/Fencing

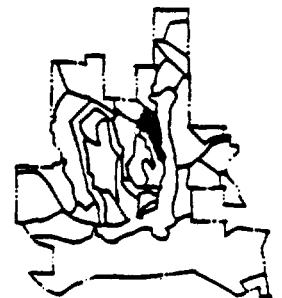
Trail



Scenic Point

View Orientation

Key Map



- Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped building footprints.
- * Curvilinear streets shall be combined with informal building sitings to strengthen the mediterranean hilltown appearance of the planning area.
- * Outdoor courtyards, patios and plazas shall be included.
- * Special attention shall be given to the incorporation of adjacent open space areas and the golf course as an amenity to the neighborhood.

Entry Treatment:

A neighborhood entry wall shall be located at the intersection of Alga Road and "M" Street.

Fencing:

If required as a result of a noise study which should be submitted during review of the site plan, a noise attenuation structure shall be required adjacent to the Alga Road frontage. The structure may consist of a masonry wall, earthen berm or combination of the two. If the noise attenuation structure is not required, an open fence shall be located along Alga Road. In addition, an open fence shall be placed at the top of the slope adjacent to the golf course and south of the public utility corridor.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscaping shall be incorporated to screen all structures from Alga Road and the golf course.
- * Views to and from the golf course, lagoon and Alga Road should be respected.
- Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
- * Existing trees identified during Site Development Plan review shall be preserved.
- Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.

- A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees:

The street tree style of this planning area shall be informal. The dominant tree shall be London Plane (*Platanus acerifolia*). The support tree may be either Canary Island Pine (*Pinus canariensis*) or another tree selected by the developer of the planning area.

Open Space:

The 150-foot wide public utility easement and a portion of planning area directly south of the easement shall be maintained as natural open space. The landscaped slope area adjacent to the golf course shall also be maintained as open space. These open space areas shall be maintained by the community open space maintenance district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 17: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 25.1 acre planning area includes single family detached homes. The neighborhood is bounded to the east by "A" Street and to the west by the 14th and 15th holes of the golf course. The boundary with Planning Area 21 to the northwest is buffered by a natural open space area.

DEVELOPMENT STANDARDS: R-1-7500

All development in Planning Area 17 shall conform to the development standards of the R-1-7500 One Family Residential Zone described in Chapter 21.10 unless otherwise stated in this chapter.

USE ALLOCATION:

Maximum of 40 single family residential units (1.6 DU/AC). Private recreation facilities are allowed in conjunction with the residential units.

PERMITTED USES:

Single family residential housing. Private recreation facilities may also be included in this planning area.

SITE DEVELOPMENT STANDARDS:

Height:

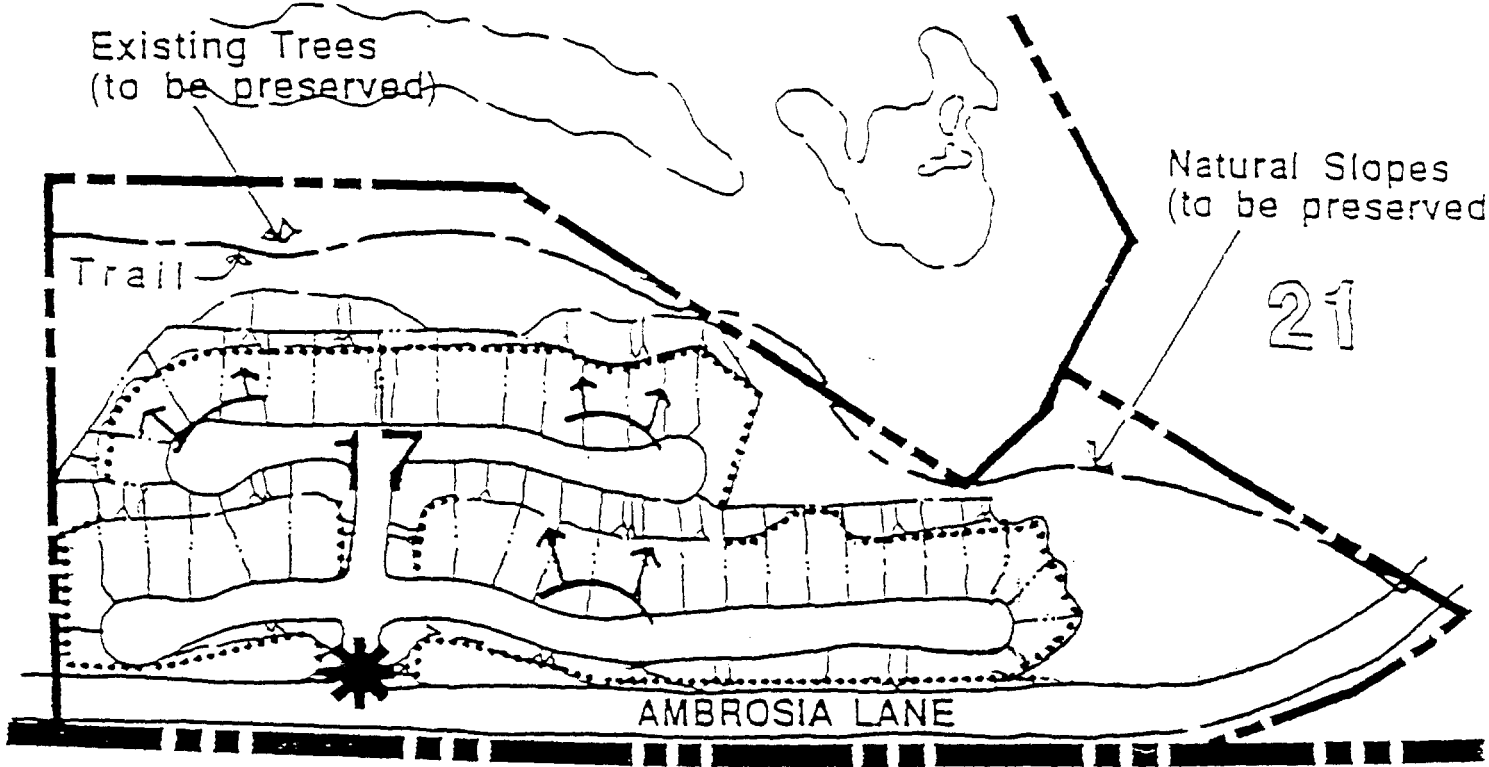
The maximum height is 30 feet as measured to the peak of the highest roof. At least 15% of the structures in this Planning Area shall be no more than one story and shall not exceed a height of 22 feet to the roof peak.

Setbacks:

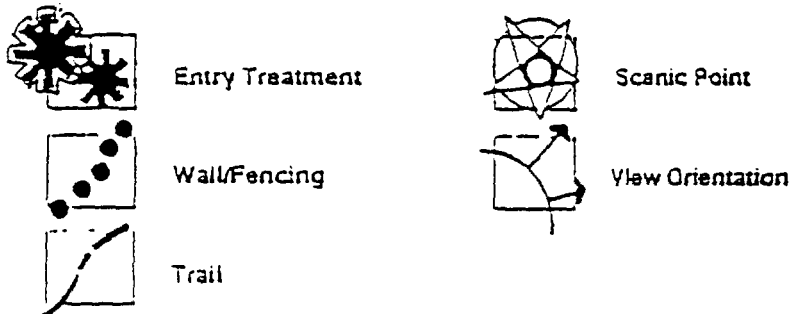
The setback along "A" Street shall be not less than 20 feet for all structures. The minimum front yard setback for structures along interior streets shall be not less than 20 feet. All structures shall be setback a minimum of 25 feet from the planning area boundary. All other setbacks shall be in conformance with Section 21.10 of the Carlsbad Municipal Code.

PARKING:

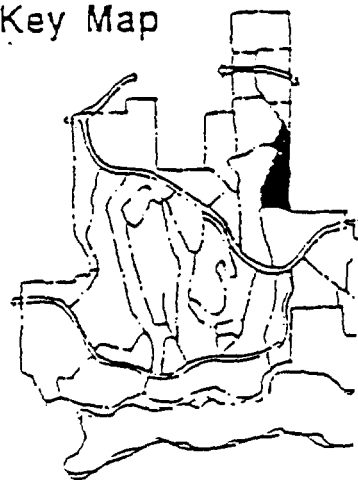
Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

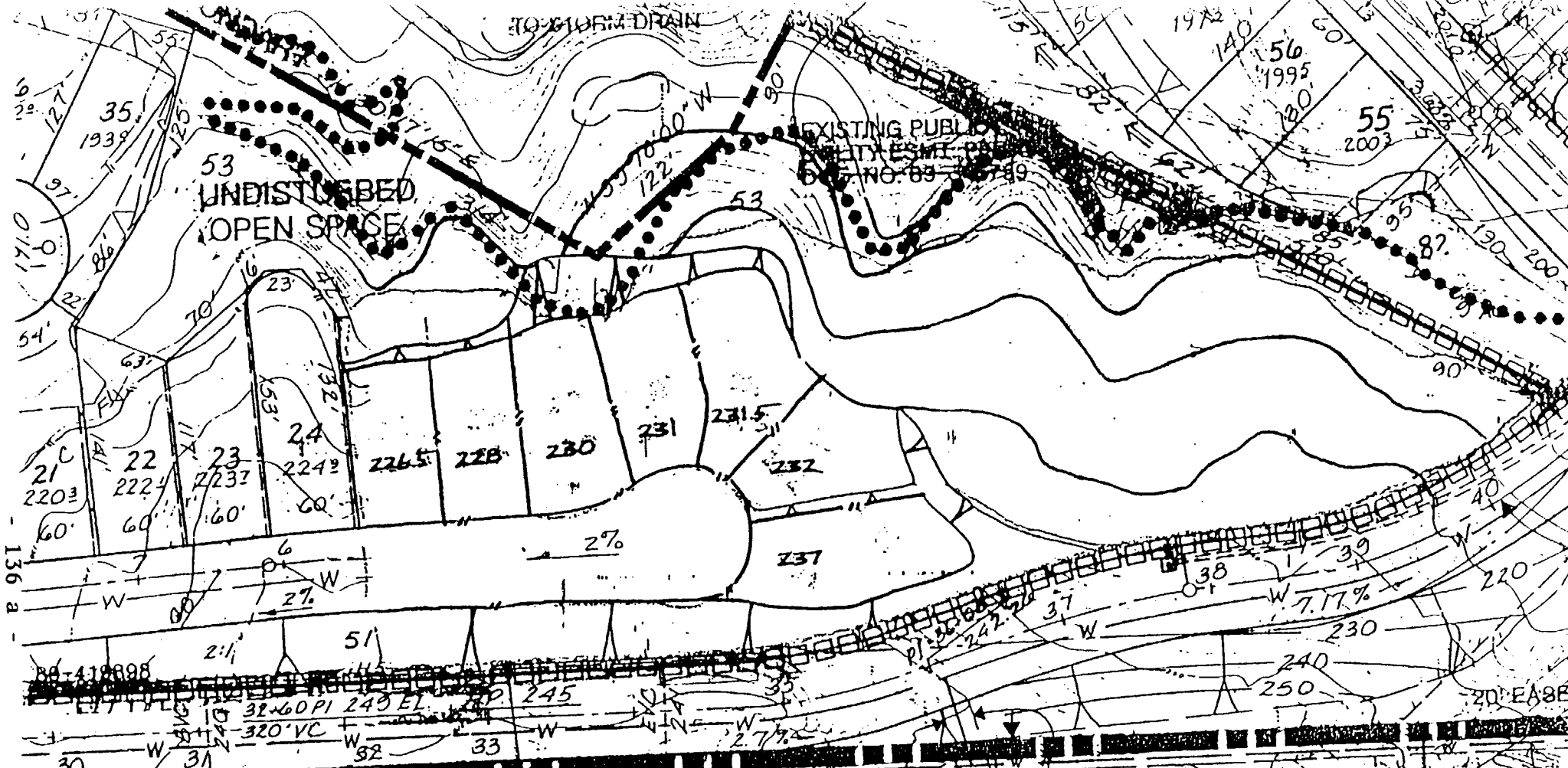


Legend



Key Map





EXISTING 10" ACP PER DWG. NO. 5547-14 (TO BE VACATED)

CENTER LINE OF EXISTING 30' PARK ACCESS & PUBLIC UTILITY EASEMENT PER DOC. NO. 89-345763 (TO BE VACATED)

EXISTING 20' WATER LINE EASEMENT

CONNECT TO EXISTING 10" ACP

SECTION SPACING

050-44

A.P.N. 215-050-47

A.P.N. 215-050-22

A.P.

EXHIBIT A

EXHIBIT NO. A
 APPLICATION NO. CA15646 LCPA-1-94
 0-94-25
 REVISION TO PA 17
 California Coastal Commission

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into all structures visible from "A" Street.
- * Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas.
- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Outdoor courtyards, patios and plazas should be included whenever possible.
- * Special attention shall be given to the incorporation of adjacent open space area and golf course as an amenity to the neighborhood.

Entry Treatment:

A neighborhood entry way shall be located along the "A" Street frontage.

Fencing:

An open fence shall be located at the top of slope in all developed areas adjacent to the golf course or other open space areas.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscaping shall be incorporated to screen all structures and parking facilities from "A" Street.
- * Views to and from the golf course and lagoon shall be preserved.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.

- * Existing trees identified during Master Tentative Map review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate a minimum 20' structural setback from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees

The dominant street tree in this planning area shall be Evergreen Pear (Pyrus kawakami) and Rusty Leaf Fig (Ficus rubiginosa) or another developer selection may be utilized as a support tree.

Open Space:

The manufactured slope areas shall be maintained as open space. Additional areas along the western boundary of the planning area shall be maintained as natural open space including eucalyptus groves located at the northwest and southwest corners of the planning area which may be thinned. A tree thinning plan shall be submitted to the Planning Director for approval. The above open space areas shall be maintained by the community open space maintenance district. A north-east trending open space wildlife corridor shall be maintained at the north-end of this Planning Area in conformance with the requirements of the Department of Fish and Game and the U.S. Fish and Wildlife Service to meet the goals and requirements of the Natural Communities Conservation Planning (NCCP) Program. This corridor shall also include a wildlife undercrossing beneath Ambrosia Lane to connect to Planning Area 18 open space.

Trails:

The portion of the major community trail located along the golf course within the planning area shall be constructed as a condition of development for this planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Tentative Map review.

PLANNING AREA 18: MULTI FAMILY RESIDENTIAL

DESCRIPTION:

This 24.9 acre planning area provides multi-family attached residential units. The neighborhood is bound to the north by Poinsettia Lane and to the southwest by "A" Street.

DEVELOPMENT STANDARDS: RD-M

All development in Planning Area 18 shall conform to the development standards of the RD-M Ordinance (Carlsbad Municipal Code, Chapter 21.24) unless otherwise stated in this chapter.

USE ALLOCATION:

335 multi-family residential units are allowed by the Growth Management Control Point (13.5 DU/AC). Private recreation facilities are required in conjunction with the residential units.

PERMITTED USES:

Multi-family residential housing
Recreational facilities.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height shall not exceed 35 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code. At least 50% of the structures in this Planning Area shall be no more than two stories in height. Where three story structures are proposed, no more than one-half of the structure shall be three stories in height.

Setbacks:

The minimum setback along the easterly planning area boundary shall be 50 feet fully landscaped for structures and open parking. The minimum building separation shall be 20 feet. The minimum setback from the public utility easement shall be 30 feet. All other setbacks shall be pursuant to minimums designated in Section 21.24 of the Carlsbad Municipal Code.

Parking:

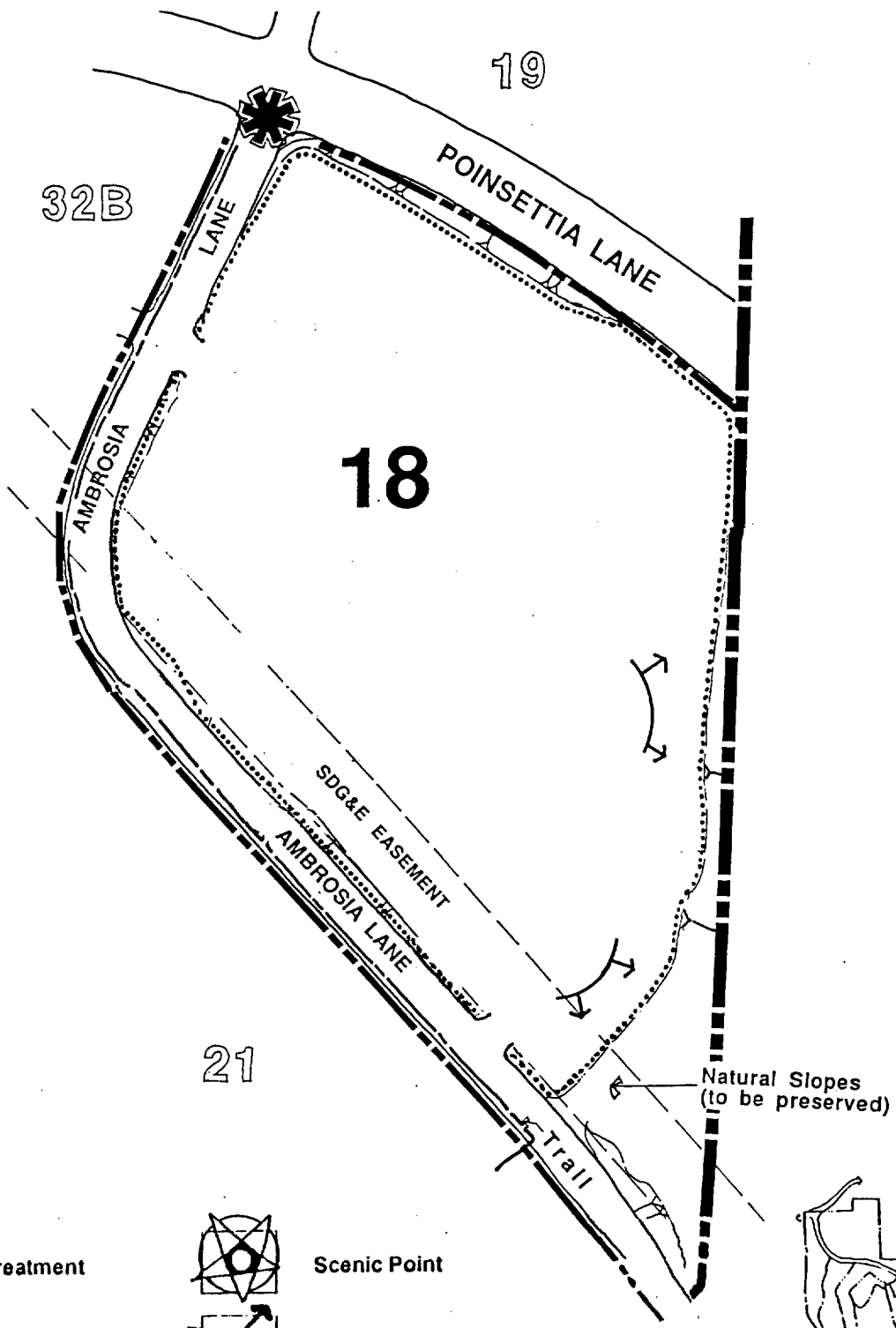
Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:


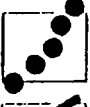



Design:

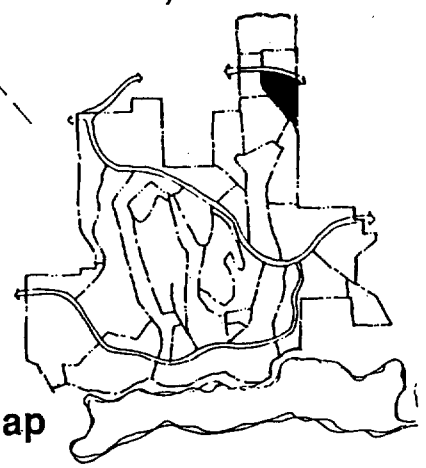
All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped building footprints.



Legend

-  Entry Treatment
-  Wall/Fencing
-  Trail
-  Scenic Point
-  View Orientation



Design Criteria - Planning Area 18

Exhibit V-19

- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Strong architectural relief features shall be incorporated into all structures visible from Poinsettia Lane.
- * Outdoor courtyards, patios and plazas shall be included.

Fencing:

An open fence shall be required along the easterly planning area boundary. A noise wall, the height and materials as determined through a noise study submitted with development plans, shall be located along the Poinsettia Lane frontage.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy of the homeowners.
- * Existing trees identified during Master Tentative Map review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the master Plan. All elements of the fire suppression plan, including the location of zone boundaries and selective thinning programs shall be subject to approval of the Planning Director. Any deviation from the "Fire Suppression Landscape Guidelines" shall be the subject of future local coastal program amendments.
- * Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces. Resident parking within the SDG&E easement shall be minimized.

- * Passive recreational uses may be allowed within the SDG&E easement. Active uses shall be avoided within this easement.
- * The northeast corner of the Planning Area at the intersection of Poinsettia Lane and Ambrosia Lane shall be richly landscaped.

Street Trees:

The tree style for this planning area shall be informal.

Open Space:

Manufactured slopes along the easterly planning area boundary shall be maintained as open space. This area shall be maintained by the community open space maintenance district.

Trails:

A portion of the major community trail system shall meander through the SDG&E easement from the south east to the north west portions of the planning area, and along the east side of Ambrosia Lane. The onsite sections of this trail shall be constructed as a condition of development for this planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Tentative Map review.

PLANNING AREA 19: MULTI FAMILY RESIDENTIAL

DESCRIPTION:

This 8.16 acre planning area includes multi-family attached residential units. The neighborhood is located on the northerly side of Poinsettia Lane along the easterly boundary of the Master Plan area. Pacific Rim Park of Planning Area 32 is adjacent to the west and north side of the planning area.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 19 shall conform to the development standards of the PD Ordinance (Carlsbad Municipal Code, Chapter 21.45.090) unless otherwise stated in this chapter.

USE ALLOCATION:

109 multi-family residential units are allowed by the Growth Management Control Point (11.7 DU/AC). 90 units are permitted to be constructed within Planning Area 19. Private recreation facilities are required in conjunction with the residential units.

PERMITTED USES:

Multi-family residential housing
Recreational facilities.

SITE DEVELOPMENT STANDARDS:

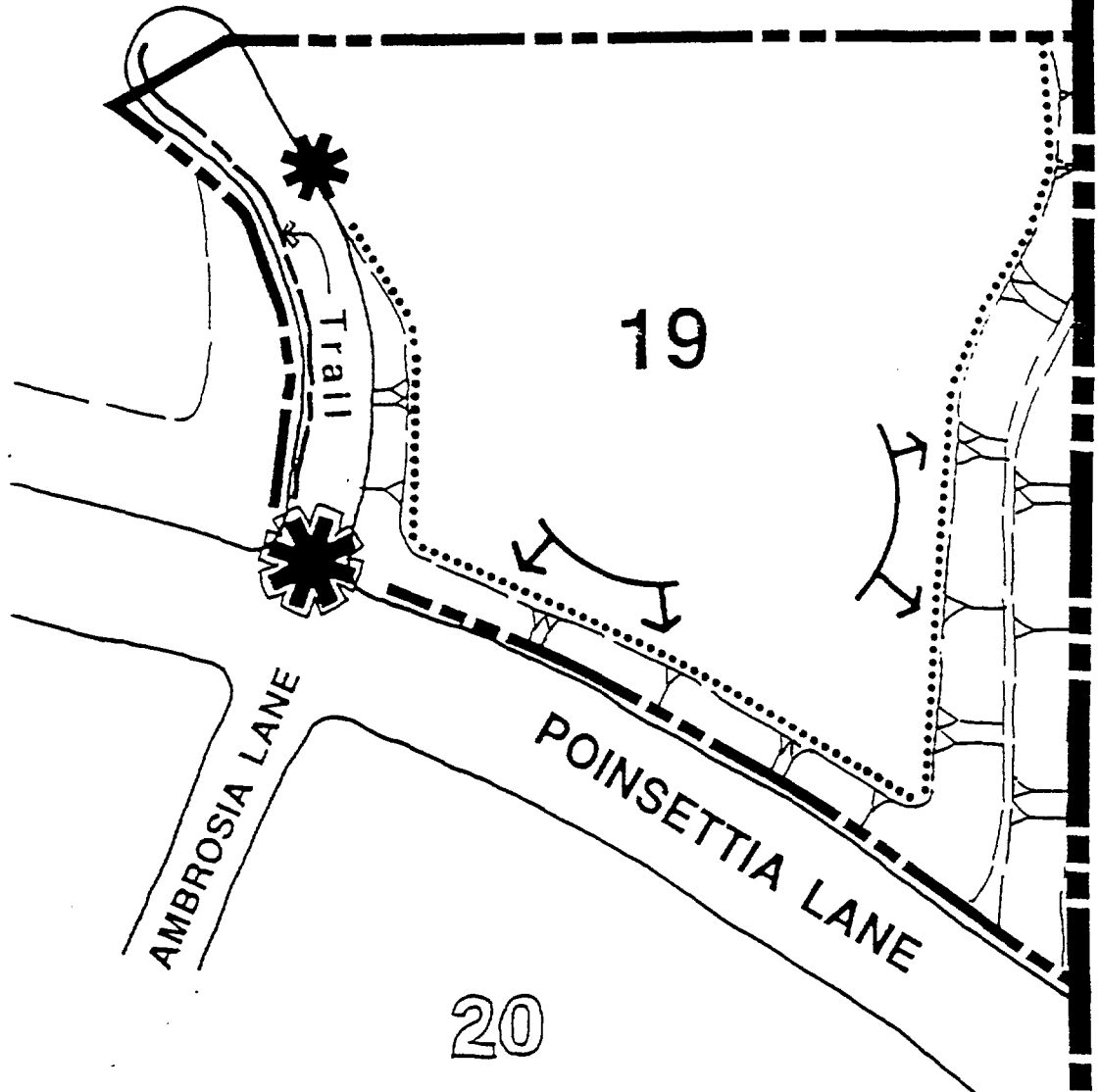
Height:

The maximum height in this planning area shall not exceed 30 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code. All of the structures in this Planning Area shall be no more than two stories in height.






Setbacks:

The minimum setback from the Poinsettia Lane right-of-way shall be 40 feet for structures and open parking. All open parking shall be fully screened from Poinsettia Lane. The minimum front yard setback along Ambrosia Lane shall be 20 feet for structures and 15 feet for open parking. No direct garage access shall be taken from Ambrosia Lane. Frontyard setbacks along the internal street are established as follows: 49% of the structure immediately adjacent to the street must maintain a minimum 20-foot front yard setback; the remaining 51% of the structure immediately adjacent to the street may have a 10-foot front yard setback if the garage is sideloaded per Exhibit V-20-A, dated 9/28/98. The setback off the courtyard driveway shall be a minimum 5-feet, also as demonstrated on Exhibit V-20-A. Garage court designs shall maintain a minimum 36-foot garage door to garage door separation. A minimum distance of 34 feet from livable space to livable space shall be maintained. The minimum setback along the easterly planning area boundary shall be 15 feet from the top of slope for structures and open parking. The minimum setback from the park shall be 30 feet. All undeveloped areas adjacent to the park shall be landscaped and well maintained. All open parking shall be screened from the park site and Poinsettia Lane. The minimum building separation shall be 20 feet.

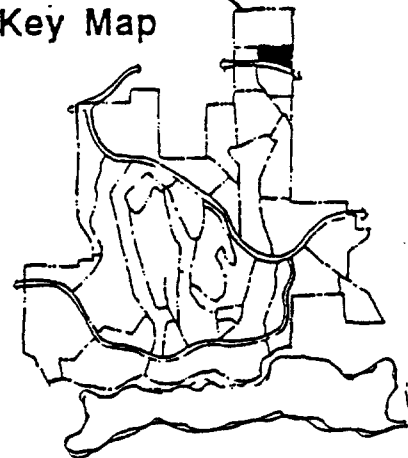
PARK SITE



Legend

- | | | | |
|---|-----------------|---|------------------|
|  | Entry Treatment |  | Scenic Point |
|  | Wall/Fencing |  | View Orientation |
|  | Trail | | |

Key Map



Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Strong architectural relief features shall be incorporated into all structures visible from Poinsettia Lane and the adjacent parkland.
- * Outdoor courtyards, patios, decks and plazas shall be included.
- * Special attention shall be given to incorporate the adjacent park areas as an amenity to the neighborhood.

Entry Treatment:

A major entry way shall be located at the intersection of Ambrosia Lane and the private internal street.

Fencing:

Traffic noise along Poinsettia Lane shall be attenuated if required through the incorporation of a solid masonry or view-thru noise wall, earthen berm or combination of the two. A solid fence or wall shall be located along the planning area boundary adjacent to the park site. A decorative solid fence or view-thru wall shall be located along the easterly planning area boundary.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Landscaping and berming shall be required to screen all structures and open parking from Poinsettia Lane, the adjacent park to the north and the adjacent property to the east.

- * Existing trees identified during Master Tentative Map review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees:

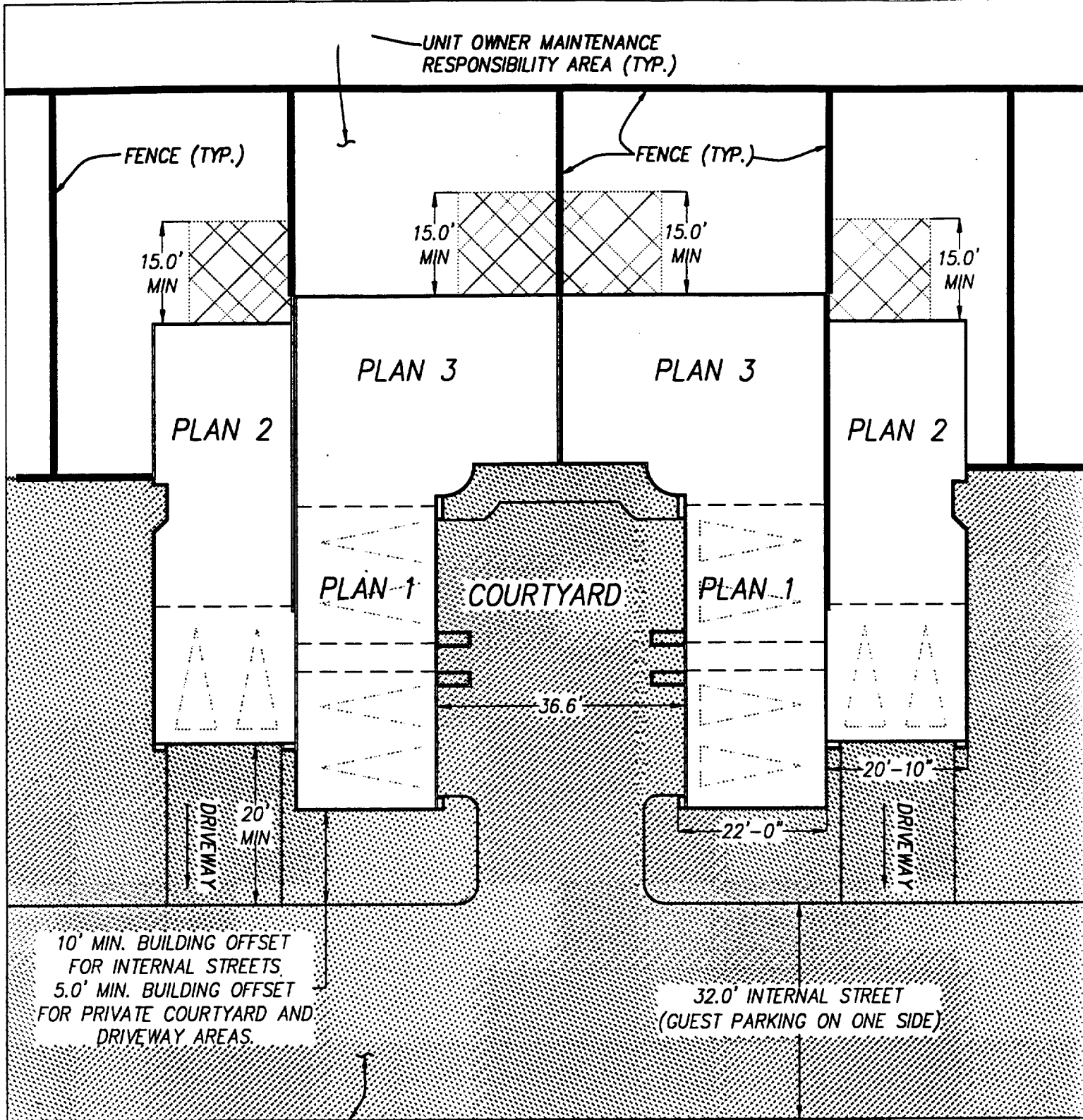
The dominant street tree along Poinsettia Lane shall be London Plane Tree (*Platanus acerifolius*) and the support tree shall be the Southern Magnolia (*Magnolia grandiflora*) or an alternate selected by the developer.

Open Space:

Manufactured slope areas shall be maintained by the community open space district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Tentative Map review.



LEGEND :

FENCE LINE

UNIT OWNER MAINTENANCE RESPONSIBILITY AREA

HOMEOWNER ASSOCIATION MAINTENANCE RESPONSIBILITY AREA



HOMEOWNER ASSOCIATION MAINTENANCE RESPONSIBILITY AREA (TYP.)

NOTE: THERE ARE NO INDIVIDUAL LOT LINES SEPARATING HOUSES; THE UNITS WILL BE AIR SPACE CONDOS.

CLUSTER AREA WILL SURFACE DRAIN OR USE ALTERNATIVE AREA DRAINS.

TYPICAL CLUSTER PLAN - 6 UNITS MAX

DESIGN CRITERIA - PLANNING AREA 19
MAINTENANCE RESPONSIBILITY

EXHIBIT
V-20-A
9/28/98

TRELLIS/PATIO COVER DESIGN GUIDELINES

The following are Design Guidelines/Standards for trellis and patio covers within Brindisi (PA 19) a part of Aviaria III. The purpose of the Design Guidelines is to permit the construction of Trellis and patio covers that are aesthetically pleasing and unobtrusive.

BASIC REQUIREMENTS:

1. All trellis and patio covers shall comply with the requirements of the Uniform Building Code.
2. Prior to the issuance of a building permit for trellis or patio covers, proof should be shown that the trellis/patio cover has been approved by the Homeowners' Association. Approval by the Homeowner's discretionary as outlined in the CC&R's (HOA letter and/or HOA stamp on plans).
3. A trellis/patio cover must be of color and design that is compatible with the dwelling unit.
4. Roofing materials for a patio cover must be the same or near the same style and color as the dwelling unit.
5. A trellis/patio cover must maintain all setback requirements as specified in the Aviaria Architectural Guidelines, Planned Development Ordinance or the Trellis/Patio Cover Design Guidelines; which ever is the most restrictive.
6. Trellis/patio covers are permitted only on the units specifically identified as allowing for trellis/patio covers per the trellis/patio cover exhibit.
7. Trellis/patio cover located on lots adjacent to permanent open space must be constructed of materials approved by the Fire Department.

SPECIFIC DEVELOPMENT STANDARDS:

1. A trellis/patio cover which meets the definition of "building" per Section 31.04.060 (has a roof and enclosed on all sides) must maintain a minimum distance of 10 feet from any adjoining dwelling unit or other trellis/patio cover post. A maximum of 2 feet overhang is allowed past the post.
2. A trellis/patio cover must maintain a minimum of 5 feet from a fence, sound wall or community wall.
3. A trellis/patio cover must maintain a minimum of 10 feet from the back of any sidewalk or private driveway.
4. No trellis/patio cover post or overhang may be located outside the identified coverage area.
5. A trellis/patio cover cannot be greater in height than 12 feet.
6. A trellis/patio cover cannot be greater in depth than 10 feet.
7. A trellis/patio cover cannot be greater than 16 feet in length, as measured from the outside of post to outside of post. A maximum of 2 feet overhang is allowed past the post.

PLANNING AREA 20: MULTI-FAMILY RESIDENTIAL

DESCRIPTION:

This 13.2 acre planning area includes multi-family residential units. The site is bounded by Poinsettia Lane to the north, "A" Street to the west and Planning Area 18 to the southeast. A 100 foot public utility easement is located on a portion of the planning area.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 20 shall conform to the development standards of the PD Ordinance (Carlsbad Municipal Code, Chapter 21.45.090) unless otherwise noted in this chapter.

USE ALLOCATION:

120 multi-family residential units are allowed by the Growth Management control Point (9.1 DU/AC). Private recreation facilities are required in conjunction with the residential units.

PERMITTED USES:

Multi-family residential housing.
Recreational facilities.

SITE DEVELOPMENT STANDARDS:

Height:

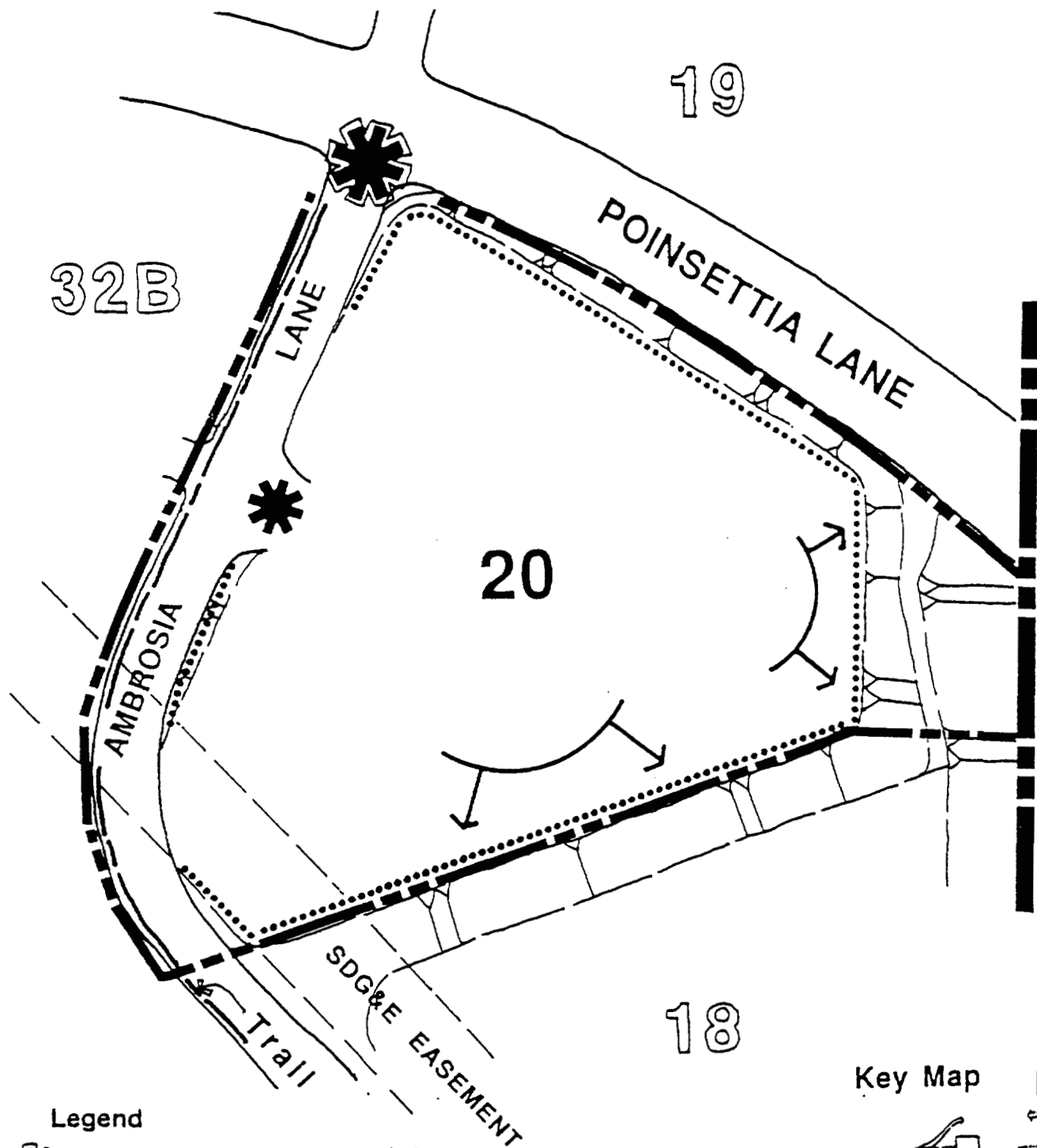
The maximum height in this planning area is 35 feet. All heights shall be determined per Section 21.04.065 of the Carlsbad Municipal Code. At least 50% of the structures in this Planning Area shall be no more than two stories in height. Where three story structures are proposed, no more than one-half of the structure shall be three stories in height.

Setbacks:






The minimum setback from "A" Street shall be 20 feet for structures and 15 feet for open parking. The minimum building setback from the Poinsettia Lane right-of-way shall be 40 feet. The minimum setback from public utility easement shall be 30 feet. Front yard setbacks from other streets and drives shall be in conformance with Section 21.45.090(b) of the Carlsbad Municipal Code. The minimum building separation shall be 20 feet.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.



Legend

- | | | | |
|---|-----------------|---|------------------|
|  | Entry Treatment |  | Scenic Point |
|  | Wall/Fencing |  | View Orientation |
|  | Trail | | |

Key Map



SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped building footprints.
- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Outdoor courtyards, patios and plazas shall be included.
- * As shown on the Special Design Criteria exhibit, the identified natural slopes shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into all structures visible from Poinsettia Lane and "A" Street.

Entry Treatment:

A major entry shall be located along the southerly side of Poinsettia Lane at the intersection of "A" Street.

Fencing:

An open fence shall be located along the southerly boundary. A solid wall shall be located along the Poinsettia Lane frontage.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscape screening of structures shall be incorporated to soften the view of these structures from "A" Street and Poinsettia Lane.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.
- * Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.

- * The northeast corner of the Planning Area at the intersection of Poinsettia Lane and "A" Street shall be richly landscaped.

Street Trees:

Street tree style shall be informal. The dominant tree shall be Southern Magnolia (*Magnolia grandiflora*). The support tree may be Flame Tree (*Brachychiton acerifolia*) or an alternative selected by the developer.

Trails:

A portion of the major community trail located along Poinsettia Lane is located within this planning area. A second major community trail shall consist of a meandering sidewalk along the easterly side of Ambrosia Lane from Poinsettia Lane to its connection with the SDG&E easement trail in the southwest corner of the planning area. The onsite portion of these trails shall be constructed as a condition of development for this planning area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Tentative Map review.

PLANNING AREA 21: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 30.4 acre planning area provides for single family detached homes. The neighborhood fronts on "A" Street to the north and east, and overlooks the 14th and 15th holes of golf course to the south.

DEVELOPMENT STANDARDS: R-1-7500

All development in Planning Area 21 shall conform to the development standards of the R-1-7500 Zone (Carlsbad Municipal Code, Chapter 21.10.010) unless otherwise noted in this chapter.

USE ALLOCATION:

82 single family residential units are allowed by the Growth Management control Point (2.7 DU/AC).

PERMITTED USES:

Single family residential housing.

SITE DEVELOPMENT STANDARDS:

Height:

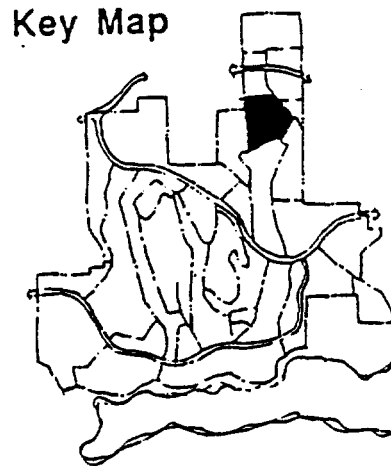
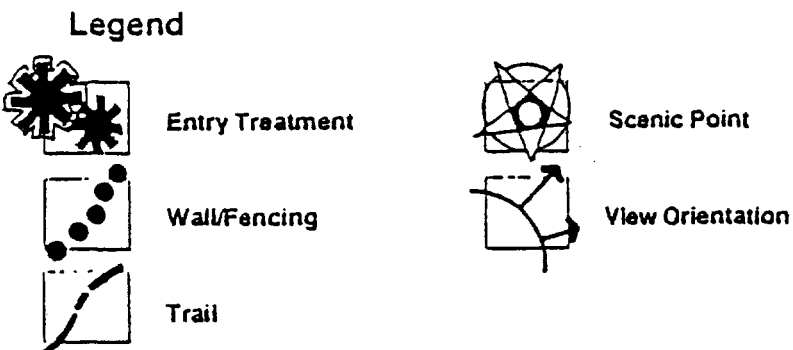
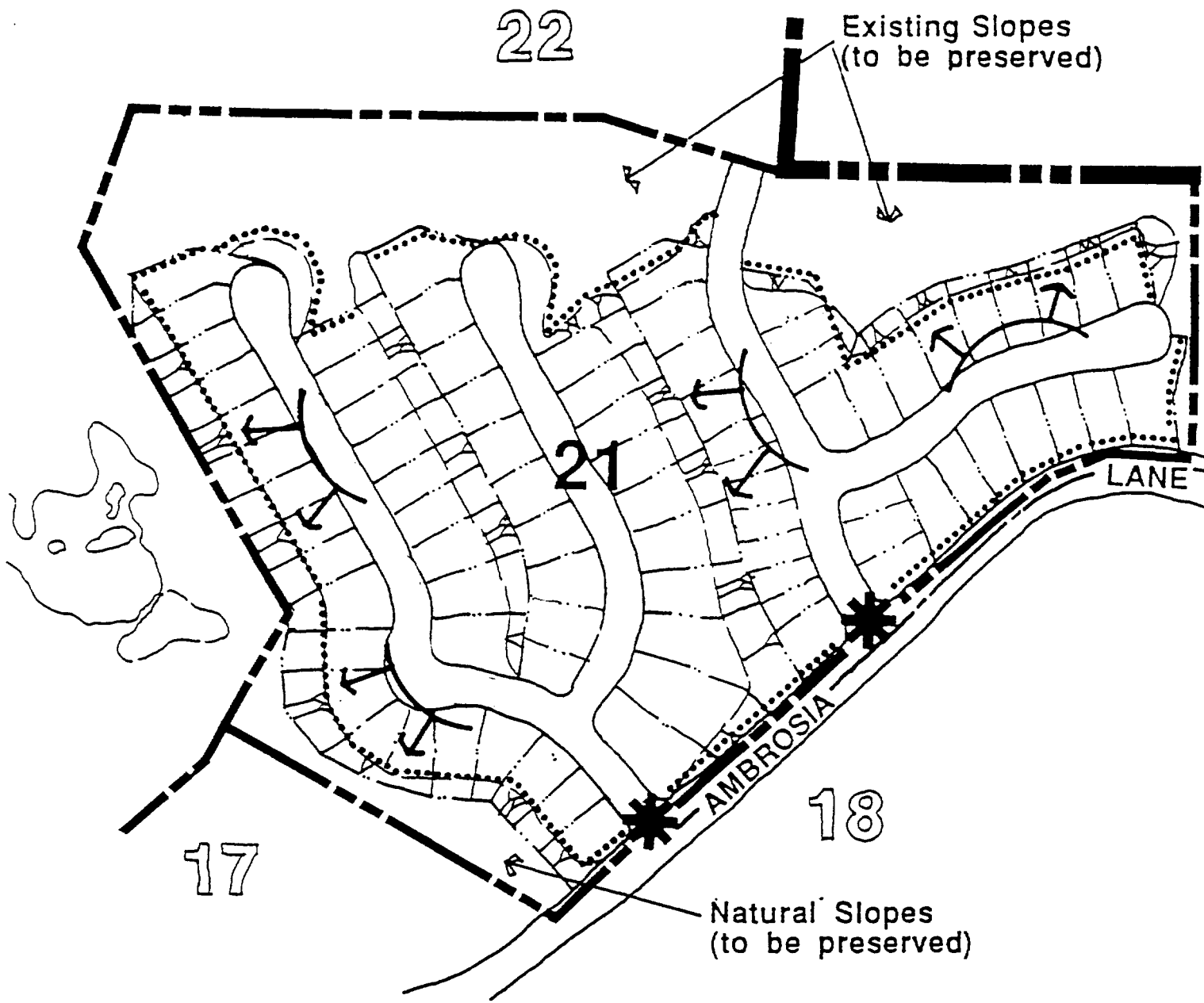
The maximum height is 30 feet measured to the peak of the highest roof. At least 15% of the structures in this Planning Area shall be no more than one story and shall not exceed a height of 22 feet to the roof peak.

Setbacks:

The minimum setback along "A" Street shall be 20 feet. The minimum setback from the golf course shall be 25 feet.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.



SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * Strong architectural relief features shall be incorporated into all structures visible from "A" Street and the golf course.
- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Special attention shall be given to the incorporation of adjacent open space areas as an amenity to the neighborhood.

Entry Treatment:

A neighborhood entry way may be located along "A" Street.

Fencing:

An open fence shall be required along the boundary with the golf course.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscape screening of structures shall be incorporated to soften the view of these structures from "A" Street and the golf course.
- * Views to and from the golf course and lagoon must be preserved.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate a minimum twenty (20) foot structural setback from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees:

Street tree style of this planning area shall be informal. The dominant tree shall be Southern Magnolia (*Magnolia grandiflora*). The support trees may include Flowering Plum (*Prunus cerasifera*). Rusty Leaf Fig (*Ficus rubiginosa*) or an alternative selected by the developer.

Open Space:

The manufactured slope areas shall be maintained as open space. The wooded area in the north of the planning area shall be maintained as natural space. Eucalyptus groves located in this area may be thinned. A tree thinning plan shall be submitted to the Planning Director for approval. The above noted open space areas shall be maintained by the community open space maintenance district.

Trails:

A portion of the major community trail which extends southward from Poinsettia Lane is located within this planning area. The trail segment which runs along the westerly edge of the major eucalyptus grove within the planning area and the segment within the public utility corridor which extends southward to the golf course shall be constructed as a condition of development for this planning area. Revision to the trail alignment within this segment may occur in consultation with the Dept. of Fish and Game and U.S. Fish and Wildlife Service, and shall conform to the western edge of the residential subdivision and extend south to the golf course.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Tentative Map review.

PLANNING AREA 22: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 21.6 acre planning area consists of single family residential homes. The neighborhood is bounded by the 13th hole of the golf course and "Y" Street to the east, and the Master Plan boundary to the west. To the south, the neighborhood is separated from Planning Area 16 and the neighborhood shopping center by a 150 foot wide public utility corridor.

DEVELOPMENT STANDARDS: R-1-7500

All development in Planning Area 22 shall conform to the development standards of the R-1-7500 one family residential zone described in Chapter 21.10.010 unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 9 single family residential units (0.4 DU/AC).

PERMITTED USES:

Single family residential housing.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area shall not exceed 30 feet measured to the peak of the highest roof. At least 15% of the structures in this Planning Area shall be no more than one story and shall not exceed a height of 22 feet to the roof peak.

Setbacks:

The minimum setback along "Y" Street shall be 20 feet. The minimum setback from the cul-de-sac street shall be 20 feet for structures and open parking and 20 feet for garages having direct street access. The minimum setback from the westerly planning area boundary shall be 50 feet. The minimum setback from the public utility corridor shall be 30 feet. All structures shall be setback 20 feet from the planning area boundary.

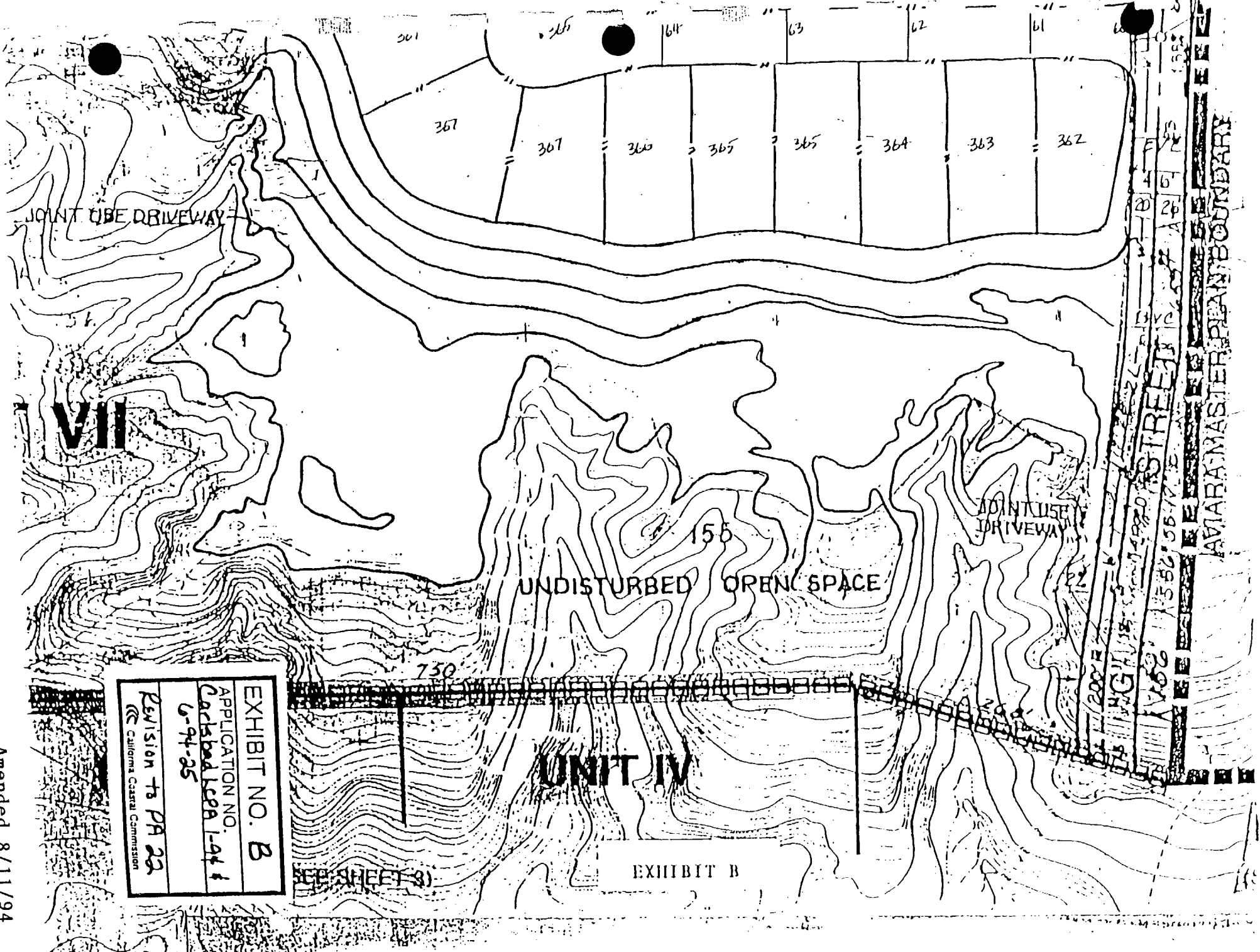
Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:



JOINT UBE DRIVEWAY

UNIT V

UNDISTURBED OPEN SPACE

155

ADNIT USE DRIVEWAY

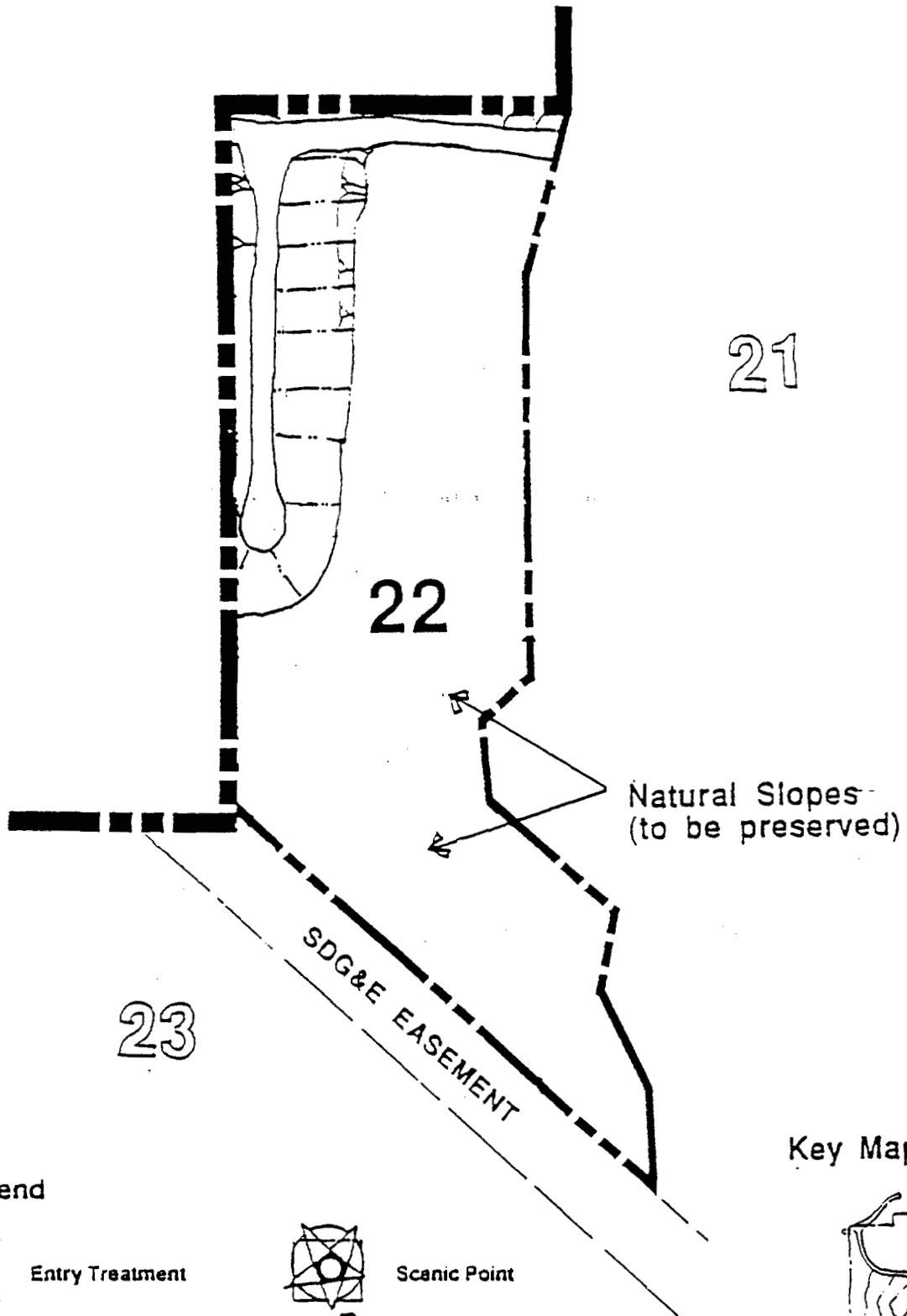
STREET

MASTER PLAN BOUNDARY

EXHIBIT NO. B
APPLICATION NO. Cachobal CPA 1944
Revision to PA 22 6-94-25
California Coastal Commission

SEE SHEET 2)

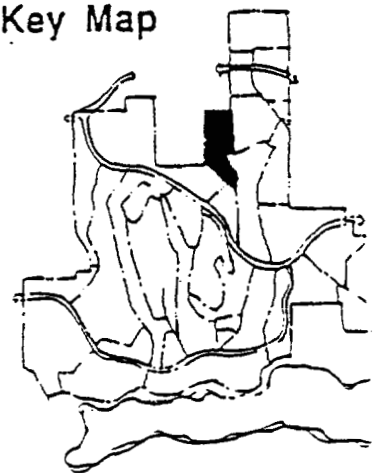
EXHIBIT B



Legend

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|--|-----------------|--|------------------|
| | Entry Treatment | | Scenic Point |
| | Wall/Fencing | | View Orientation |
| | Trail | | |

Key Map



- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes and canyons shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into all structures visible from property to the east and southeast.
- * Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped building footprints.
- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Outdoor courtyards, patios and plazas shall be included.
- * Special attention shall be given to the incorporation of adjacent open space areas and the golf course as an amenity to the neighborhood.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscape screening of structures shall be incorporated to soften the view of these structures from adjacent properties to the east, southeast and the golf course.
- * Views to and from the golf course and lagoon must be preserved.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
- * Existing trees identified during Master Tentative Map review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native/naturalized areas and structures. The fire suppression plan should incorporate a minimum twenty (20) foot structural setback from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.

Street Trees:

The dominant street tree in this neighborhood shall be the London Plane tree (Plantanius acerifolia). Support trees may include Canary Island Pine (Pinus canariensis). Flowering Plum (Prunus cerasifera) or an alternative selected by the developer.

Open Space:

The manufactured slope areas shall be maintained as open space. The large undeveloped areas, especially the slopes in the central, east and southeast portions of the planning area, shall be maintained as natural open space in conformance with the requirements of the Department of Fish and Game and the U.S. Fish and Wildlife Service to meet the goals and requirements of the Natural Communities Conservation Planning (NCCP) Program. The above noted open space areas shall be maintained by the community open space maintenance district. A wildlife undercrossing shall be constructed beneath the Planning Area 22 access road at the north end of the open space wildlife corridor.

Trails:

The portion of the major community trail which connects Poinsettia Lane and Alga Road is located within the planning area and shall be constructed as a condition of development for this planning area. Revision to the trail alignment within this segment may occur, in consultation with the Department of Fish and Game and U.S. Fish and Wildlife Service, to extend south to a connection with Alga Road and to avoid environmentally sensitive habitat areas.

Native Revegetation:

Biologically "degraded" areas within the PA 22 wildlife corridor shall be revegetated in coastal sage scrub and/or southern maritime chaparral as determined through a plan approved by the Department of Fish and Game and U.S. Fish and Wildlife Service prior to recordation of the final map for the residential subdivision of the Planning Area.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Master Tentative Map review.

PLANNING AREA 23: MULTI-FAMILY RESIDENTIAL

DESCRIPTION:

This 18.3 acre planning area is located near the center of the Master Plan on the north side of Alga Road.

DEVELOPMENT STANDARDS: PD

All development in Planning Area 23 shall conform to the development standards of the Planned Development Ordinance (Carlsbad Municipal Code, Chapter 21.45.090) unless otherwise noted in this Chapter.

USE ALLOCATION:

Maximum of 142 multi-family residential units (7.7 DU/AC). Private recreation facilities shall be required in conjunction with the residential units. A 2-acre community recreation vehicle storage facility.

PERMITTED USES:

Multi-family residential housing.
Recreational facilities.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area is 35 feet as determined by Section 21.04.065 of the Carlsbad Municipal Code. A minimum of 30 percent of all structures shall not exceed a height of 24 feet. Where three story structures are proposed, adequate structural relief and roofline variation shall be incorporated into the structures to reduce the mass.

Setbacks:

Minimum setback along Alga Road for structures shall be 50 feet. The minimum setback from the public utility easement shall be 30 feet. The minimum front yard setback shall be 20 feet measured from the property line for buildings and 20 feet measured from property line for open parking or garages. A minimum building separation of 20 feet shall be maintained.

Parking:

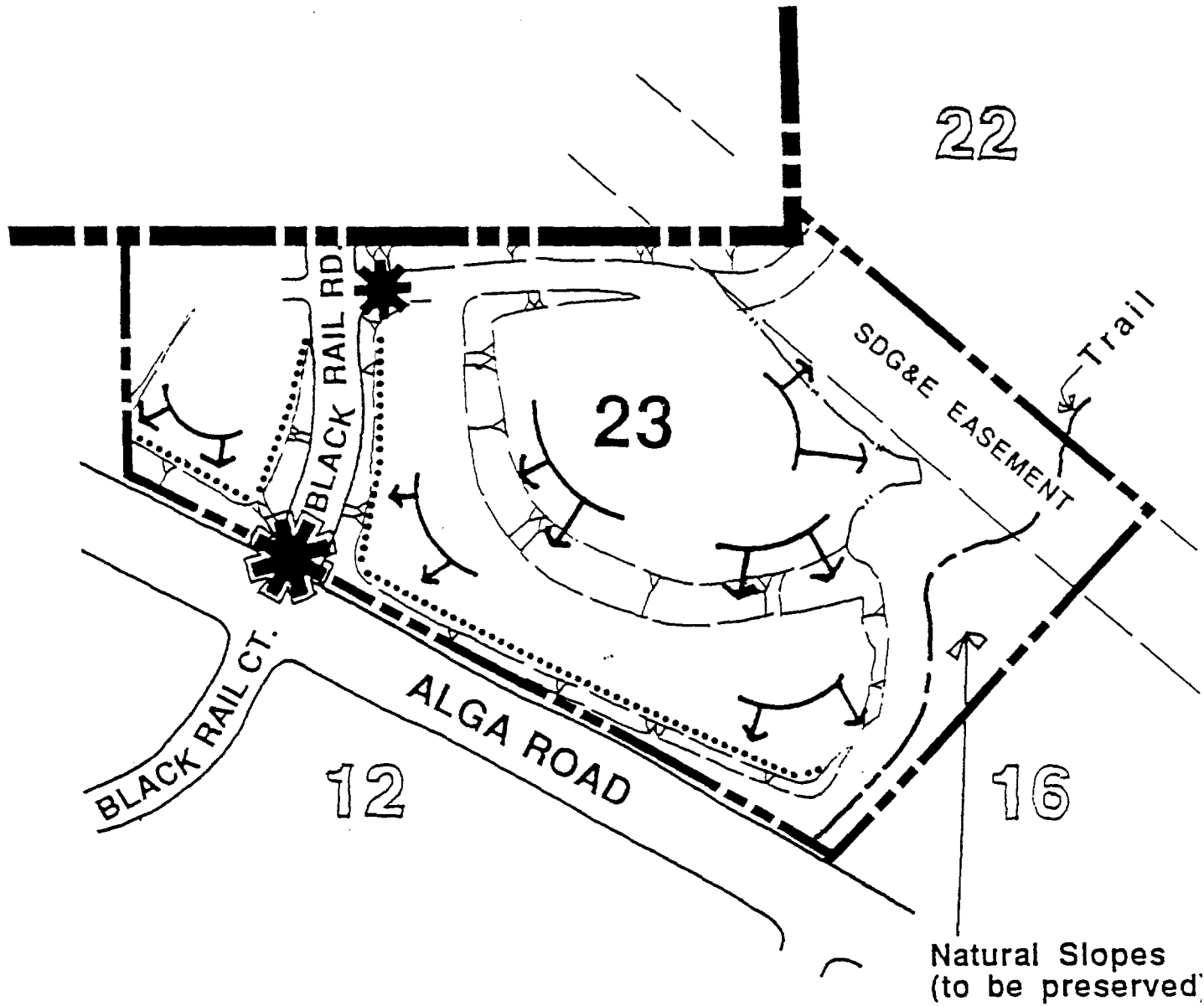
Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

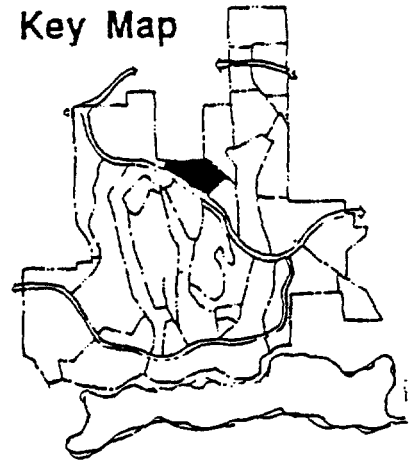
- The architecture of all buildings in this planning area shall be compatible with that of the hotel.



Legend

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|--|-----------------|--|------------------|
| | Entry Treatment | | Scenic Point |
| | Wall/Fencing | | View Orientation |
| | Trail | • Alignment of this trail has not been finalized | |

Key Map



- * Outdoor courtyards, patios and plazas shall be included.
- * A through public street shall be provided from Alga Road through PA 23 to the area north of PA 23.
- * The site layout for this Planning Area shall be coordinated to ensure compatibility with adjacent planning areas.
- * Strong architectural relief features shall be incorporated into all structures visible from Alga Road.

Entry Treatment:

A neighborhood entry may be located along each side of Black Rail Road.

Fencing:

If required as a result of a noise study, a noise attenuation structure, earthen berm, or combination of the two shall be required along Alga Road. The noise study shall be conducted prior to submittal of a Site Development Plan.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area.

- * The recreation vehicle storage facility shall be screened by a combination of fences and landscaping on all sides of the facility.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation subject to the approval of the Planning Director.
- * All setbacks shall be heavily landscaped.
- * Landscaping shall be incorporated to screen all dwelling units from Alga Road and the golf course.
- * The dominant unifying landscape elements for this planning area shall be preselected street trees. Common landscape areas and slopes shall be planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- * Views to and from the golf course and lagoon should be preserved.

Open Space:

The manufactured slopes of this planning area shall be maintained as open space by the community open space maintenance district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

Trails:

A portion of the community trail linking Alga Road and Poinsettia Lane is located along the easterly edge of the site. Construction of this trail shall be a condition of development for this planning area. Revision to the trail alignment in this segment may occur, in consultation with the Dept. of Fish and Game and U.S. Fish and Wildlife Service, to extend south to a connection with Alga Road and avoid environmentally sensitive habitat areas.

PLANNING AREA 24: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 54.6 acre planning area located at the northwest entrance to the Master Plan area will include single family detached homes. The intersection of Poinsettia Lane and Alga Road is located at the northwest corner of the planning area. A 150-foot wide public utility corridor is located in the northwest portion of this neighborhood.

DEVELOPMENT STANDARDS: R-1-7500

All development in this planning area shall conform to the development standards of the R-1 One-Family Residential Zone described in Chapter 21.10 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 120 residential units (2.1 DU/AC).

PERMITTED USES:

Single family detached residential units. Private recreation facilities are also allowed but are not required.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height allowed in this planning area is 30 feet as measured to the peak of the highest roof. At least 15% of the dwelling units shall be one story and shall not exceed a height of 22 feet to the peak of the roof.

Lot Size:

The minimum lot size shall be 7,500 square feet. The minimum lot width shall be 60 feet, except that lots which front on knuckles or cul-de-sacs shall have a minimum frontage pursuant to Chapter 20.16.016 of the Carlsbad Municipal Code. At least 15% of each lot shall be reserved for open space. This open space shall be located in the rear yard and shall not exceed a gradient of 5%.

Setbacks:

All dwelling units shall be setback a minimum of 50 feet from the Alga Road right-of-way and 50 feet from the Poinsettia Lane right-of-way. The standard front yard setback shall be 20 feet. In order to provide a variety of front yard setbacks, a minimum of 36 units shall have 24-foot setbacks. One story dwelling units with side loaded garages are permitted to have 15 foot setbacks subject to the following criteria:

- a.) No more than 33% of the lots in the planing area shall be permitted to contain a no-story, sided loaded garage with a 15 foot front yard setback.
- b.) Lots containing 15 foot yard setbacks and one-story side loaded garages should be dispersed throughout the planning area to visually enhance the streetscape. They should also be utilized on lots that are constrained by building pad length in order to create more usable area in the rear yard of the home.
- c.) One-story, side loaded garages, that have a 15 foot front yard setback area should be heavy landscaped with a combination of trees and shrubs to minimize potential visual impacts when the garages are viewed from the public street.

Amended 10/8/91
Amended 8/17/94

- d.) For every lot containing a reduced 15 foot front yard setback there should be an increase of 4 feet on a lot required to have a 20 foot front yard setback (i.e. if 33 lots contain 15 foot setbacks then 33 additional lots in the planning area should have 24 foot setbacks.

All other setbacks shall be pursuant to Chapter 21.10 of the Carlsbad Municipal Code. All dwelling units shall be setback a minimum of 30 feet from the SDG&E easement. All dwelling units shall be located a minimum of 25 feet from the westerly planning area boundary.

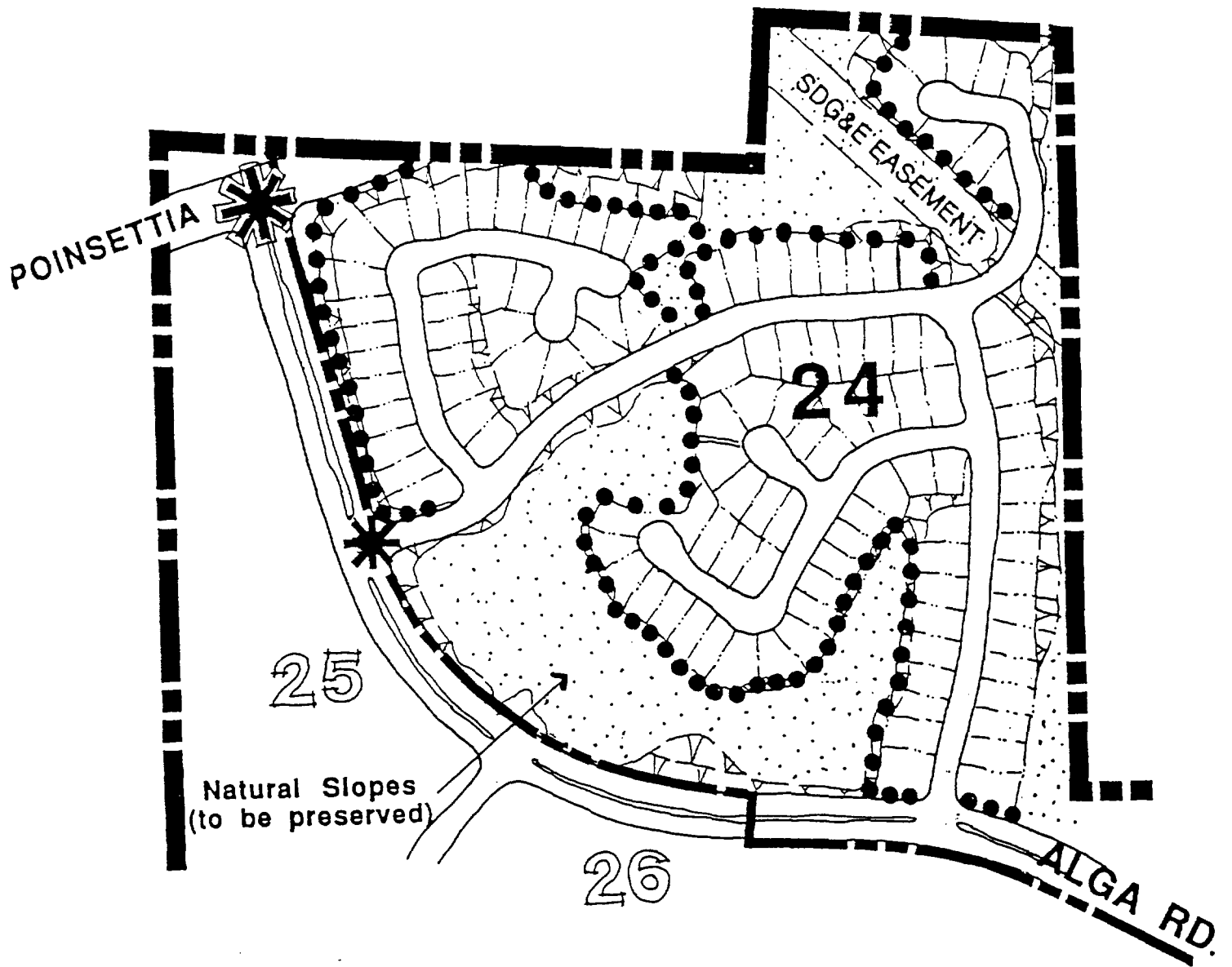
Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:



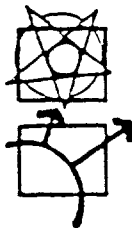
Legend



Entry Treatment

Wall/Fencing

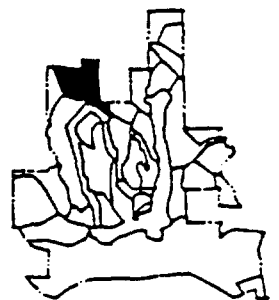
Trail



Scenic Point

View Orientation

Key Map



- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into structures visible from Poinsettia Lane, Alga Road and adjacent property to the north and east.

Entry Treatment:

A community entry feature shall be located along Alga Road at the Poinsettia Lane intersection. In addition, a neighborhood entry way may be located at the intersection of "W" street and Alga Road.

Fencing:

If required as a result of a noise study, a noise attenuation structure shall be required where residential lots are located adjacent to Alga Road and/or Poinsettia Lane. The structure may consist of a masonry wall, earthen berm or combination of the two. The noise study shall be conducted prior to submittal of the site Development Plan for this Planning Area. If the noise attenuation structure is not required in any of these areas, a decorative solid 6-foot fence or wall shall be required. In either case a solid fence or wall shall begin at the intersection of Poinsettia Lane and the northerly Planning Area boundary and extend along all portions of the northerly and easterly planning area boundaries where adjacent development exists. In addition, a solid or open fence shall be required along the rear yards of all lots located adjacent to the natural open space on the north side of Alga Road. Open fences shall extend along each side of the public utility corridor within the planning area. These walls and fences shall be designed to incorporate landscaped popouts/insets and other relief features.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.

Views to and from the golf course, lagoon, Poinsettia Lane and Alga Road shall be preserved.

- * Landscape screening of structures shall be incorporated to soften the view of these structures from Poinsettia Lane, Alga Road and adjacent properties to the north and east.
- * Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas

and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan. All elements of the fire suppression plan, including the location of zone boundaries, and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Guidelines" shall be the subject of future local coastal program amendments.

Street Trees:

The dominant street tree in Planning Area 24 shall be Canary Island Pine (*Pinus canariensis*). Support trees may include Southern Magnolia (*Magnolia grandiflora*), Hong Kong Orchid Tree (*Bauhinia blakeana*), American Sweetgum (*Liquidambar styraciflora*), or an alternative selected by the developer.

Open Space:

All manufactured slopes shall be maintained as open space. The undeveloped areas located in this planning area shall be maintained as natural open space. Use of the public utility corridor as a passive recreation areas is encouraged. All open space areas described above shall be maintained by the community open space maintenance district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into structures visible from Poinsettia Lane, Alga Road and adjacent property to the north and east.

Entry Treatment:

A community entry feature shall be located along Alga Road at the Poinsettia Lane intersection. In addition, a neighborhood entry way may be located at the intersection of "W" street and Alga Road.

Fencing:

If required as a result of a noise study, a noise attenuation structure shall be required where residential lots are located adjacent to Alga Road and/or Poinsettia Lane. The structure may consist of a masonry wall, earthen berm or combination of the two. The noise study shall be conducted prior to submittal of the site Development Plan for this Planning Area. If the noise attenuation structure is not required in any of these areas, a decorative solid 6-foot fence or wall shall be required. In either case a solid fence or wall shall begin at the intersection of Poinsettia Lane and the northerly Planning Area boundary and extend along all portions of the northerly and easterly planning area boundaries where adjacent development exists. In addition, a solid or open fence shall be required along the rear yards of all lots located adjacent to the natural open space on the north side of Alga Road. Open fences shall extend along each side of the public utility corridor within the planning area. These walls and fences shall be designed to incorporate landscaped popouts/insets and other relief features.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- Views to and from the golf course, lagoon, Poinsettia Lane and Alga Road shall be preserved.
- * Landscape screening of structures shall be incorporated to soften the view of these structures from Poinsettia Lane, Alga Road and adjacent properties to the north and east.
 - * Landscaping adjacent to the public utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
 - * Existing trees identified during Site Development Plan review shall be preserved.
 - * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas

PLANNING AREA 25: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 28.4 acre planning area provides for single family detached homes. The neighborhood is located along Alga Road in the northwest corner of the Master Plan area between Poinsettia Land and "N" Street.

DEVELOPMENT STANDARDS: R-1-7500

All development in this planning area shall conform to the standards of the R-1 One-Family Residential Zone described in Chapter 21.10 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 37 residential units (1.30 DU/AC). Private recreation facilities in conjunction with the residential units.

PERMITTED USES:

Single family detached residential units. Private recreation facilities are also allowed but are not required.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height allowed in this planning area is 30 feet as measured to the peak of the highest roof. At least 15% of the dwelling units shall be no more than 1 story (22 feet measured to the peak of the roof).

Lot Size:

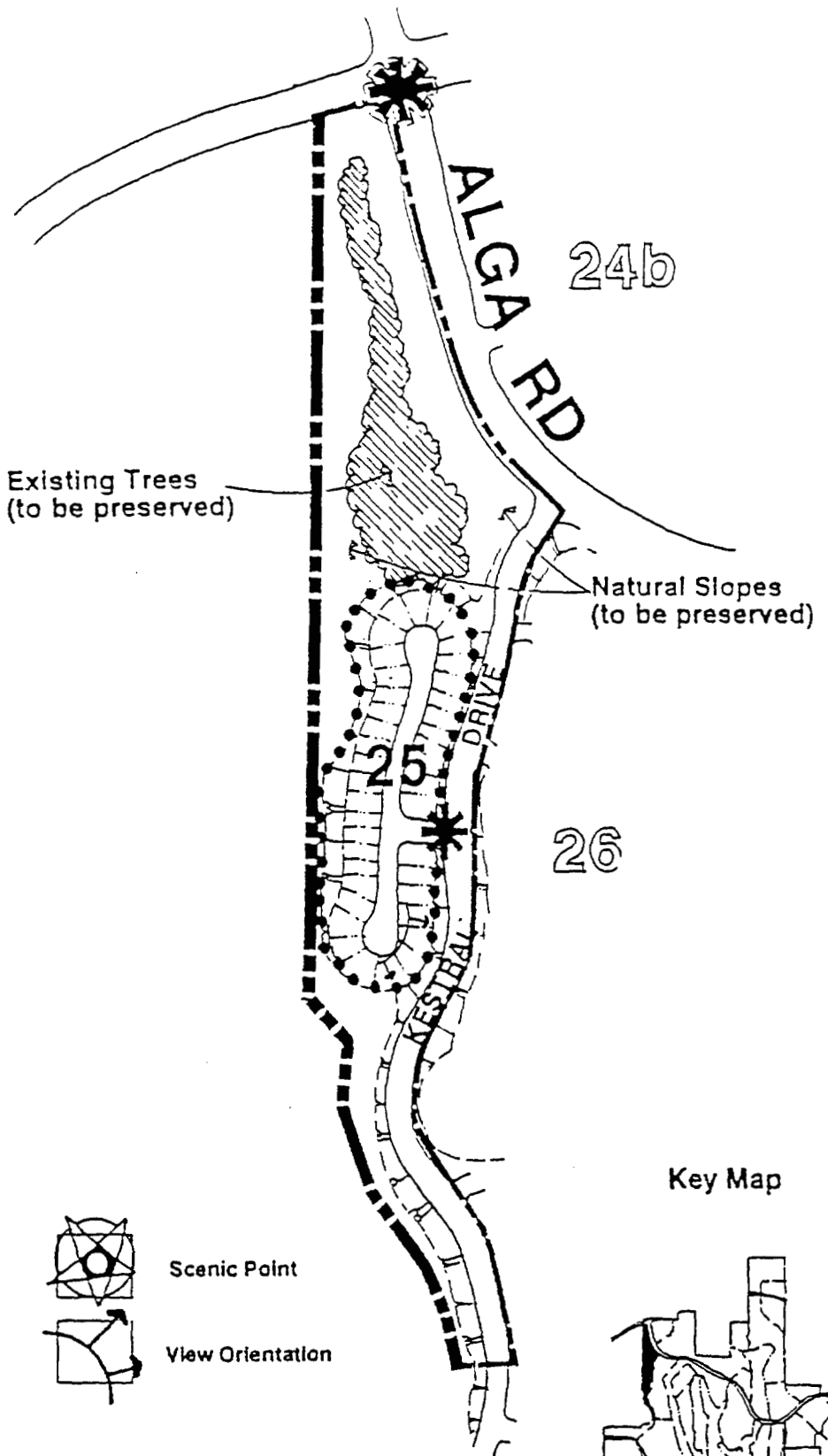
The minimum lot size shall be 7,500 square feet. The minimum lot width shall be 60 feet except those lots which front on knuckles or cul-de-sacs, shall have a minimum frontage pursuant to the Carlsbad Municipal Code, Chapter 20.16.016. At least 15% of each lot shall be reserved for open space. This open space shall be located in the rear yard and shall not exceed a gradient of 5%.

Setbacks:




All dwelling units shall be setback a minimum of 50 feet from the Alga Road right-of-way and 50 feet from Poinsettia Lane. The standard front yard setback shall be 20 feet. In order to provide a variety of front yard setbacks, a minimum of 12 units shall have a 24-foot setback. All structures shall be setback a minimum of 25 feet from the westerly planning area boundary. All structures shall be set back a minimum of 25 feet from "N" Street. All other setbacks shall be pursuant to Chapter 20.10 of the Carlsbad Municipal Code.



Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

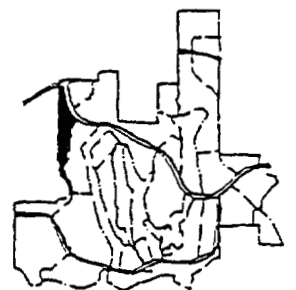


Legend

-  Entry Treatment
-  Wall/Fencing
-  Trail

-  Scenic Point
-  View Orientation

Key Map



SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into structures visible from Poinsettia Lane, Alga Road and adjacent property to the west.
- * Prior to the issuance of building permits, structural elevations shall be submitted for review and approval by the Planning Director.

Entry Treatment:

A community entry feature shall be located along "N" Street.

Fencing:

If required as a result of a noise study, a noise attenuation structure shall be required where residential lots are located adjacent to Alga Road and Poinsettia Lane. The structure may consist of a masonry wall, earthen berm or combination of the two. The noise attenuation study shall be conducted prior to tentative map submittal. If the noise attenuation structure is not required, a decorative solid 6 - foot wall or fence shall be required along the rear lot lines of lots adjacent to and "N" Street. A solid fence shall also be located to the west of lots located near the westerly planning area boundary. These fences shall be designed to incorporate landscaped popouts/insets and other relief features.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * The dominant unifying landscape elements for this planning area shall be pre-selected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- * Landscape screening of structures shall be incorporated to soften the view of these structures from Poinsettia Lane, Alga Road and adjacent properties to the west of the planning area.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Existing trees identified during Site Development Plan review shall be preserved.

- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshal shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan. All elements of the fire suppression plan, including the location of zone boundaries, and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Guidelines" shall be the subject of future local coastal program amendments.

Street Trees:

The style of street trees in this planning area shall be informal. The dominant street tree style shall be American Sweetgum (*Liquidambar styraciflora*). Support trees may include Canary Island Pine (*Pinus canariensis*), Hong Kong Orchid Tree (*Bauhinia blakeana*) or an alternative selection by the developer.

Trails:

The portion of the major community trail located along Alga Road within the planning area shall be constructed as a condition of development.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 26: SINGLE-FAMILY RESIDENTIAL

DESCRIPTION:

This 78.4 acre planning area provides for single family detached homes. The neighborhood is bounded to the west by "N" Street, to the north by Alga Road and to the east by the 3rd, 4th and 5th holes of the golf course.

DEVELOPMENT STANDARDS: R-1-7500

All development in Planning Area 26 shall conform to the development standards of the R-1 Zone (Carlsbad Municipal Code, Chapter 21.10) unless otherwise noted in this chapter.

USE ALLOCATION:

185 single-family residential units are allowed. (2.35 DU/AC).

PERMITTED USES:

The following uses are allowed within this planning area: single-family detached residential units along with passive and active recreation areas. Duplex units are expressly prohibited.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area shall not exceed 30 feet as measured to the peak of the highest roof. At least 15% of the dwelling units have no more than 1 story (22 feet measured to the peak of the roof).

Setbacks:

To encourage a variety of front yard setbacks, the minimum setback shall be 20 feet with at least 37 of the units having a 24-foot front yard setback and being dispersed throughout the planning area. All dwelling units shall be setback a minimum of 50 feet from Alga Road and Batiquitos Drive and 15 feet from Kestral Drive. All other setbacks shall be pursuant to Chapter 21.10 of the Carlsbad Municipal Code.

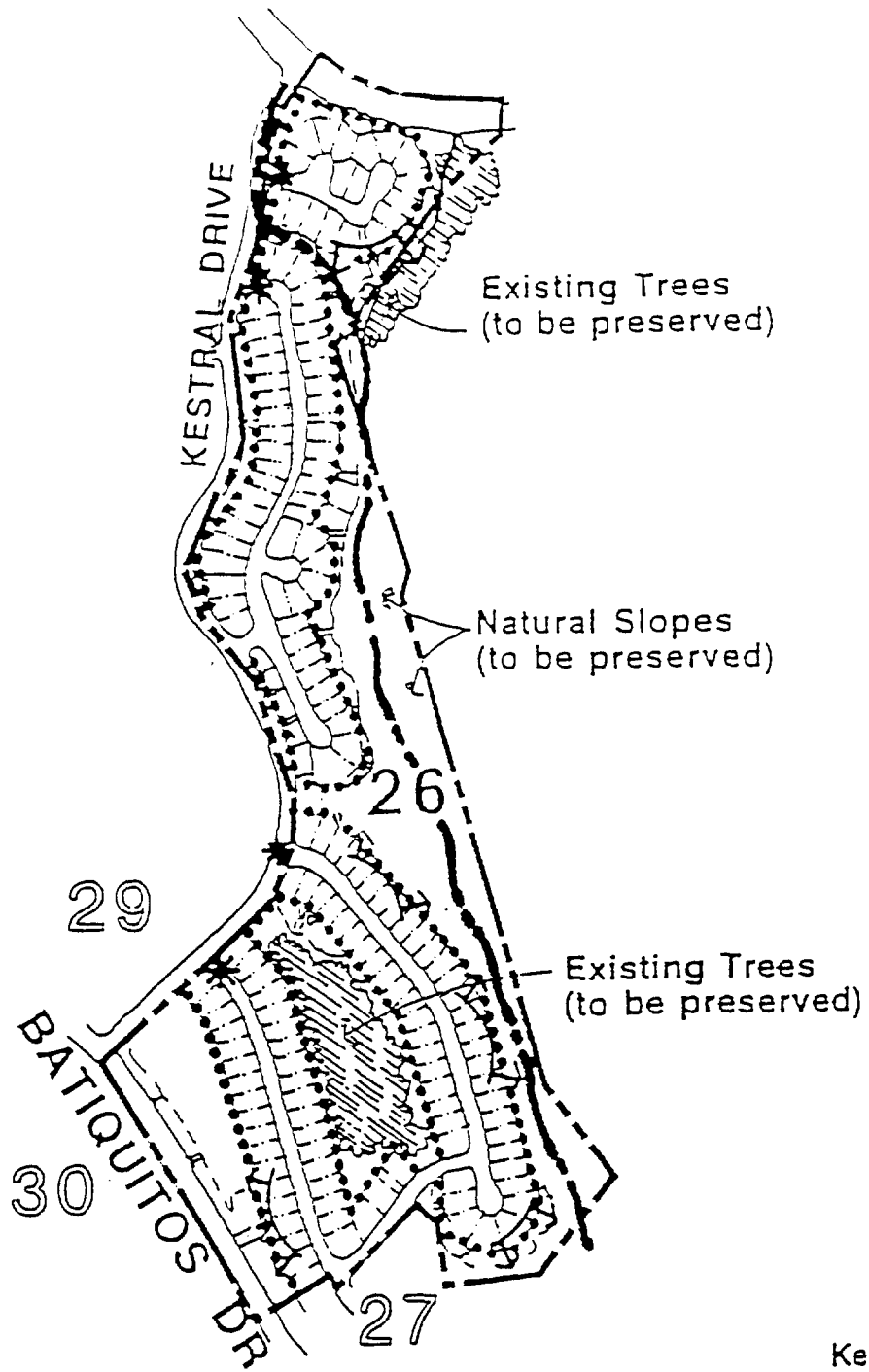
Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

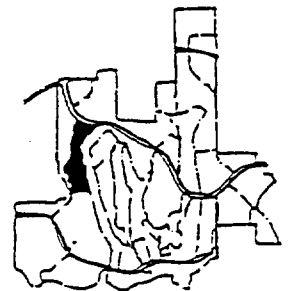
All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:



Legend

- | | | | |
|--|-----------------|--|------------------|
| | Entry Treatment | | Scenic Point |
| | Wall/Fencing | | View Orientation |
| | Trail | | |

Key Map



- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes and eucalyptus tree groves shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into structures visible from Alga Road and adjacent property to the west.
- * Buildings in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped lots.
- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Outdoor courtyards, patios and plazas shall be included.
- * Special attention shall be given to incorporate the adjacent open space area as an amenity to the neighborhood.
- Prior to the issuance of building permits, structural elevations shall be submitted for review and approval by the Planning Director.

Entry Treatment:

Neighborhood entry ways shall be located along "N" Street.

Fencing:

Traffic noise along Alga Road shall be attenuated through the incorporation of a solid masonry wall, earthen berm or a combination of the two. The wall shall be designed to incorporate landscaped popouts/insets and other relief features. An acoustical study including necessary noise attenuation measures along Alga Road shall be required to be submitted with the application for development of this planning area. The area adjacent to "N" Street shall require a solid wall or fence at the top of the slope. In the southerly area of development along "N" Street, the area adjacent to Planning Area 27 to the south and the easterly side of the planning area near the golf course shall all require the construction of an open fence which shall be consistent in design.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * View to and from the golf course, lagoon, Poinsettia Lane and the adjacent property to the west shall be preserved.
- * Landscape screening of structures shall be incorporated to soften the view of these structures from Alga Road, "N" Street and adjacent properties to the west of the planning area.
- * Manufactured slope areas adjacent to "N" Street and Batiquitos Drive shall be fully landscaped subject to approval of the Planning Director.

- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan. All elements of the fire suppression plan, including the location of zone boundaries, and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Guidelines" shall be the subject of future local coastal program amendments.

Street Trees:

The style of street trees in this neighborhood shall be informal. The dominant street tree shall be American Sweetgum (*Liquidambar styraciflora*). Support trees may include Carrotwood Tree (*Cupaniopsis anacardioides*) or an alternative selected by the developer.

Open Space:

All manufactured slopes shall be maintained as landscaped open space. Undeveloped natural slopes and tree groves shall be maintained as natural open space. Trees in these areas may be thinned, subject to the approval of the Planning Director. All open space areas described above shall be maintained by the community open space maintenance district.

Trails:

The Golf Course Trail, a major community trail located along the west side of the golf course which connects the trail along Alga Road with the trail along Baticuitos Drive, shall be constructed within the planning area as a condition of development. The portion of the major community trail along Alga Road located within the planning area shall also be constructed as a condition of development.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 27: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 18.9 acre planning area located on the northerly side of Batiquitos Drive will include single family detached homes. The planning area is bounded by the 2nd hold of the golf course to the east.

DEVELOPMENT STANDARDS: R-1-7500

All development in this planning area shall conform to the standards of the R-1-7500 One-Family Residential zone described in Chapter 21.10 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 55 residential units (2.9 DU/AC).

PERMITTED USES:

Single family residential housing. Private recreation facilities shall be allowed in conjunction with the residential units but are not a requirement of the planning area.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area is 30 feet as measured to the peak of the highest roof. At least 15% of the dwelling units shall be one story (22 feet maximum) measured to the highest roof peak.

Lot Size:

The minimum lot size shall be 7,500 square feet. The minimum lot width shall be 60 feet except that lots fronting on knuckles or cul-de-sacs shall have a frontage pursuant to the Carlsbad Municipal Code, Chapter 20.16.010. At least 15% of the lot area shall be reserved for open space. This open space shall be located in the rear yard and shall not exceed a gradient of 5%.

Setbacks:

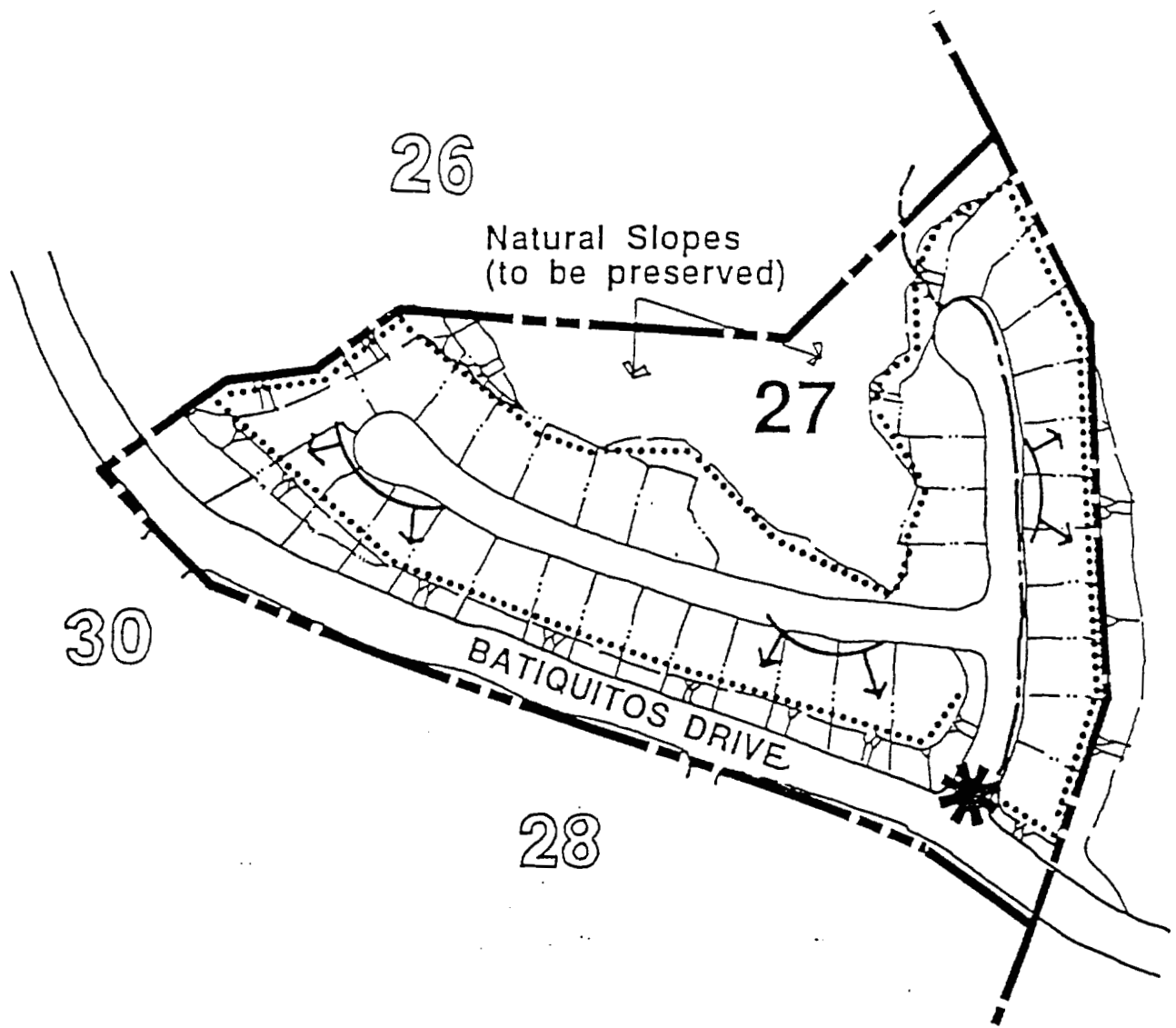
The standard front yard setback shall be 20 feet. In order to provide a variety of front yard setbacks, a minimum of 16 units shall have 26 foot setbacks. All dwelling units shall be located a minimum of 35 feet from the Batiquitos Drive right-of-way. All other setbacks shall be pursuant to Chapter 20.10 of the Carlsbad Municipal Code.

Parking:

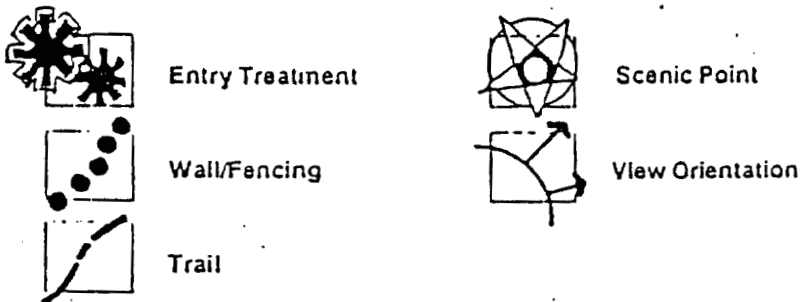
Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

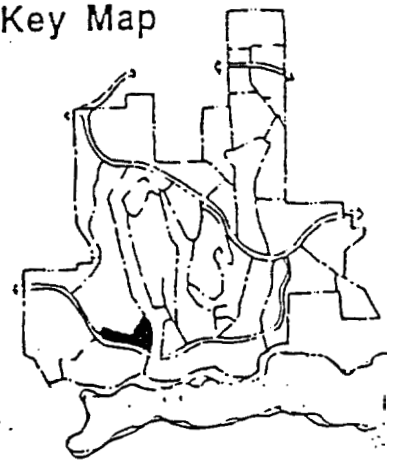
All community-wide design standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. The following specific guidelines shall also be included for Planning Area 27:



Legend



Key Map



- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- * Strong architectural relief features and sensitive building spacing shall be incorporated into structures visible from Batiquitos Drive and La Costa Avenue.
- Prior to the issuance of building permits, structural elevations shall be submitted for review and approval by the Planning Director.

Entry Treatments:

A neighborhood entry way shall be located along Batiquitos Drive.

Fencing:

Lots having rear yards facing "N" Street or Batiquitos Drive shall have a solid wall or fence of uniform design located at the top of slope in the rear yards. This wall/fence shall be designed to incorporate landscape popouts/insets and other relief features. Lots having rear yards adjacent to the golf course or Planning Area 26 shall have an open fence located at the top of slope in the rear yards.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Landscape screening of structures shall be incorporated to soften the view of these structures from Batiquitos Drive and La Costa Avenue.
- * The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- * Views to and from the golf course, lagoon, and La Costa Avenue and property to the north shall be preserved.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning or native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan.

All elements of the fire suppression plan, including the location of zone boundaries, and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Guidelines" shall be the subject of future local coastal program amendments.

Street Trees:

The street tree to be utilized in this neighborhood is the Jacaranda (Jacaranda acutifolia).

Open Space:

The manufactured slopes located adjacent to streets and the golf course shall be maintained as open space by the community open space maintenance district.

Trails:

A portion of the Golf Course Trail and a portion of the major community trail along the northerly side of Batiquitos Drive are within this neighborhood. The sections of these trails which are located within the planning area shall be constructed as a condition of development.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 28: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 45.6 acre planning area located at the southwest corner of the Aviara Resort and Country Club Master Plan consists of single family homes. This neighborhood is located along the north shore of Batiquitos Lagoon on the south side of Batiquitos Drive just west of the 1st hole of the golf course.

DEVELOPMENT STANDARD: R-1-10

All development in this planning area shall conform to the standards of the R-1 10,000 One-Family Residential zone described in Chapter 21.10 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Maximum of 66 residential units (1.44 DU/AC).

Private recreation facilities shall be allowed in conjunction with the residential units and area a requirement of the planning area.

PERMITTED USES:

Single family residential housing.

SITE DEVELOPMENT STANDARDS:

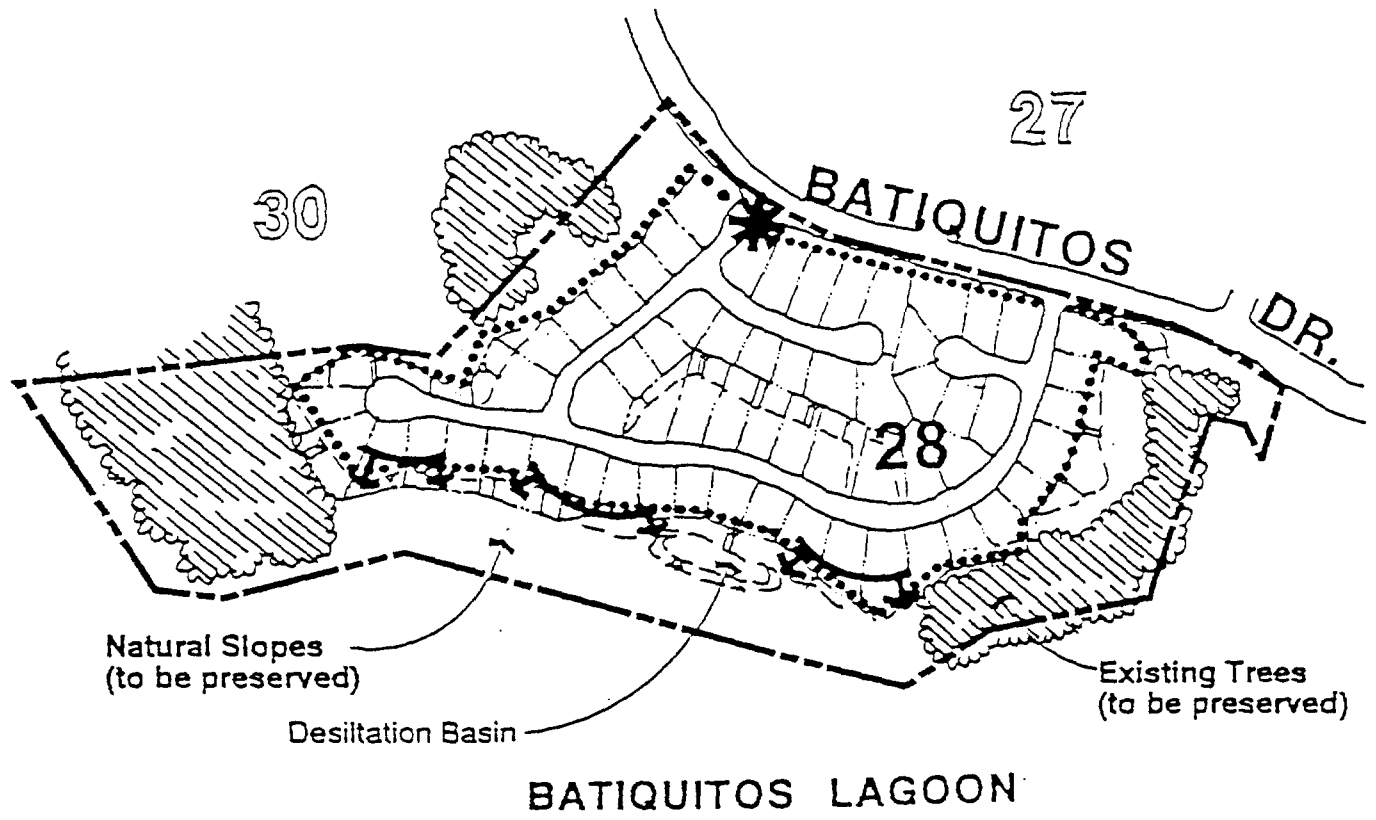
Height:

The maximum height in this planning area is 30 feet to the peak of the roof. To ensure variety in roof heights, a minimum of 40% of the units shall be no higher than 22 feet. All heights shall be measured to the peak of the highest roof as defined by Section 21.04.065 of the Carlsbad Municipal Code.

The maximum building height for each residential lot in this planning area is as follows:

<u>LOT</u>	<u>MAX. HEIGHT (Ft.)</u>	<u>LOT</u>	<u>MAX. HEIGHT (Ft.)</u>	<u>LOT</u>	<u>MAX. HEIGHT (Ft.)</u>
1	30	24	22	47	22
2	30	25	30	48	22
3	30	26	30	49	30
4	30	27	22	50	22
5	22	28	30	51	30
6	22	29	30	52	30
7	30	30	22	53	30
8	22	31	30	54	30
9	22	32	22	55	30
10	22	33	Open Space	56	30
11	30	34	Street	57	30
12	30	35	30	58	30
13	30	36	22	59	22
14	30	37	22	60	22
15	22	38	30	61	22
16	30	39	22	62	22
17	22	40	30	63	22
18	22	41	30	64	Open Space
19	30	42	22	65	Street
20	22	43	22		
21	30	44	30		
22	30	45	30		
23	22	46	22		

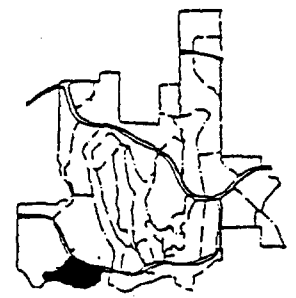
Amended 5/7/91
 Amended 4/1/92
 Amended 12/14/95



Legend

- | | | | |
|--|-----------------|--|------------------|
| | Entry Treatment | | Scenic Point |
| | Wall/Fencing | | View Orientation |
| | Trail | | |

Key Map



Rooflines:

To ensure a variety of roof angles, all structures shall provide a minimum of 10 roof planes.

Exterior walls:

On all two story homes, the front and rear elevations of the second story shall be set back a minimum of 10 feet from the face of the ground floor. The side elevation shall not exceed 30 feet in length without a vertical offset of at least 3 feet starting at the foundation and extending through the entire structure.

Lot Size:

The minimum lot size shall be 10,000 square feet. The minimum lot width shall be 70 feet except that lots fronting on a knuckle or cul-de-sac shall not be less than 50 feet in width. At least 15% of the lot area shall be reserved for open space. This open space shall be located in the rear yard and shall not exceed a gradient of 5%.

Setbacks:

A minimum setback of 150 feet from the wetlands boundary shall be observed for all grading and structures except for trail related features. All structures shall be setback a minimum of 35 feet from Batiquitos Drive. The standards front yard setback shall be 20 feet. In order to provide a variety of front yard setbacks, a minimum of 37 units shall have 26-foot setbacks. The minimum side yard setback shall be 10 feet. All other setbacks shall be per Chapter 21.10 of the Carlsbad Municipal Code.

Additional front, rear and/or side yard setbacks may be required for those yards facing the lagoon.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. The following specific guidelines shall also be included in Planning Area 28:

- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes and tree groves shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into all structures visible from Batiquitos Drive and La Costa Avenue.
- * All dwelling units shall be constructed of darker colored materials to reduce visibility from La Costa Avenue and Batiquitos Drive.
- * Prior to the issuance of building permits, structural elevations shall be submitted for review and approval by the Planning Director.

Entry Treatment:

A neighborhood entry way shall be located at the intersection of Batiquitos Drive and the westerly most intersection. As an option, this planning area may be developed as a gated neighborhood.

Fencing:

A solid fence or wall not to exceed 6 feet in height shall be located at the top of slope of all lots located along Batiquitos Drive. This wall/fence shall be designed to incorporate landscaped popouts/insets and other relief features. An open fence shall be located at the top of slope of all lots adjacent to Batiquitos Lagoon.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * The dominant unifying landscape elements for this planning area shall be pre-selected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- * Specimen landscaping shall be incorporated into this neighborhood to screen the dwelling units from I-5, La Costa Avenue and Batiquitos Drive.
- * Preservation of views to and from the golf course and lagoon shall be respected.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan. All elements of the fire suppression plan, including the location of zone boundaries, and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Guidelines" shall be the subject of future local coastal program amendments.

Open Space:

Manufactured slope areas shall be maintained as open space. The undeveloped areas along the western, southern and eastern boundaries as depicted on the Special Design Criteria exhibit for this planning area shall be preserved and protected as natural open space. The undeveloped area between Planning Areas 28 and 30 shall also be maintained as natural open space. Existing eucalyptus trees located in these open space areas described above shall be maintained by the community open space maintenance district.

Trails:

A trail system shall be located along the north shore of Batiqitos Lagoon, consistent with that approved as part of the Batiqitos Lagoon Enhancement Plan.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review. No grading shall be allowed within 150 feet of the wetlands boundary.

PLANNING AREA 29: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 18.4 acre planning area located at the southwest entrance to Country Club and Resort the Aviara Master Plan consists of single family residential homes. The neighborhood is located to the north side of Batiquitos Drive and is bordered to the east by "N" Street.

DEVELOPMENT STANDARDS: R-1-7500

All development in this planning area shall conform to the standards of the R-1-7500 One Family Residential zone described in Chapter 21.10 of the Carlsbad Municipal code unless otherwise noted in this Chapter.

USE ALLOCATIONS:

Maximum of 36 residential units (1.9 DU/AC).

Private recreation facilities shall be allowed in conjunction with the residential units and are a requirement of the planning area.

PERMITTED USES:

Single family residential housing.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area is 30 feet as measured to the peak of the highest roof. At least 15% of the dwelling units shall be one story and shall not exceed a height of 22 feet to the peak of the roof.

Lot Size:

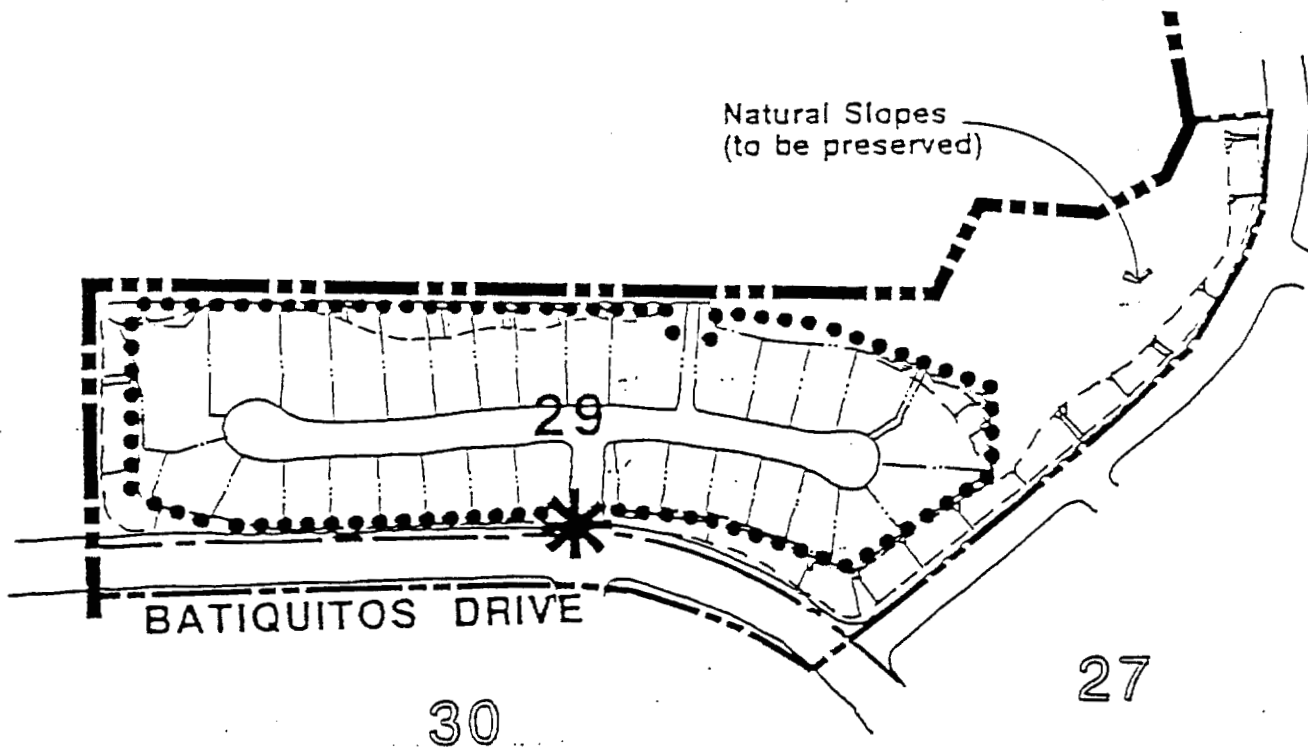
The minimum lot size shall be 7,500 square feet. The minimum lot width shall be 60 feet, except that lots fronting on knuckles or cul-de-sacs shall not be less than 40 feet wide. At least 15% of the lot area shall be reserved for open space. This open space shall be located in the rear yard and shall not exceed a gradient of 5%.

Setbacks:

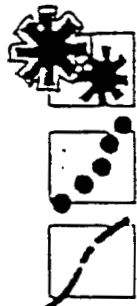
The standard front yard setback shall be 20 feet. The minimum side yard setback shall be 6 feet. All structures shall maintain a minimum setback of 35 feet from the Batiquitos Drive right-of-way, 80 feet from the nearest property lines of the existing Spinnaker Hills development, and 50 feet from the westerly boundaries on the planning area. All other setbacks shall be per Chapter 21.10 of the Carlsbad Municipal Code.

Parking:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.



Legend



Entry Treatment

Wall/Fencing

Trail



Scenic Point

View Orientation

Key Map



SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for Planning Area 29.

- * View from Spinnaker Hills to Batiquitos Lagoon shall be preserved.
- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes and eucalyptus tree groves shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into structures visible from adjacent properties to the north, I-5, and Batiquitos Drive.
- * Special attention shall be given to the incorporation of the adjacent open space areas as amenities to this neighborhood.
- * No construction or construction related traffic from Planning Area 29 shall be permitted on Daisy Avenue. Temporary gates and signs prohibiting through traffic shall be installed at the current southern terminus of Daisy Avenue to the satisfaction of the City Engineer following any development approvals in this planning area. In addition, a sign prohibiting construction traffic shall also be placed at the western terminus of Daisy Avenue. These gates and signs shall not be removed until occupancy is granted for all units in Planning Area 29.
- Prior to the issuance of building permits, structural elevations shall be submitted for review and approval by the Planning Director.

Entry Treatment:

A neighborhood entry way shall be located along Batiquitos Drive.

Fencing:

Lots located along the Batiquitos Drive and "N" Street frontage shall require a solid fence or wall. This wall/fence shall be designed to incorporate landscaped popouts/insets and other relief features. Lots which are located adjacent to the northerly planning area boundary shall require a solid fence at the top of slope at the rear of the lots. Lots which are adjacent to open space grove areas shall require an open fence at top of slope. I-5 shall be required to be attenuated through the incorporation of good site design and/or sound barriers. The precise noise mitigation measures shall be determined as a result of a noise study for this planning area.

Landscape:

- * The dominant unifying landscape elements for this planning area shall be pre-selected street trees, common landscape areas and slopes planted prior to homeowner occupation. Individual homeowner landscapes shall vary.
- * Views to and from the lagoon, I-5, Spinnaker Hills and Batiquitos Drive shall be preserved to the extent feasible.

- * A landscaped buffer area between the northerly lots of the planning area and Spinnaker Hills to the north shall be maintained as a landscaped open space.
- * Strong architectural relief features shall be incorporated into structures visible from properties to the north, Batiquitos Drive and I-5.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan. All elements of the fire suppression plan, including the location of zone boundaries, and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Guidelines" shall be the subject of future local coastal program amendments.
- * Manufactured slopes along Batiquitos Drive shall be landscaped and maintained by the Homeowner's Association.

Street Trees:

The predominant street trees for this neighborhood shall be Jacaranda (Jacaranda acutifolia) and Evergreen Pear (Pyrus Kawakami). The street tree style in this neighborhood shall be informal.

Open Space:

Manufactured and natural slopes located within this planning area shall be maintained as open space. Batiquitos Drive is located within the planning area and shall be constructed as a condition of development.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan Review.

Traffic Study:

A traffic study shall be submitted concurrent with any development application for Planning Area 29. The major focus of this traffic study shall be on the need of connecting Daisy Avenue from Batiquitos Drive to its existing southern terminus in the Spinnaker Hill development. Also considered should be general circulation in the area and traffic safety on Daisy Avenue.

PLANNING AREA 30: SINGLE-FAMILY RESIDENTIAL

DESCRIPTION:

This 57.4 acre planning area provides for single-family detached homes. The neighborhood is located along the westerly boundary of the Pacific Rim Country Club and Resort Master Plan area and is generally bounded to the north and east by Batiquitos Drive.

DEVELOPMENT STANDARDS: R-1

All development in Planning Area 30 shall conform to the development standards of the R-1 Zone (Carlsbad Municipal Code, Chapter 21.10) unless otherwise noted in this chapter.

USE ALLOCATION:

105 single-family residential units are allowed by the Growth Management Control Point (1.9 1.82 DU/AC).

PERMITTED USES:

Single family residential housing.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height in this planning area shall not exceed 30 feet measured to the peak of the highest roof. At least 15% of the dwelling units shall have no more than one story (22 feet measured to the peak of the roof).

Setbacks:

All buildings shall be located a minimum of 35 feet from Batiquitos Drive. The standard front yard setback shall be 20 feet. In order to provide a variety of front yard setbacks a minimum of 32 units shall have 24 foot setbacks. All setbacks within the planning area shall be in conformance with Section 21.10 of the Carlsbad Municipal Code.

Parking:

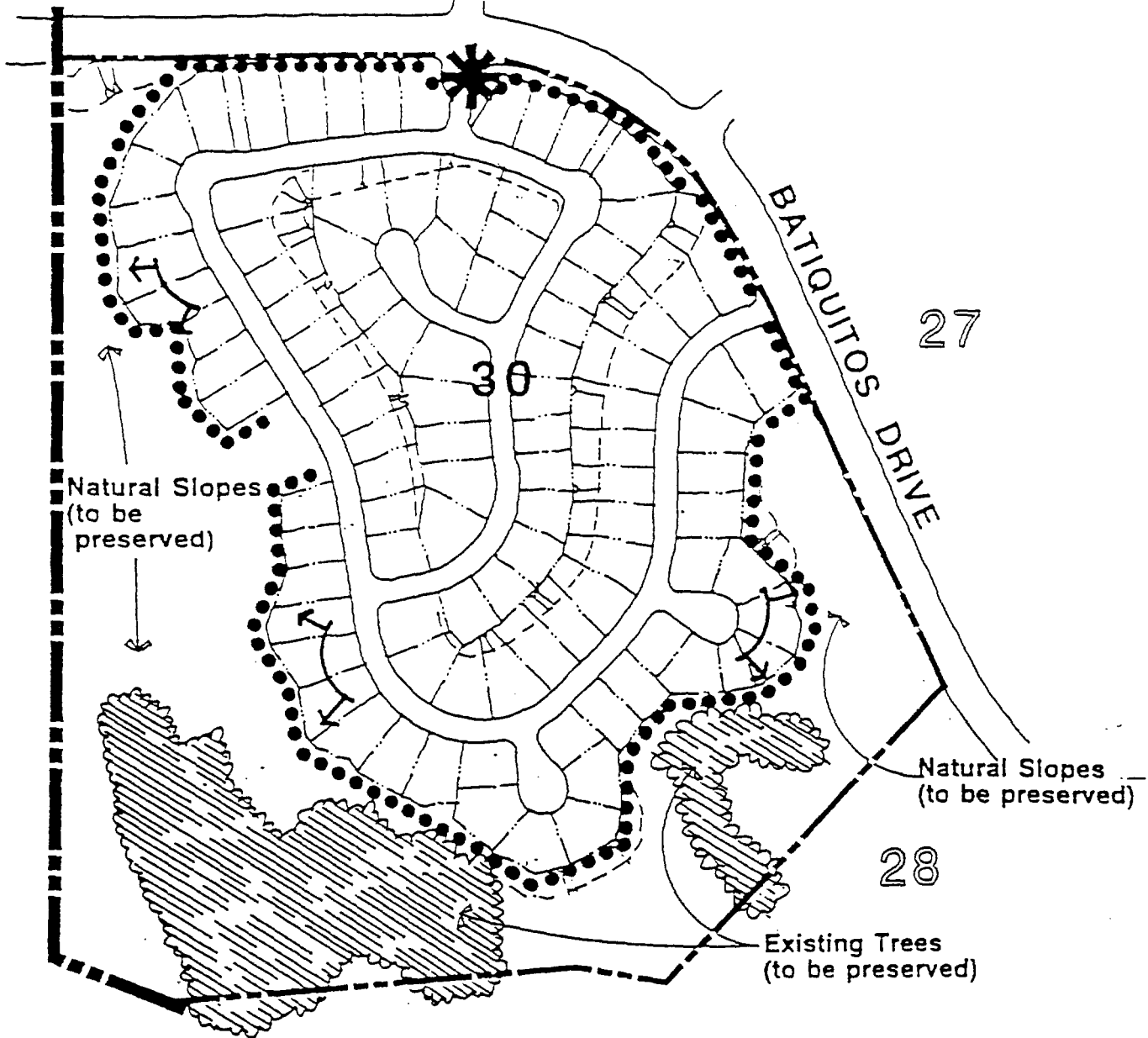
Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Section A of Chapter IV shall be embodied in the architecture of this planning area. The following specific guidelines shall also be included for this planning area:

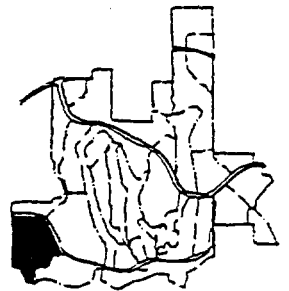
- * A variation in structural heights shall be required to eliminate a walling effect from I-5 and Batiquitos Drive.
- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes and tree groves shall be preserved and maintained as open space.
- * Strong architectural relief features shall be incorporated into structures visible from I-5 and Batiquitos Drive.
- * Building in this neighborhood shall relate strongly to the sloping site and shall avoid large flat pad areas by the incorporation of stepped building pads.



Legend

- | | | | |
|--|-----------------|--|------------------|
| | Entry Treatment | | Scenic Point |
| | Wall/Fencing | | View Orientation |
| | Trail | | |

Key Map



- * Curvilinear streets shall be combined with varied building setbacks to strengthen the mediterranean hilltown appearance of the planning area.
- * Special attention shall be given to incorporate the adjacent open space area as an amenity to the neighborhood.
- * Prior to the issuance of building permits, structural elevations shall be submitted for review and approval by the Planning Director.

Fencing:

A solid wall or fence shall be located adjacent to Batiquitos Drive. This wall/fence shall be designed to incorporate landscaped popouts/insets and other relief features. An open fence shall be located at the top of slope around the remaining development perimeter.

Traffic noise along I-5 shall be required to be attenuated through the incorporation of good site design and/or sound barriers. The precise noise mitigation measures shall be determined as a result of a noise study for this planning area.

Entry Treatment:

A major entry feature shall be located along Batiquitos Drive at the west entrance to the Master Plan area. A neighborhood entry element may be located on Batiquitos Drive.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this planning area. In addition, the following specific landscape concepts shall be included in the development of this planning area:

- * Views to and from the lagoon, I-5 and Batiquitos Drive shall be preserved.
- * Landscape screening of structures shall be incorporated to soften the view of these structures from the lagoon, I-5 and Batiquitos Drive.
- * Common streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments, irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.
- * Existing trees identified during Site Development Plan review shall be preserved.
- * A fire suppression zone subject to the approval of the Planning Director and Fire Marshall shall be established between native areas and structures. The fire suppression plan should incorporate structural setbacks from native areas in combination with a program of selective thinning of native vegetation as indicated in the "Fire Suppression Landscape Guidelines for Undisturbed and Revegetated Native Plant Communities" provided that no portion of Zone 1 as defined in the "Guidelines" shall encroach upon deed restricted open space areas required as part of the approval of the Master Plan. All elements of the fire suppression plan, including

the location of zone boundaries, and selective thinning programs shall be subject to the approval of the Planning Director. Any deviation from the "Fire Suppression Guidelines" shall be the subject of future local coastal program amendments.

Street Trees:

The dominant street trees in this neighborhood shall be Indian Laurel Fig (*Ficus retusa*). Support trees may include Jacaranda (*Jacaranda acutifolia*), Evergreen Pear (*Pyrus kawakami*) or another tree selected by the developer of the planning area.

Open Space:

Manufactured slopes shall be maintained as open space. Eucalyptus groves along the southeast corner of the planning area and the southwest corner of the planning area as well as natural slope areas on the westerly side of the area shall be maintained as natural open space. All open space areas noted above shall be maintained by the community open space maintenance district.

Grading:

Any development within this planning area shall comply with the City's Hillside Development Ordinance and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during Site Development Plan review.

PLANNING AREA 31: LAGOON

DESCRIPTION:

This 387.1 acre planning area includes the portion of Batiquitos Lagoon located within the Master Plan area. The area includes 307.1 acres of lagoon water body and 80.0 acres of wetlands open space. The area shall allow only passive uses. The exact nature and extent of allowable uses shall be determined by and be consistent with the Lagoon Enhancement Plan.

DEVELOPMENT STANDARDS: O-S

All development standards in this planning area shall conform to the standards of the O-S Open Space Zone described in Chapter 21.33 of the Carlsbad Municipal Code unless otherwise noted in this chapter.

USE ALLOCATION:

Pedestrian trails consistent with the Lagoon Enhancement Plan.

PERMITTED USES:

Pedestrian trails and related structures.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height of structures in this planning area shall be 6 feet measured from the existing grade. The intent is to allow observation decks or platforms which may include 42-inch high guard rails.

Parking:

No parking shall be allowed in this planning area.

Landscape:

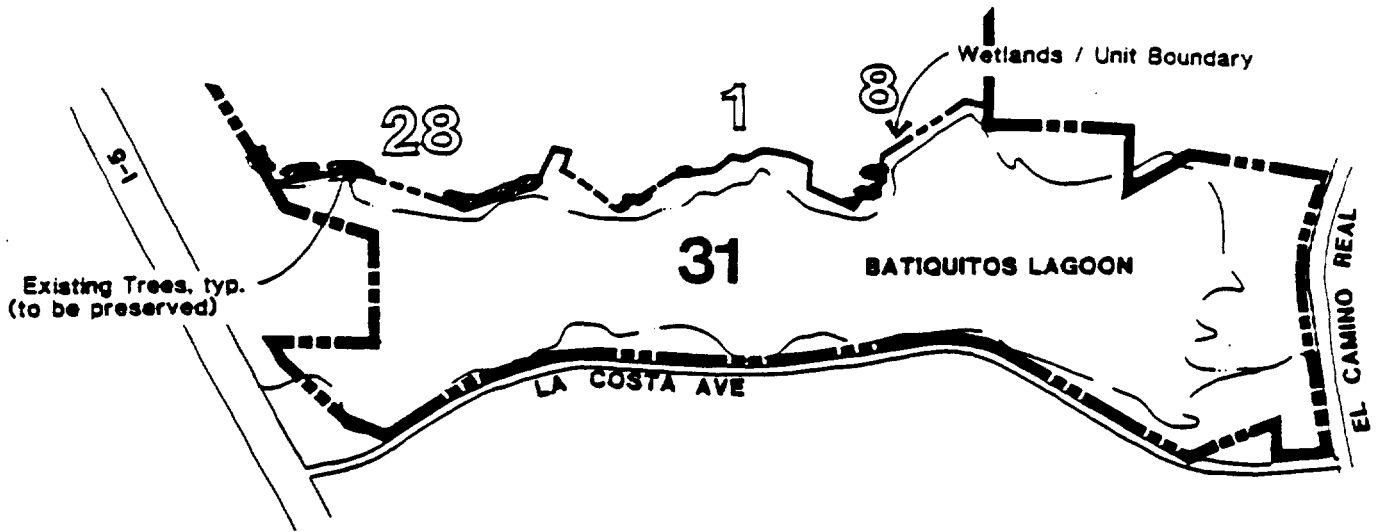
The lagoon shorelines shall be preserved and in areas of disturbance or decline, naturalized setting shall be re-established.

Open Space:

The wetlands area shall be maintained as natural open space by the community open space maintenance district.

Trails:

Portions of the Lagoon Nature Trail are located within this planning area along the north shore of Batiquitos Lagoon. This trail shall be developed in accordance with the alignment, design, and other provisions established within the Batiquitos Lagoon Enhancement Plan.



Legend



Entry Treatment



Wall/Fencing



Trail

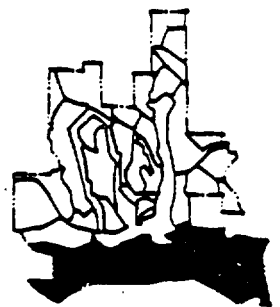


Scenic Point



View Orientation

Key Map



PLANNING AREA 32: PACIFIC RIM PARK

DESCRIPTION:

This 34.5 acre planning area provides for a community park (24.25) acres plus 5.75 acres in reserve), church, and daycare facilities (4.5 acres) within the Pacific Rim Country Club and Resort Master Plan area. PA 32a (5.75 acres) shall be reserved for park use until July 1, 1995. On or before this date, the City of Carlsbad shall in writing indicate to the property owner whether this 5.75 acres is needed for park dedication. If it is not needed for park use, then it may be used for residential development as part of Planning Area 19.

DEVELOPMENT STANDARDS: O-3

All park development in Planning Area 32 shall conform to the standards of the O-S Open Space zone (Carlsbad Municipal Code, Chapter 21.33) unless otherwise noted in this chapter. All church or daycare development within this Planning Area shall require that a conditional use permit be processed.

USE ALLOCATION:

Public park, church, and daycare facilities.

PERMITTED USES:

The following uses are allowed within the Pacific Rim Park (Areas 32 and 32a on Exhibit V-33): natural open space, passive recreational uses, family-oriented picnic areas, group picnic areas, turned open space areas for free play, multi-purpose lighted playfields, tot areas, a structure for meetings or lectures, tennis courts, swimming pool, onsite parking and similar uses commonly located in a public park. Church and daycare uses are allowed within Area 32b subject to approval of a conditional use permit.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height allowed in Planning Area 32 and 32a is as permitted in the O-S Zone (Chapter 21.33 of the Carlsbad Municipal Code) and as defined by Section 21.04.065 of the Carlsbad Municipal Code. The maximum height allowed in Planning Area 32b is 30 feet.

Setbacks:

The minimum setback from Poinsettia Lane for structures or open parking shall be 50 feet. The minimum setback for buildings or open parking shall be 30 feet from all other planning area boundaries.

Parking:

Parking spaces for the park (Area 32 and 32a) shall be provided as prescribed by the City of Carlsbad Parks and Recreation Department. Parking spaces for church and daycare facilities shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code. Where parking lots are provided, a minimum 320 square foot landscaped island shall be provided for every ten parking spaces.

SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards noted in Section A of Chapter IV shall be considered in the design of this Planning Area.

Entry Ways:

A special entry treatment with park-related signage shall be allowed for the park site.

Fencing:

Fencing for the park shall be provided as prescribed by the City of Carlsbad Parks and Recreation Department. Fencing shall be required for all outdoor play areas associated with the daycare facility.

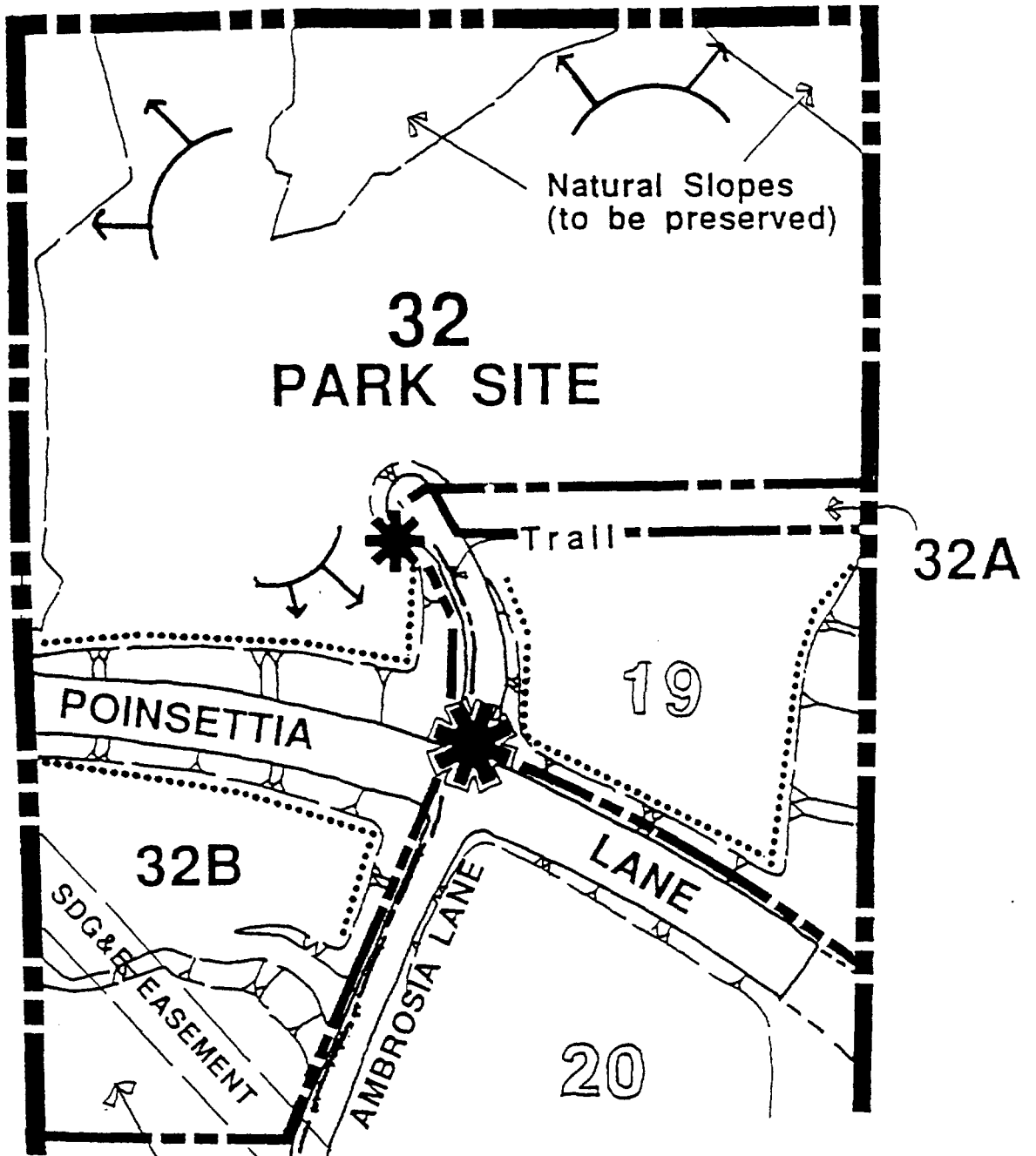
Traffic noise along Poinsettia Lane shall be attenuated through the incorporation of a solid masonry wall, earthen berm or combination of the two.

Grading:






Any development within this Planning Area shall comply with the City's Hillside Development Regulations and with the slope and resource preservation policies of the underlying local coastal programs and subsequent coastal permit. Any application for development within this Planning Area shall require a slope analysis/biological map during site development plan review.

Open Space

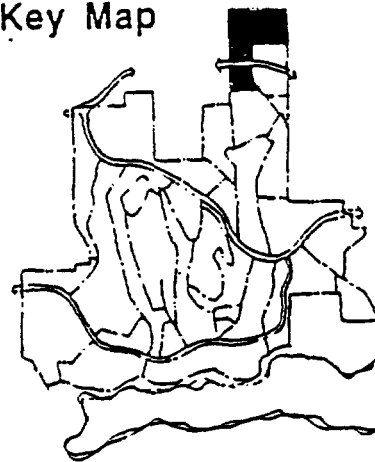
An open space corridor shall be maintained at the north end of this Planning Area in conformance with the requirements of the Department of Fish and Game (DFG) and the U. S. Fish and Wildlife Service (FWS) to meet the goals and requirements of the Natural Communities Conservation Planning (NCCP) Program. The corridor shall be established in consultation with DFG/USFWS.



Legend

-  Entry Treatment
-  Wall/Fencing
-  Trail
-  Scenic Point
-  View Orientation

Key Map



PLANNING AREA 33: SINGLE FAMILY RESIDENTIAL

DESCRIPTION:

This 40.9 acre planning area is to be developed with single family detached homes. The neighborhood is located within a north-south trending valley on the western edge of Aviara, immediately north of Batiquitos Lagoon, and west of Planning Areas 29 and 30. Batiquitos Drive bisects the northern portion of the Planning Area.

DEVELOPMENT STANDARDS: R-1-7500-Q

All development within Planning Area 33 shall conform to the development standards of the R-1-7500 One-Family Residential Zone described in Chapter 21.10 of the Carlsbad Municipal Code, unless otherwise stated in this chapter.

USE ALLOCATION:

A maximum of 72 single-family residential units (3.1 DU/AC). Also a public access pedestrian trail, trail parking spaces, and a permanent desiltation basin. Private recreation facilities are allowed but not required in conjunction with the residential units.

PERMITTED USES:

Single family residential housing. Pedestrian trails, trail parking lot, and a permanent desiltation basin. Private recreation facilities may be included in this planning area.

SITE DEVELOPMENT STANDARDS:

Height:

The maximum height of structures in this planning area is 30 feet as measured to the peak of the highest roof. At least 20% of the structures in this Planning Area shall be no more than one story, and shall not exceed a height of 22.5 feet to the roof peak.

Setbacks:

The minimum setback from Gabbiano Lane shall be 20 feet for all structures. The minimum front yard setback for all units shall be 20 feet. All side yard setbacks shall be a minimum of 10% of the lot width, with street-side yards not less than 10 feet. Rear yards shall be a minimum of 20% of the lot width. All setbacks are as measured and in conformance with Section 21.10 of the Carlsbad Municipal Code.

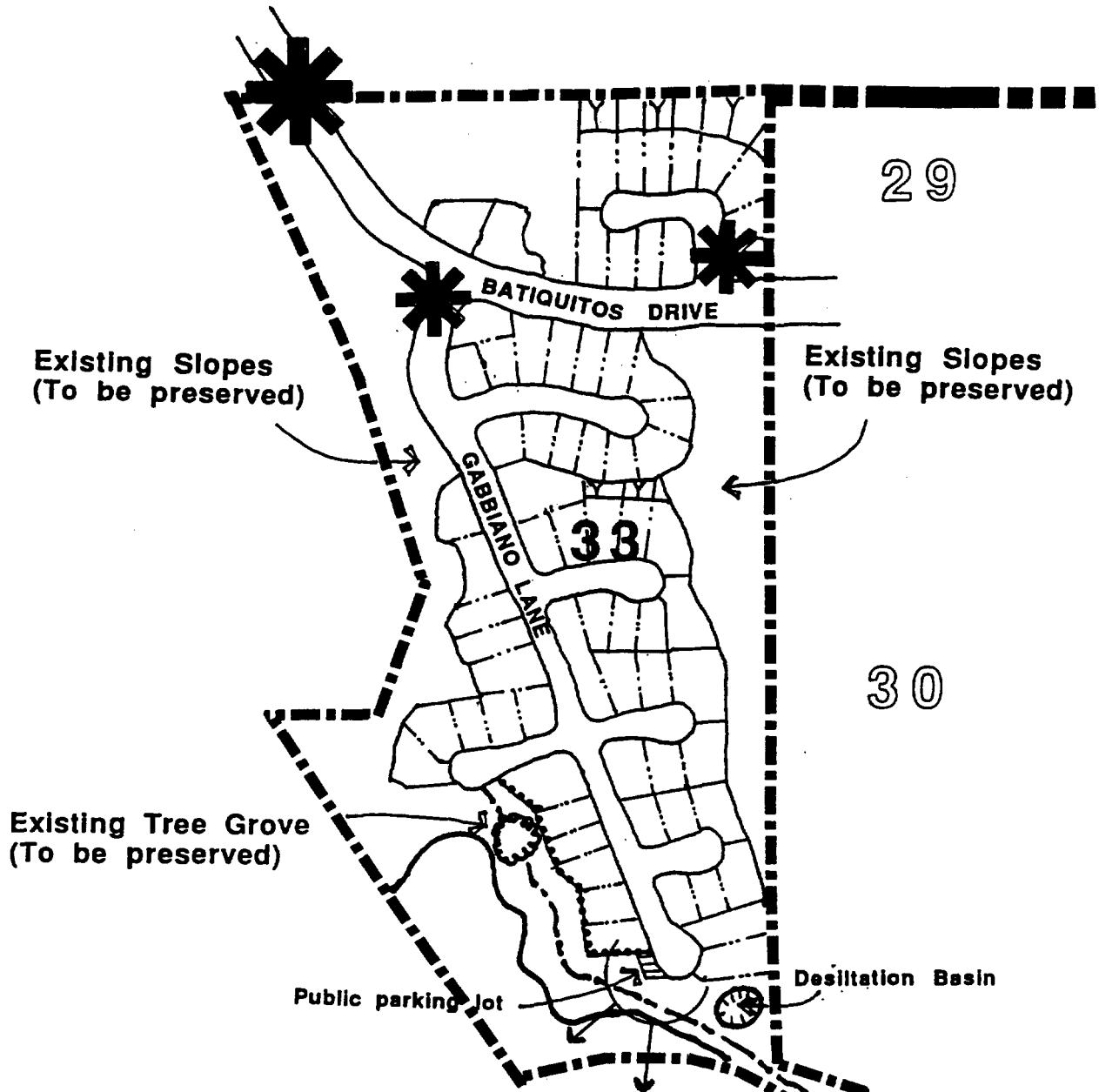
PARKING:

Parking shall conform to the standards of Chapter 21.44 of the Carlsbad Municipal Code. A minimum six (6) public parking spaces shall be provided in perpetuity at the public parking lot located near the southerly terminus of Brocatto Lane.

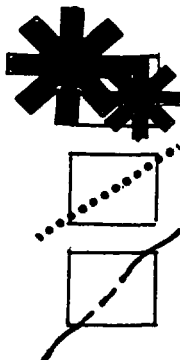
SPECIAL DESIGN CRITERIA:

Design:

All community-wide design standards described in Chapter IV, Section A of this Master plan shall be embodied in the



Legend



Entry Treatment

Wall/Fencing

Trail



Scenic Point

View Orientation

Key Map



architecture of this planning area. The following specific guidelines shall also be included for this planning area, as approved in Carlsbad Tract CT 89-19:

- * As shown on the Special Design Criteria exhibit for this planning area, the identified natural slopes shall be preserved and maintained as open space.
- * The existing eucalyptus grove in the southwesterly portion of the planning area shall be preserved.
- Strong architectural relief features shall be incorporated into all structures visible from Gabbiano Lane.
- * Buildings in this neighborhood shall relate to the sloping site, and shall avoid large, flat pad areas.
- * Residential units shall be constructed with earthtone colors, and detailed roof forms.
- * Prior to the issuance of building permits, structural elevations shall be submitted for review and approval by the Planning Director.

Entry Treatment:

A neighborhood entry with monument sign shall be located at the intersection of Gabbiano Lane with Batiquitos Drive, and at the entrance to the northerly segment of the Planning Area at Anatra Court and Batiquitos Drive. A primary community entry with signage shall be located at the westerly entry to this Planning Area, along both sides of Batiquitos Drive. A public access trail signage improvement plan shall be implemented which demonstrates a full program for providing directional parking lot and trailhead signs for that portion of the North Shore Trail that is on Planning Area 33.

Fencing:

A noise wall shall be constructed along the southwestern edge of the development in locations as determined through a noise analysis, in order to mitigate noise impacts from I-5.

Landscape:

All community-wide landscape standards described in Section A, Community Design Elements of Chapter IV shall be incorporated into this Planning Area. In addition, the following specific landscape concepts shall be included in the development of this Planning Area, as approved in Carlsbad Tract CT 89-19.

- * Landscaping shall be incorporated to screen the structures from I-5, La Costa Avenue and Batiquitos Drive, to the extent feasible.
- * Streetscape areas shall conform to community requirements. Street trees, landscape planting intensity zones, paving, entry monuments,

irrigation systems, walls, fences, lighting, etc., have been pre-determined to provide consistency in design and quality.

- * A fire suppression zone, subject to the approval of the Planning Director and Fire Marshal shall be established between native/naturalized areas, and structures. The fire suppression plan shall be consistent with the approved Aviara Fire Suppression Program.

Street Trees:

The primary community entry on Batiquitos Drive shall utilize Bottle Tree (*Brachychiton populneus*) as a theme tree and Nichol's Willow (*Eucalyptus nicholii*) as a support tree. Batiquitos Drive shall be planted with Torrey Pine (*Pinus torreyana*). Gabbiano Lane shall be planted with Jacaranda (*Jacaranda mimosifolia*).

Open Space:

The steep slopes on the western and eastern edges, and a portion of the north-central segment of the Planning Area shall remain in native open space. These open space corridors shall be maintained by the Aviara community open space maintenance program. A minimum 100 foot setback from the lagoon wetlands shall be maintained for all structures. A permanent desiltation basin and trail-related facilities may be allowed within this wetlands setback.

Trails:

A pedestrian nature trail shall be located along the north shore of Batiquitos Lagoon consistent with the Local Coastal Program.

Grading:

Any development within this planning area shall comply with the City's Hillside Development regulations and the slope and resource preservation policies of the underlying local coastal program and subsequent coastal permit. Any application for development within this planning area shall require a slope analysis/biological resource map during site development plan review.

CHAPTER VI
PUBLIC FACILITIES AND SERVICES

VI.

PUBLIC FACILITIES AND SERVICES

The public facility requirements for this Master Plan are fully addressed within the Zone 19 Local Facilities Management Plan (LFMP). This Zone 19 Local Facilities Management Plan was prepared pursuant to the City's Growth Management Program. The Zone 19 LFMP; (1) provides detailed description of how the Master Plan will develop, (2) demonstrates how and when each required facility and improvement will be constructed to accommodate phased development within the Master Plan, and (3) provides a complete description of how each facility and improvement will be financed when mitigation is necessary.

CHAPTER VII
SIGN PROGRAM

VII. SIGN PROGRAM

A. PURPOSE

The purpose of the Pacific Rim Community's Sign Plan is to provide necessary identification and directional information in a functional well-organized manner, while complimenting architectural and landscape design themes, and enhancing the overall aesthetic of the development. All signs proposed must be approved by the Planning Director prior to the issuance of a sign permit or prior to construction.

B. A "FAMILY" OF SIGNS

The Sign Plan works like a family of related members which include: community and neighborhood identification; facility identification (for hotel, recreation and commercial areas); street name, traffic and parking control signage.

The characteristics of each member are described below:

1. Primary Community Entries

Permanent Primary Community Entry signs identify the entries to the Pacific Rim Community via major arteries.

- a. Quantity: Three locations required.
- b. Locations: East and west ends of Alga Road, west end of Pacific Rim Drive.
- c. Sign Type: Identification signs on pair of walls, well-integrated with landscape design elements (plant materials; water elements, etc.)
- d. Size: Copy of area of sign element on each wall not to exceed 60 square feet.
- e. Copy: Copy restricted to community identification only (e.g., "Pacific Rim Country Club and Resort").
- f. Materials and Colors: Palette derived from prominent architectural finishes within the project: (e.g., where appropriate: walls of stucco, rock, stone and masonry; pergolas with wood trellises on stucco columns; sign elements - individual dimensional dark oxidized cast bronze letters. Principal colors muted, "weathered"; brighter colors used for accent only.)
- g. Illumination: External illumination through ground-lighting to subtly highlight sign elements, landscaping and wall textures.

2. Secondary Community Entries

Permanent Secondary Community Entry signs mark entries via smaller arteries.

- a. Quantity: One location required.
- b. Location: North end of project area off Poinsettia Lane.
- c. Sign Types: Identification signs on pairs of walls - similar to Primary Entries (see above).
- d. Size: Copy area of sign element not to exceed 50 square feet.
- e. Copy: Copy restricted to community identification only (e.g., "Pacific Rim Country Club and Resort").
- f. Materials and Colors: Palette similar to Primary Entries (see above).

3. Neighborhood Entry Signs

Permanent Neighborhood Entry signs serve to identify individual neighborhood within the overall project area.

- a. Quantity: One entry statement at each major neighborhood entry.
- b. Locations: (See location plan)
- c. Sign Type: Identification signs on pair of walls.
- d. Size: Copy area of sign element on each wall not to exceed 40 square feet.
- e. Copy: Permanent copy restricted to neighborhood identification only (e.g., "Pacific Rim Villas").
- f. Materials and Colors: Palette similar to Community Entry signs (above).
- g. Illumination: Exterior illumination similar to Community Entry signs (above).
- h. Approvals: Detailed plans of Neighborhood Entry Signs - indicating locations, materials, typestyles, colors and illumination - require prior approval in writing by a Design Review Board.

4. Facility Entry Signs

Permanent Facility Entry signs mark entrances to major public-uses facilities within the project (e.g., resort hotel, restaurant and sports complex).

- a. Quantity: One entry statement at each major facility entry.
- b. Locations: (See location plan)
- c. Sign Type: Identification signs on pairs of walls.
- d. Size: copy area of sign element on each wall not to exceed 35 square feet.
- e. Copy: Permanent copy restricted to facility identification and operator name (if appropriate) only (e.g., Four Seasons at Aviara).
- f. Materials and Colors: Palette drawn from the identified facility's architectural features and related to Community Entry Signs (see above).
- g. Illumination: Exterior illumination similar to Community Entry signs (above).
- h. Approvals: Detailed plans for Facility Entry Signs - indicating locations, materials, typestyles, colors and illumination - required prior approval in writing by a Design Review Board.

5. Facility Directional Signs

Permanent Facility Directional signs direct traffic to major public use facilities within the project (e.g. the resort hotel, golf clubhouse and sports center).

- a. Quantity: One, however additional directional signs may be approved by the Planning Commission through a master plan amendment, in accordance with Section 21.38.120 of the Carlsbad Municipal Code.
- b. Locations: Southeast corner of Alga Road and Batiquitos Drive, however additional locations may be approved by the Planning Commission through a minor master plan amendment.
- c. Sign Type: single-faced, raised letters on curved, stucco privacy wall.
- d. Size: Copy area of sign element not to exceed 65 square feet.
- e. Copy: Generic copy necessary to direct motorist southward on Batiquitos Drive to golf club, sports complex, and restaurant uses. These facilities shall be referenced by type of use only and no specific business names shall be allowed.

- f. Materials and Colors: Raised letters on rock veneer on stucco wall.
- g. Illumination: Exterior illumination through ground-mounted lighting.
- h. Approvals: Detailed plans of signs shall be submitted to the Planning Director for approval prior to issuance of building permits.

6. Shopping Village Identification:

Permanent Shopping Village Identification signage serves to identify the entrances to the retail center and its major tenants (those greater than 20,000 square feet in area).

- a. Quantity: One identification/entry statement required.
- b. Location: North side of Alga Road, south entrance to Planning Area 23 (see location map).
- c. Sign Type: Identification signs on pair of walls.
- d. Size: Total copy area of all sign elements on each wall not to exceed 40 square feet.
- e. Copy: Copy restricted to Shopping Village and major tenant identification (e.g. Pacific Rim Shopping Village/Jurgensons/Shops).
- f. Materials and Colors: Reflect the shopping center's architecture and relate to Community Entry Signs (see above).
- g. Illumination: Ground height, exterior illumination similar to Community Entry Signs (see above).
- h. Approvals: Detailed plans of all shopping village signage - indicating locations, materials, copy, typestyles and logos, colors and illuminations - require approval in writing by a Design Review Board.

7. Street Name Signs

Street name signs facilitate vehicular traffic flow through the master plan area.

- a. Quantity: One of the two Type B Street Name signs required at each non-signalized intersections.
- b. Locations: (See location plan)

c. Sign Types: Two types required:

Type A: Double-faced, hanging sign attached to mast arms at signal poles (at major signalized intersections along Alga Road).

Type B: Double cross street pole signs at minor intersections.

d. Sizes:

Type A: 18" high, either six or eight feet in length, as necessary.

Type B: 6" high, three feet overall length.

e. Copy: Restricted to street name, ascending street address numbers.

f. Materials and Colors:

Type A: Standard cabinet structure; letter face white, sign background area green, cabinet iodized aluminum.

Type B: Flat metal, letter face white, sign background green (public streets). Letter face green, sign background white (private streets).

Illuminations:

Type A: Internally - illuminated with florescent fixtures.

Type B: None

Future Development Signs/Temporary Directional Signs:

To identify new development and direct traffic to new subdivisions, each subdivision may display a "Coming Soon" sign and participate in the temporary directional kiosk sign program. The quantity, locations, sizes and copies shall conform to a community identity and signage program consistent with the purpose of this chapter and approved by the Planning Director. All signage shall require detailed plans to be submitted to the Planning Director for approval and must be removed once all lots within the subdivision are sold.

Amended 1/6/93