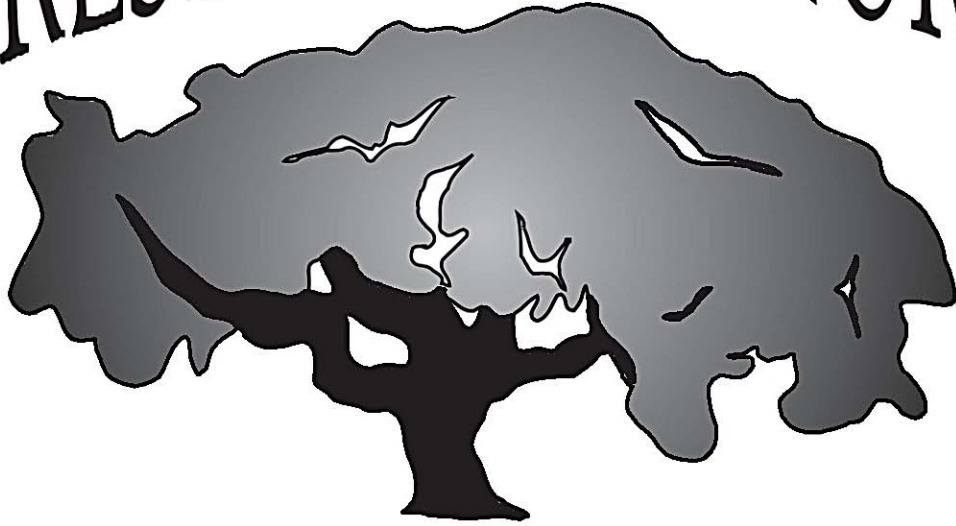


# CARLSBAD OAKS NORTH



# BUSINESS PARK

## SPECIFIC PLAN

SP 211(C)

Prepared by:

City of Carlsbad Planning Department  
City of Carlsbad Engineering Department  
O'Day Consultants  
Ladwig Design Group, Inc.  
ADL Planning Associates, Inc.

Amended August 2016

# Carlsbad Oaks North Business Park

*Specific Plan No. 211(C)*

**Carlsbad Oaks North Partners, L.P.** **Owner**

**Techbilt Construction, Corp.** **Developer**

Ms. Jenny Tchang

Mr. Ted Tchang

Mr. Doug Woods

**O'Day Consultants, Inc.** **Engineer**

Pat O'Day.....President

Tim Carroll.....Project Engineer

**Ladwig Design Group, Inc.** **Planner**

Bob Ladwig.....President

**ADL Planning Associates, Inc.** **Landscape Architecture**

Tony Lawson.....President

SP 211

Specific Plan on approximately 414 acres of land located north of Palomar Airport Road,  
¼ mile east of El Camino Real  
Local Facilities Management Zone 16

Approved by:

Planning Commission Resolution No. 5246, August 21, 2002  
City Council Resolution No. 2002-298, October 8, 2002  
City Council Ordinance No. NS-646, October 15, 2002

\* \* \*

SP 211(A)

Minor amendment to provide for three entry monument signs to the business park

Approved by:

Planning Director, July 10, 2007

\* \* \*

SP 211(B)

Removed the requirement for Lot 1 or 2 to be developed with commercial support uses instead of  
light industrial

Approved by:

Planning Commission Resolution No. 7288, August 17, 2016  
City Council Resolution No. 2016-204, September 27, 2016  
City Council Ordinance No. CS-308, October 4, 2016

\* \* \*

SP 211(C)

Minor amendment to modify the driveway locations in Figure 10 for Lots 18 and 19

Approved by:

City Planner, May 23, 2016

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## I. INTRODUCTION

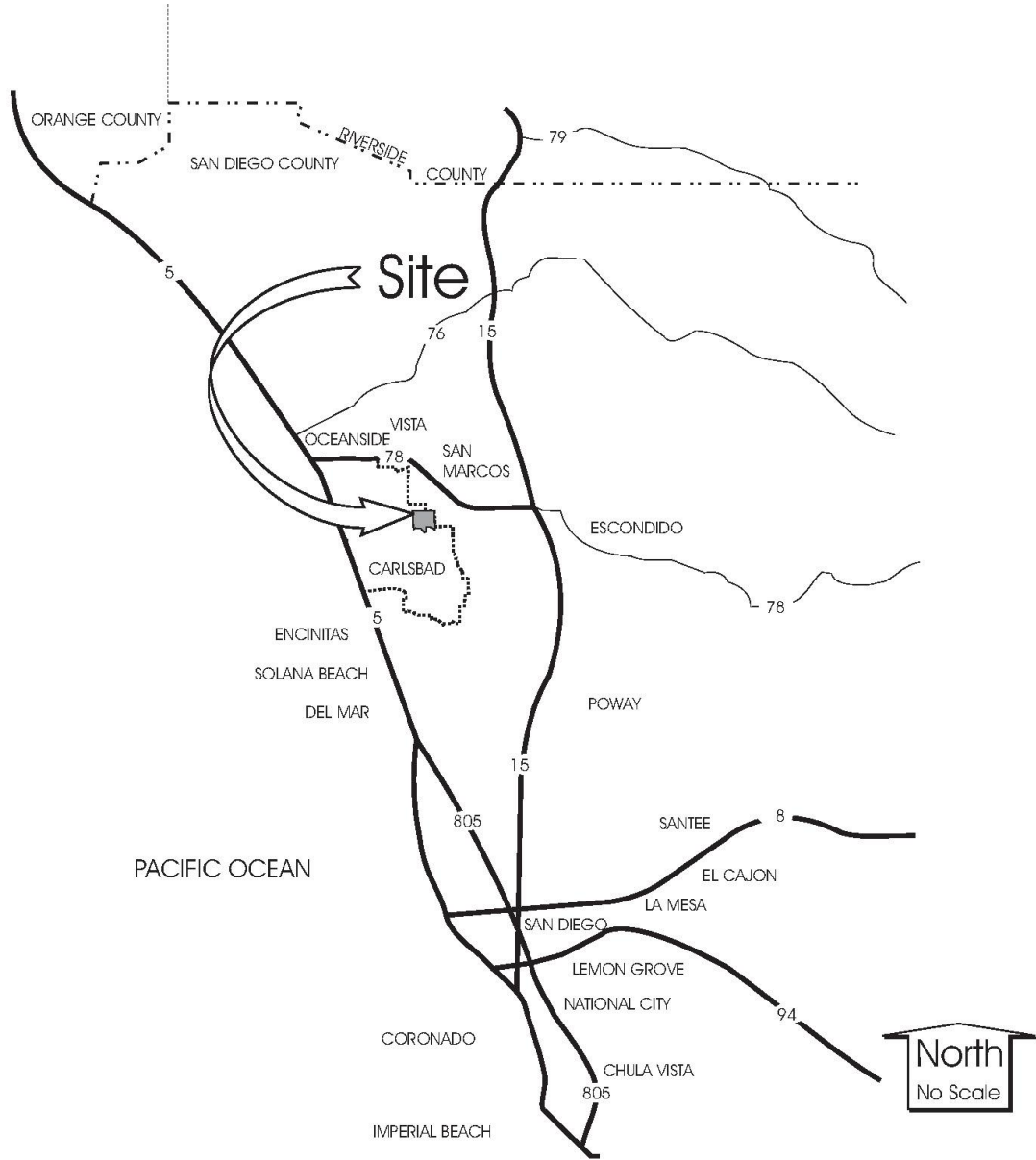
### A. Initiation of Plan

The Carlsbad Oaks North Specific Plan was prepared at the request of the property owner, Techbilt Construction, Inc. In 1986, the Carlsbad Airport Business Center Specific Plan (SP 200) was approved. Although the proposed Carlsbad Oaks North Business Park site was included as Area B of SP 200, the document set forth the detailed regulations, conditions and programs for development of Area A, which consists of 187 acres located directly to the south of the project site. This area has been developed with industrial uses in accordance with the approval of SP 200. The split of the Specific Plan into the southern and northern parts was determined to be the best mechanism to allow development of the southern portion of the Specific Plan. In 1986, it was anticipated that an amendment to the Carlsbad Airport Business Center Specific Plan would take place to include a more detailed discussion of the northern portion of the Specific Plan. The proposed Specific Plan for the Carlsbad Oaks North Business Park is proposed in lieu of the amendment anticipated to address development of the site.

**B. Project Location and Ownership**

The Carlsbad Oaks North Business Park project is located in the northeast quadrant of the City of Carlsbad, entirely within the boundary of Local Facilities Management Zone 16. Specifically, it is located on a 414-acre parcel north of Palomar Airport Road, one-quarter mile east of El Camino Real. A regional map depicting the location of the property within the County and a vicinity map presenting the location of the property in the City of Carlsbad are provided in Figures 1 and 2 on pages I-3 and I-4. The completion of Faraday Avenue and the extension of El Fuerte Street will provide access to the site. Planned industrial and open-space land-use designations surround the property on the north, south and west sides.

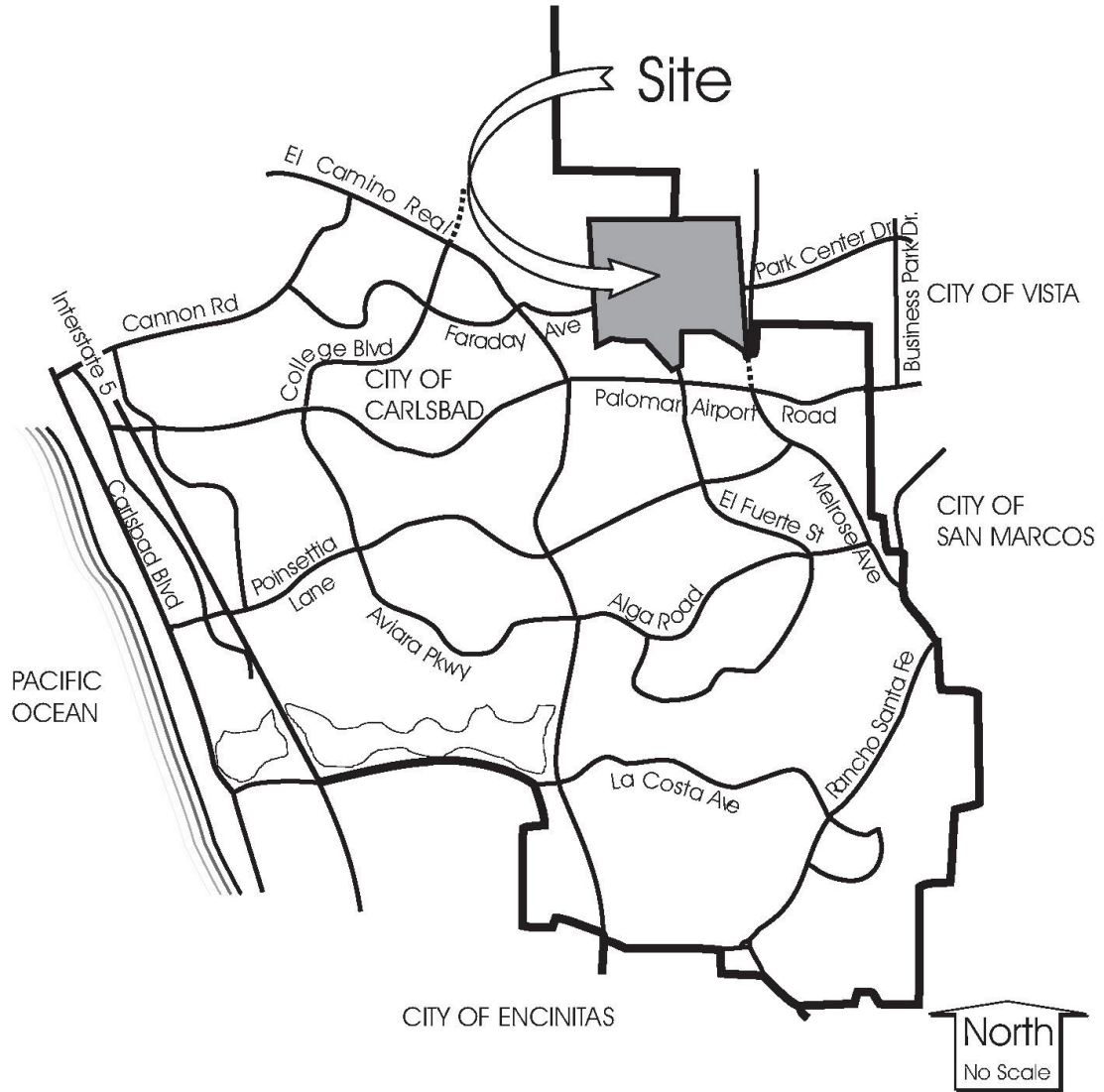
Immediately south of the proposed project is Carlsbad Oaks, an existing 187-acre industrial development governed by the Carlsbad Airport Business Center Specific Plan (SP 200), Tentative Subdivision Map (CT 74-21) and subsequent Final Subdivision. Grading, improvements for water, sewer, streets and drainage facilities have all been completed on this area, as well as significant industrial building development. The Carlsbad Safety Center and Faraday Industrial Park (CT 85-12), is located to the west of this property. This project has not been recorded or developed. On the east side of the project, within the City of Vista, lies the Canyon Creek single-family residential development. Canyon Creek is a 285 unit, 6,000 square foot minimum single family project (PC 88-76) that is part of the Vista Business Park Specific Plan. Carlsbad Raceway is also located approximately a half-mile east of the project site. Immediately north of the proposed project is the Dawson Los Monos Canyon Reserve. This 260+/- acre sensitive area is part of the University of California Natural Land and Water Resources System and is used by the university for scientific and educational purposes. The property immediately to the west of this reserve is undeveloped county land with a portion being farmed. The property is owned by Carlsbad Oaks North Partners, L.P., and Escondido Serenas Development, Inc., and is legally described as: A portion of Lot "B" of Rancho Agua Hedionda, in the City of Carlsbad, County of San Diego, State of California, according to map thereof No. 823, filed in the office of the county recorder of San Diego County, November 16, 1896, excepting there from all that portion lying southerly of the northerly line of Carlsbad Tract No. 74-21, according to Map No. 10372, filed in the Office of the County Recorder of San Diego County, April 13, 1982.



**Figure 1**  
**Regional Map**

**Ladwig Design Group**





**Ladwig Design Group**



**Figure 2**  
**Vicinity Map**

**C. Specific Plan Acreage and Site Description**

The project site encompasses a total of approximately 414 acres. The City’s General Plan designates 282 acres for Planned Industrial (PI) and 135 acres for Open Space (OS). The proposed land use acreages are for approximately 194 acres of Planned Industrial (PI) and 220 acres of Open Space (OS).

The development boundaries of the proposed industrial project which overlaps designated Open Space boundaries represent an agreement with the City, State and Federal wildlife agencies and the land owner through the Habitat Management Plan (HMP) “Hardline” process.

Environmentally constrained areas of the site include the Agua Hedionda Creek and its southern fork, La Mirada Creek, and a linear riparian woodland consisting of oaks, willow and sycamore trees in the southerly portion of the parcel. The site is also occupied by a number of sensitive habitat types including Coastal Sage Scrub, Southern Maritime Chaparral/Nuttall’s Scrub Oak, Southern Mixed Chaparral, and Valley Needlegrass. The site topography can be characterized by three different topographic areas: the north facing hillside slopes that extend down from the existing Carlsbad Airport Business Center development to the south, the rocky hills which cover the central and northern site areas, and the intervening east and west canyon drainage. Portions of the site have been previously cultivated for agricultural purposes.

**D. Purposes**

The purpose of this Specific Plan is to provide for the design, development and operation of a light industrial complex within the City of Carlsbad. The land-use plan and development regulations will insure an industrial development that conforms to community goals and values and the protection of adjacent land uses from unfavorable impacts. This Specific Plan will address land uses, development standards, design guidelines, public facilities, infrastructure implementation measures, environmental considerations, administration, and enforcement.

This Specific Plan is adopted pursuant to the provisions of California Government Code sections 65450 et seq. and the Land-Use Element of the City of Carlsbad General Plan. The Specific Plan establishes the zoning and development standards for this property. The Specific Plan provides detailed regulations, conditions and

procedures for development within the area specified herein. Unless otherwise specified in this plan, the project is consistent with and will implement the following city and airport land use plans/policies:

City of Carlsbad General Plan

Carlsbad Municipal Code, Section 21.90 (Growth Management Program)

Zone 16 Local Facilities Management Plan

McClellan-Palomar Airport Comprehensive Land Use Plan

### **E. Proposed Land Uses**

The entire property is currently designated under two major General Plan land-use classifications. 282 acres are designated as Planned Industrial (PI), with the remaining 135 acres designated as Open Space (OS) (See Figure 5, page I-13). Proposed land uses will result in an adjustment to the existing land use boundaries of the General Plan so that 194.5 acres are designated for PI (including 26.6 acres of roadways) and 219.5 acres are designated as OS in conformance with the City's Habitat Management Plan (HMP) hardline open space boundaries (See Figure 6, page I-14). Zoning for the property will be changed to Planned Industrial (P-M) and Open Space (OS), consistent with the land use designation boundaries (See Figure 7, page I-15).

Carlsbad Oaks North Business Park is a planned industrial development which will consist of several different uses such as industrial, research and development, and office uses. Commercial land uses that directly support the industrial park may be permitted on certain lots along Faraday Avenue and El Fuerte Street (approximately 44.3 acres). The Tentative Map consists of 23 industrial lots ranging in size from 2.6 acres to 20.8 acres, 1 Open Space lot (Lot 9) for a passive recreational area or a future pump station, and 3 Open Space lots.

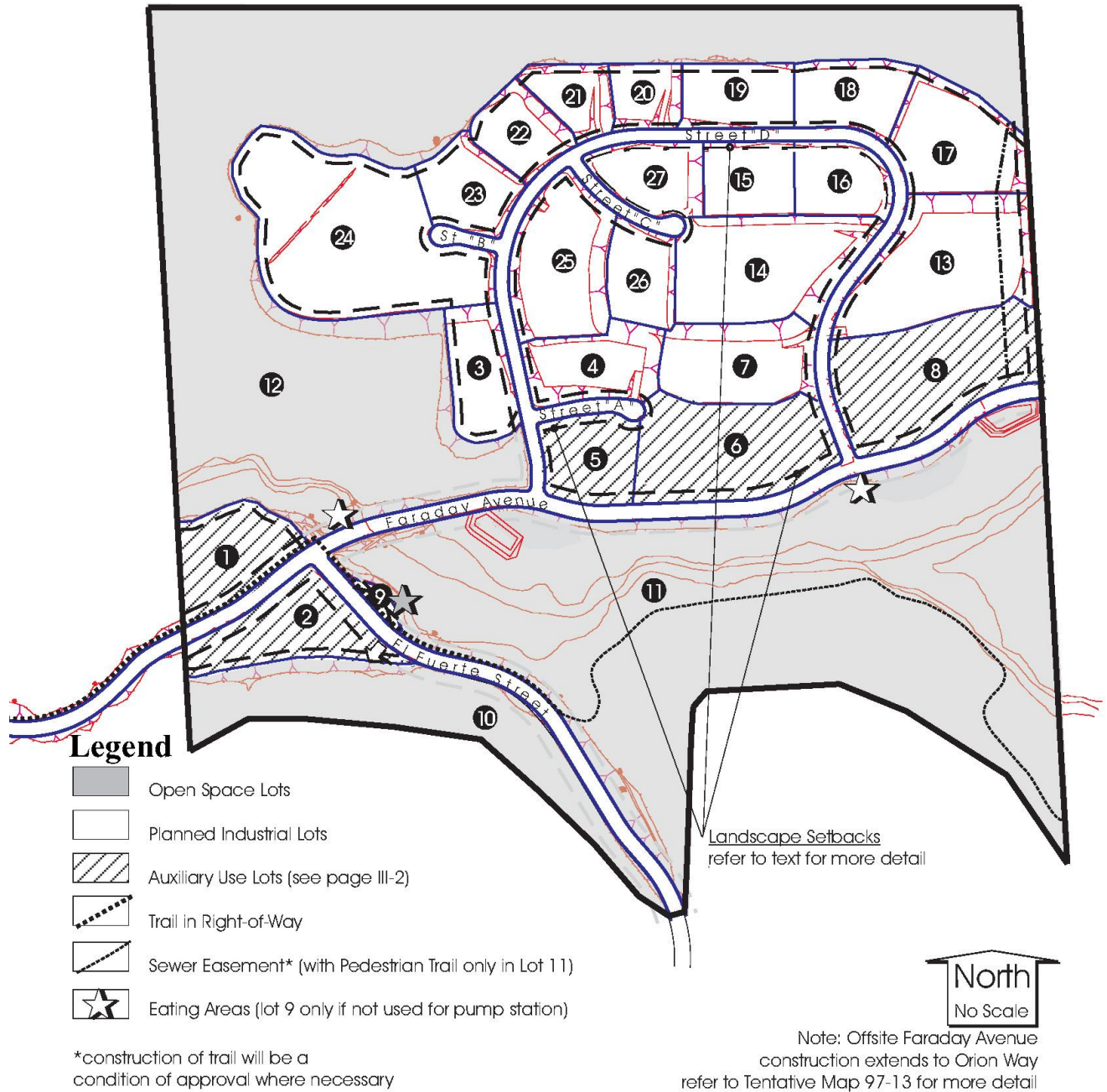
Industrial pad acreages range in size from 1.8 to 20.6 acres. Two circulation arterial roadways must be extended to provide access to the site: Faraday Avenue will be extended from its existing easterly terminus to the Specific Plan eastern boundary, and El Fuerte Street from its existing northerly terminus to Faraday Avenue. A table and map detailing proposed land uses and associated square footage is provided on Figures 3 and 4, pages I-7 and I-8, respectively.



### Figure 3 Land Use Acreages

<b>USES</b>	<b>ACRES</b>
Industrial	167.3 ac.
(Commercial Uses within Industrial)	(44.3 ac)*
Sewer Pump Station/Open Space	0.6 ac.
Streets	26.6 ac.
Open Space	219.5 ac.
<b>TOTAL</b>	<b>414.0 acres</b>

\*Note: The acreage for auxiliary Commercial Uses within Industrial is included within the Industrial Acreage.



**Ladwig Design Group**



**Figure 4**  
**Land Use Schematic**

**F. Issues Addressed in the Plan**

Issues addressed by this plan include land use compatibility with the existing industrial development to the south (Carlsbad Airport Business Center), the existing open space and industrial development to the west (Faraday Industrial Park, the Dawson Los Monos Canyon Reserve to the north, the existing residential development to the east, and the airport. Issues also include preservation of open space (including the protection and maintenance of sensitive biological resources), visual aesthetics of the development, consistency with the General Plan, provision of adequate public facilities and improvements, and the Zone 16 Local Facility Management Plan.

**G. Relationship of the Plan’s Policies to its Regulations**

The Carlsbad Oaks North Specific Plan is both a policy and a regulatory document. The Plan will serve as the zoning ordinance for the subject property. Where the plan varies from the existing city regulation, specific policy statements are presented to clarify the intent and purpose of the proposed regulation.

The specific plan goals and policies, as specified in Section IID below, will serve to generally guide and direct development within Carlsbad Oaks North Business Park. The specific plan regulations will implement these goals and policies. Detailed regulations will control the type, location, intensity, and appearance of development in Carlsbad Oaks North Business Park. The illustrative plans contained in this document are conceptual in nature only. Specific project site design shall be subject to future City review and must conform to all applicable codes, standards and design requirements.

**H. Compliance with the General Plan**

The Carlsbad Oaks North Specific Plan is consistent with and implements the Carlsbad General Plan. Specifically, it addresses the following General Plan goals applicable to Carlsbad Oaks North Business Park:

**1. Land Use Element**

- a. Industrial Goal A - A City which develops an industrial base of light, pollution-free industries.**

The Carlsbad Oaks North Specific Plan is consistent with the intent of this goal, as it incorporates office, research and development and light manufacturing uses into the Specific Plan.

**b. Commercial Goal A – A City that achieves a healthy and diverse economic base by creating a climate for economic growth and stability.**

The light industrial component of the Carlsbad Oaks North Specific Plan will strengthen the City’s tax base, as well as provide increased job opportunities for local residents. The Carlsbad Oaks North Specific Plan allows for the commercial development of appropriate lots to serve the needs of the specific plan’s tenants as well as accommodating local residents.

**c. Employment Goal A – A City which develops an industrial base of light, pollution-free industries of such magnitude as will provide a reasonable tax base and a balance of opportunities for employment of local residents.**

The Carlsbad Oaks North Specific Plan includes 23 industrial lots ranging in size from 3.0 acres to 20.7 acres, which will provide a significant tax base, as well as employment opportunities for local residents.

**d. Environmental Goal A – A City which protects and conserves natural resources, fragile ecological areas, unique assets and historically significant features of the community.**

The Carlsbad Oaks North Specific Plan is consistent with the intent of this goal by protecting large areas of natural resources, and by buffering the Los Monos Canyon Reserve. The project area is generally drained by the Agua Hedionda Creek. The northwest portion of the project area drains to Agua Hedionda creek, and the remaining portion of the area drains south to La Mirada Creek, which is a major tributary of Agua Hedionda Creek. All proposed lots drain southerly away from the Los Monos Reserve. A small area of undeveloped land adjacent to the reserve will drain from the Carlsbad Oaks North open space lot 12 to the northwest and into the natural drainage course into the reserve.

**2. Open Space and Conservation Element**

**a. Goal A.1 Preserve and create an open space system**

Preservation of open space, and particularly the large open space habitat corridor that wraps around the Specific Plan area from the northwest to the southeast, is an important aspect of the Specific Plan. Open space constitutes the largest single land use within the Specific Plan area, and much of the Specific Plan open space is in this large, contiguous habitat corridor. The large open space areas shown in the Carlsbad Oaks North Specific Plan will provide a certain degree of visual relief to the industrial park, as well as a sense of natural spaciousness.

**3. Circulation Element**

- a. Alternative Modes of Transportation Goal A – A City which promotes, encourages, and accommodates a variety of transportation modes as alternatives to the automobile.**

The circulation plan for Carlsbad Oaks North Business Park has been designed to comfortably accommodate automobile, mass transit, pedestrian and bicycle needs. Bus services, shuttle linkages to the Coaster, bicycle and pedestrian trails are all encouraged in Carlsbad Oaks North Business Park as alternatives to the automobile, as discussed below.

- b. Street and Traffic Control Goal A.1 – A City with an integrated transportation network serving local and regional needs which accommodates a balance of different travel modes based on safety, convenience, attractiveness, costs, environmental and social impacts.**

Regionally, the city of Carlsbad, is served by the North County Transit District (NCTD) which provides bus transit services to the north county coastal communities, including the cities of Oceanside, Carlsbad, Encinitas, and Del Mar. The NCTD currently operates two local bus routes through the City of Carlsbad, two “corridor” bus routes which run along the coastal corridor and the El Camino corridor inland, and one express line that provides bus service from Oceanside to La Jolla and San Diego. A commuter rail service, the Coaster, has been established linking Oceanside with San Diego along the existing San Diego Northern Railroad which connects Los Angeles and San Diego. Two station locations in the city of Carlsbad, on Grand Avenue and on Poinsettia Lane have been constructed along the 42 mile Coaster line. Support transit service, in the form of shuttles, will be encouraged between the stations and Carlsbad Oaks North Business Park.

The Carlsbad Oaks North Specific Plan will provide a pedestrian circulation system which is both safe and comfortable, thus encouraging non-vehicular traffic. A pedestrian trail easement within the open space system or an expanded right-of-way along El Fuerte Street and Faraday Street will enhance the pedestrian experience, thus encouraging the use of alternate modes of transportation. In addition, with the completion of Faraday Avenue and El Fuerte Street, public transportation will have access to the Specific Plan area.

**I. Entitlement Approvals Permitted by the Specific Plan**

Approval of this specific plan establishes the zoning for Carlsbad Oaks North Business Park, setting forth the permitted uses and regulatory criteria and guidelines. Future development of Carlsbad Oaks North Business

Park is subject to all terms and conditions of the specific plan. This plan serves to implement the General Plan in conjunction with the Planned Industrial (PM) zoning classification on the site. Any details or issues not specifically covered by this Specific Plan shall be subject to the regulations of the Carlsbad Zoning Code. All development will comply with the development standards of the PM zone, Chapter 21.34 of the Zoning ordinance unless otherwise specified herein. Approval of this plan does not vest any rights for future approvals of any licenses, discretionary acts or other entitlements necessary for future development within Carlsbad Oaks North Business Park.

An Environmental Impact Report, Local Facility Management Plan Amendment, Tentative Map, Special Use Permit, Hillside Development Permit and Planned Industrial Permit have been processed concurrently with this Specific Plan. Future discretionary approvals required prior to development in the specific plan area shall include one or more of the following:

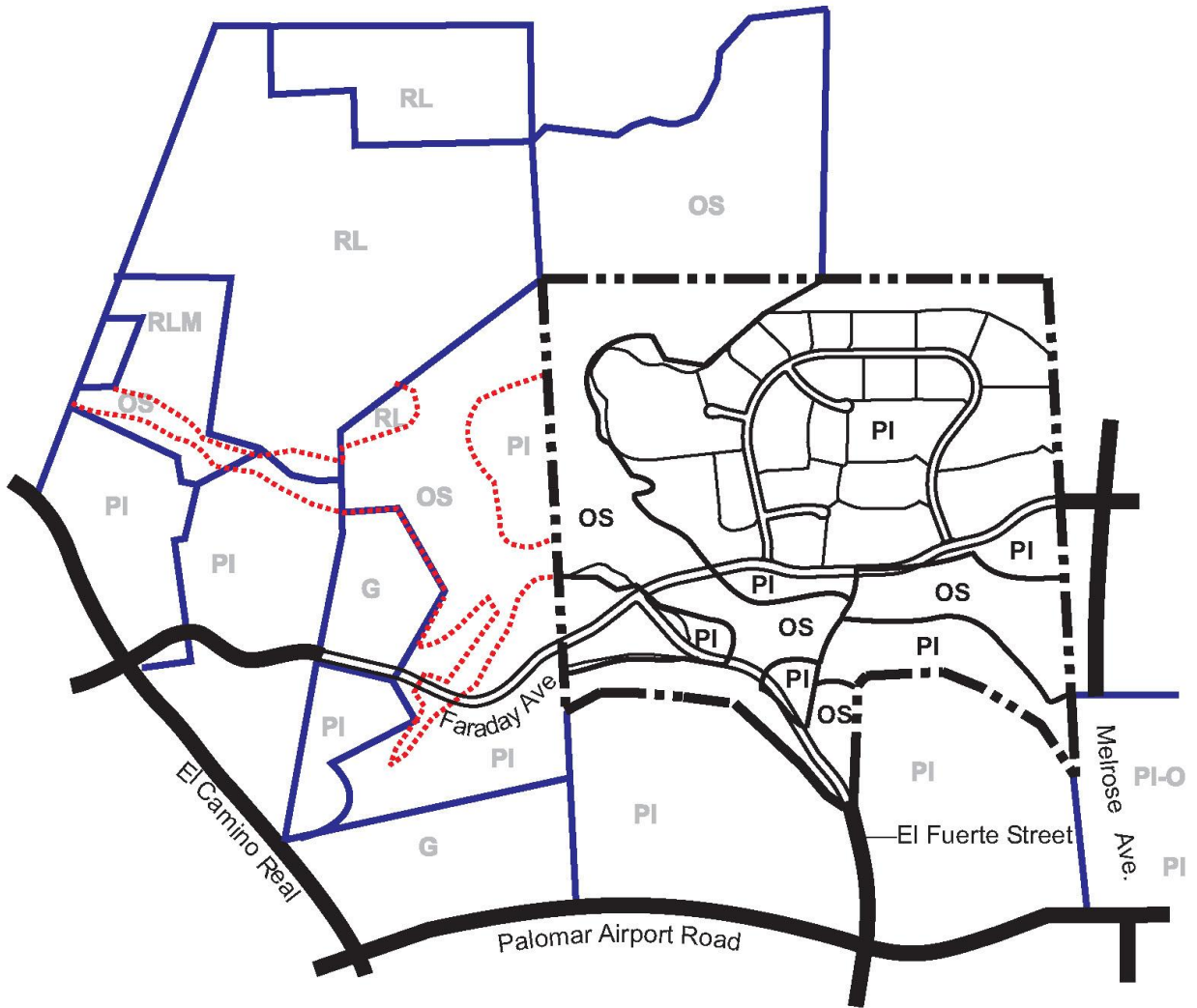
Minor Site Development Plan

Non-Residential Planned Development Permit (as appropriate)

Conditional Use Permit (as appropriate)

**J. Severability Clause**

In the event that any regulation, condition, program, or portion of this specific plan is held invalid or unconstitutional by the California or Federal Court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions, and the invalidity of such provisions shall not affect the validity of the remaining provisions thereof.



**Legend**

-  Onsite General Plan Designations (PI and OS)
-  Offsite General Plan Designations (PI and OS)

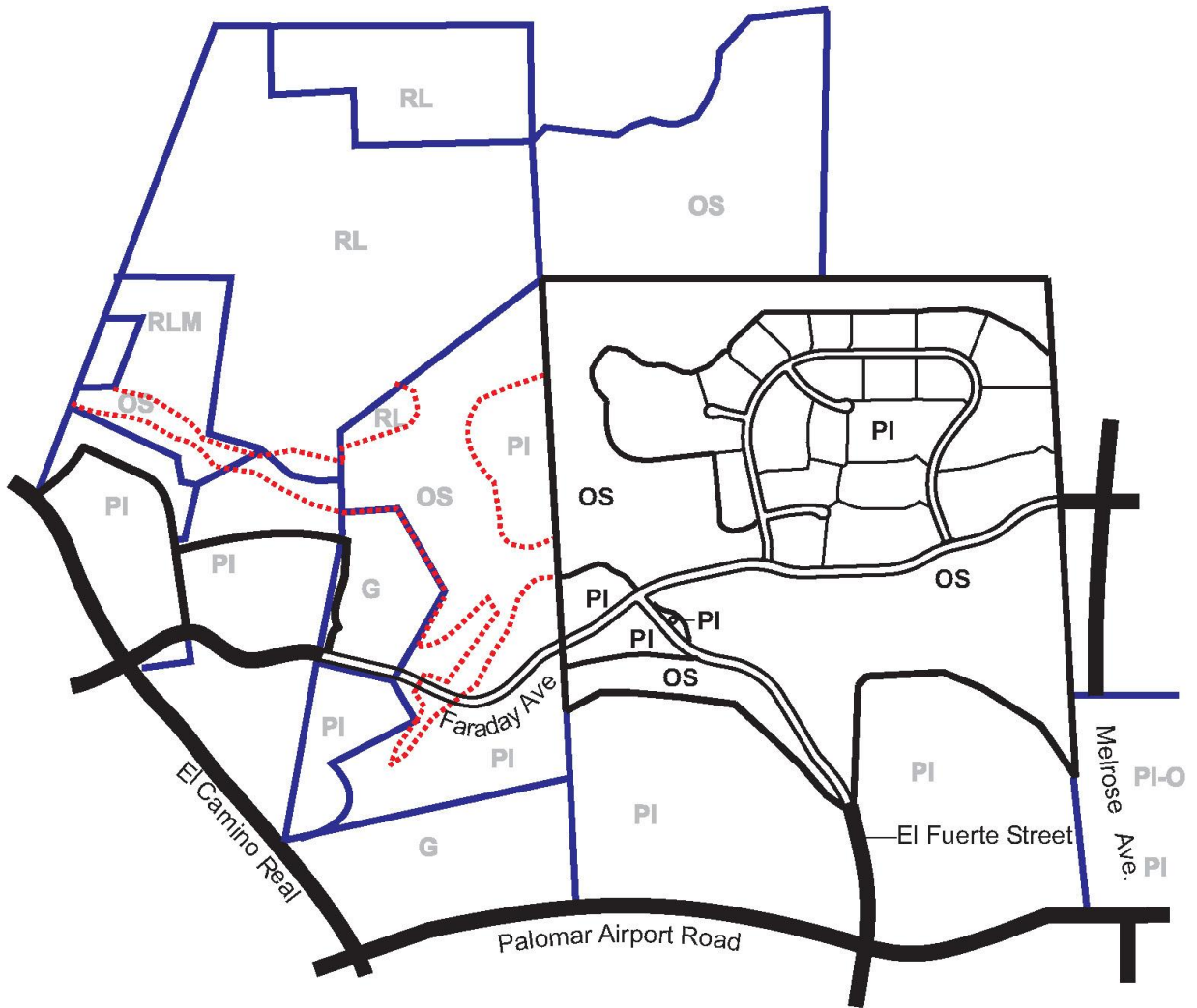


**Ladwig Design Group**



**Figure 5**

**Existing General Plan**



**Legend**

-  Proposed General Plan Designations (PI and OS)
-  Existing General Plan Designations (PI and OS)

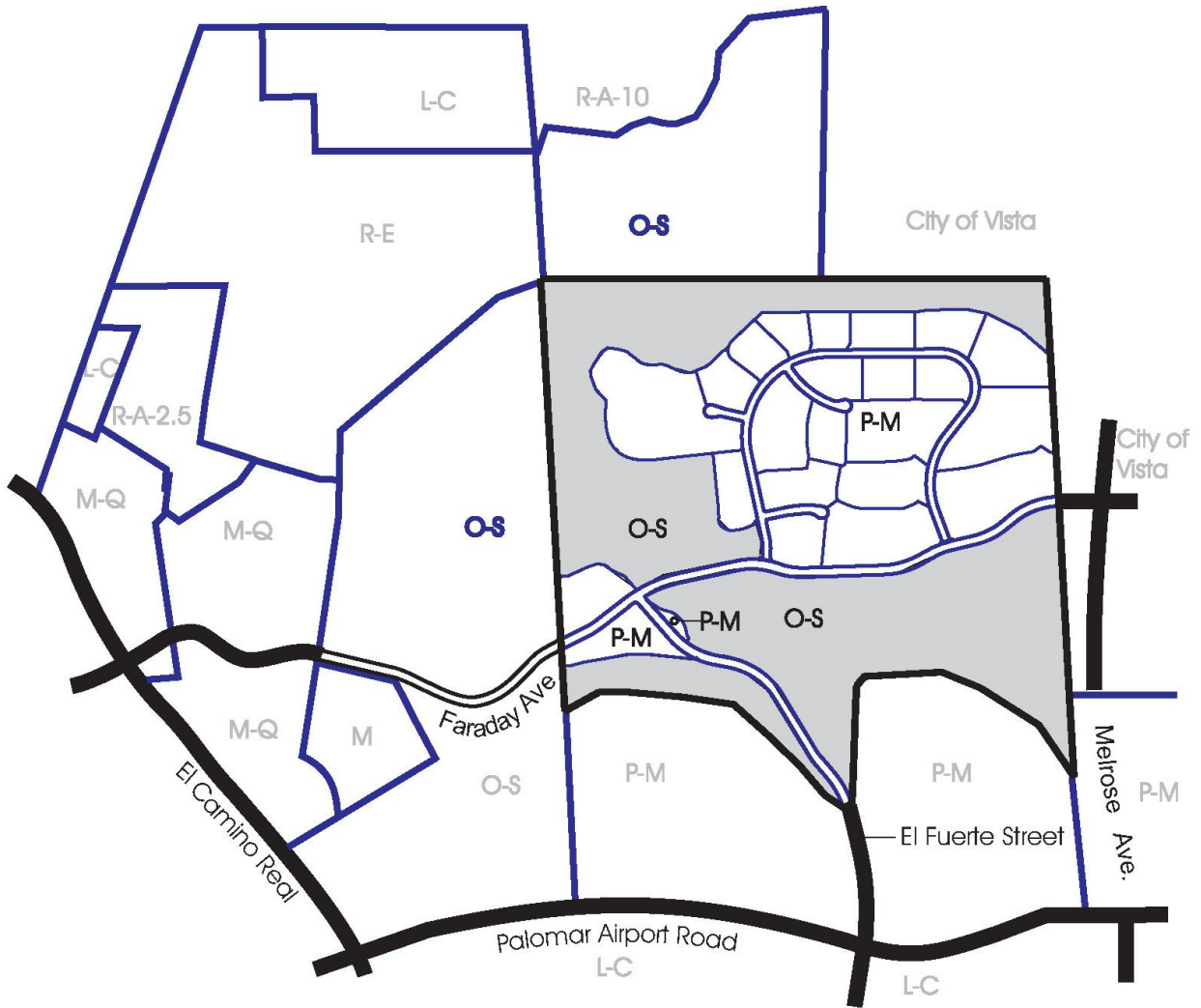


**Ladwig Design Group**



**Figure 6**  
**Proposed General Plan**





**Legend**

- P-C Entire Site is Currently Zoned P-C
- P-M Proposed Zoning (P-M and O-S)



**Ladwig Design Group**



**Figure 7  
Proposed Zoning**

## II. LAND USE

### A. Introduction

This section describes the Carlsbad Oaks North Specific Plan, its goals and proposed land uses. It begins with an overview of the site's opportunities and constraints for development, including land use compatibility issues, natural and cultural features, and infrastructure considerations. A general development concept follows, which describes the proposed land uses. Goals, objectives, and policies follow, which will provide the framework for future development of Carlsbad Oaks North Business Park.

### B. Opportunities and Constraints

#### 1. Land Use Compatibility Issues

Carlsbad Oaks North Business Park is compatible with the existing industrial developments to the south (Carlsbad Oaks Business Center) and west (Faraday Industrial Park). Its proximity to the Dawson Los Monos Reserve to the north and the residential development in the City of Vista to the east will require special consideration to achieve compatibility with respect to noise, hazards and aesthetics. The development also lies within the flight activity zone of Palomar Airport. To achieve compatibility with Palomar Airport and to meet FAA requirements, a building height restriction matching the highest natural elevation on the property will be required.

#### 2. Natural and Cultural Features

The most significant natural feature on the site is the Agua Hedionda Creek and its southern fork, La Mirada Creek, which cross the southerly portion of the parcel. Natural plant communities along this area include oak riparian forest, oak woodland, willow scrub, and marshes. Much of this natural habitat will be preserved. On the remainder of the site are gently rolling shrub-covered hills previously cultivated for agricultural purposes. Predominant plant communities here include chaparral and coastal sage scrub. Several eroded hillsides contain gullies. To the north of the site lies the 218 acre Dawson Los Monos Reserve. This sensitive area is part of the University of California Natural Land and Water Resources System and is used by the university for scientific and educational purposes. A 300' buffer between the Reserve and the project is proposed (see Figure 10, page II-10).

Cultural sites are located within the boundaries of Carlsbad Oaks North Business Park. The sites have been identified and will require further investigation or possible mitigation prior to grading or disturbance.

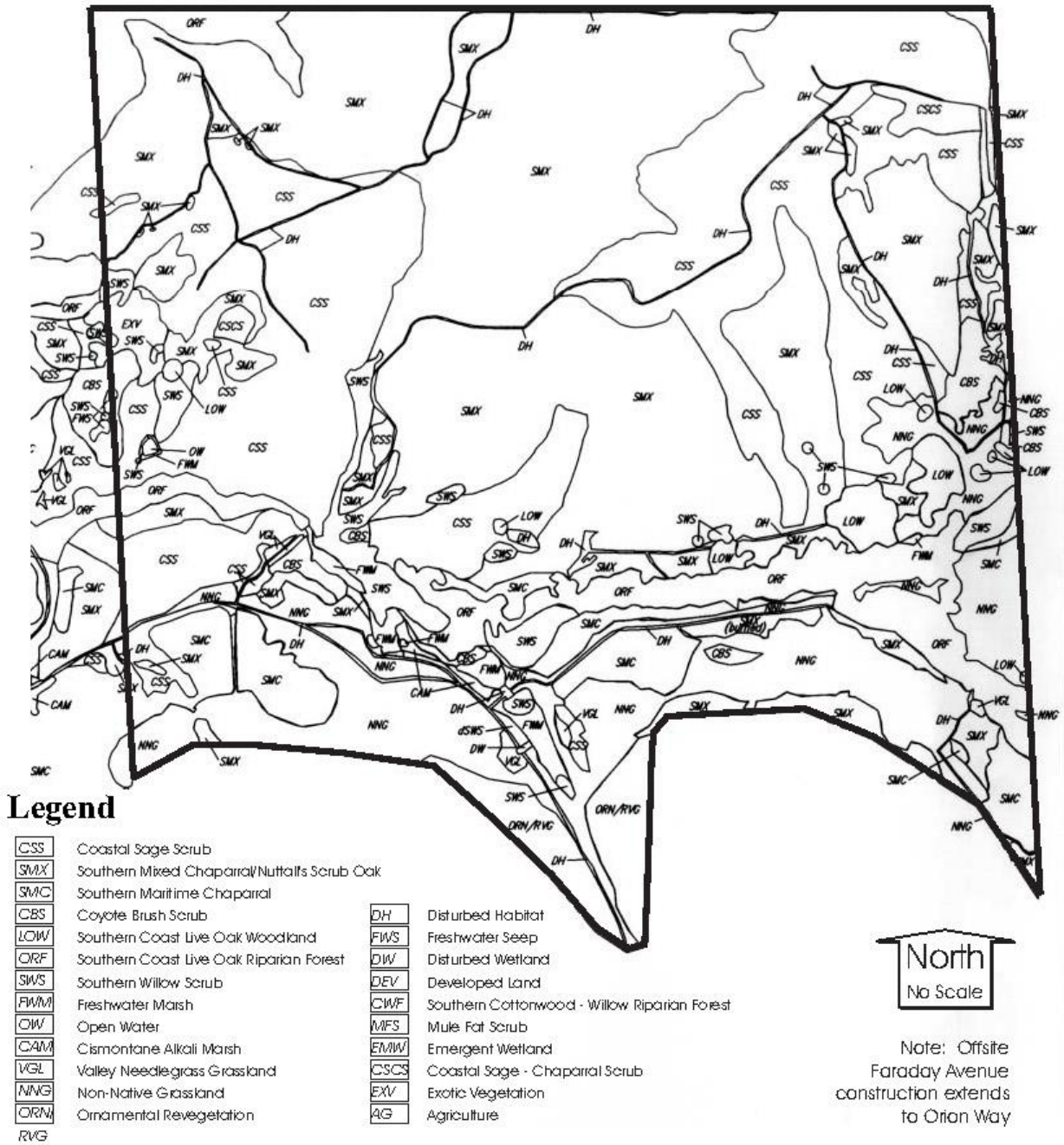
### **3. Infrastructure Considerations**

The alignments of Faraday Avenue and the extension of El Fuerte have been carefully considered to minimize impacts on La Mirada Creek and still function as intended by the Circulation Element. Creek crossings, which would have been originally required by the General Plan alignment, have been eliminated by moving the alignment of El Fuerte westward. The only remaining creek crossing occurs where the creek narrows, so that the impacts are lessened.

The City's Sewer Master Plan calls for the construction of the South Agua Hedionda Interceptor Sewer from the Raceway property near Melrose Avenue at the Carlsbad/Vista boundary northwesterly through Carlsbad Oaks North Business Park and County of San Diego property, along Sunny Creek to the existing line recently constructed for the "Terraces" residential subdivision. The South Agua Hedionda Interceptor Sewer cannot be constructed north of Faraday Avenue due to environmental constraints. Therefore, the sewer alignment consists of a gravity sewer within an existing sewer easement road south of Faraday Avenue from the Carlsbad Oaks North eastern boundary to the El Fuerte Street right-of-way where it continues north to Lot 9. At Lot 9, the sewer will become a force main sewer utilizing a pump station. The force main sewer will be constructed within the rights of way of El Fuerte Street north to Faraday Avenue and west in Faraday Avenue to El Camino Real and north to the connection of the South Agua Hedionda trunk sewer near College Blvd.

Vista Sanitation District has indicated that they will relocate two existing force mains from onsite easement location to Faraday Avenue, westerly to the County of San Diego property and to El Camino Real.

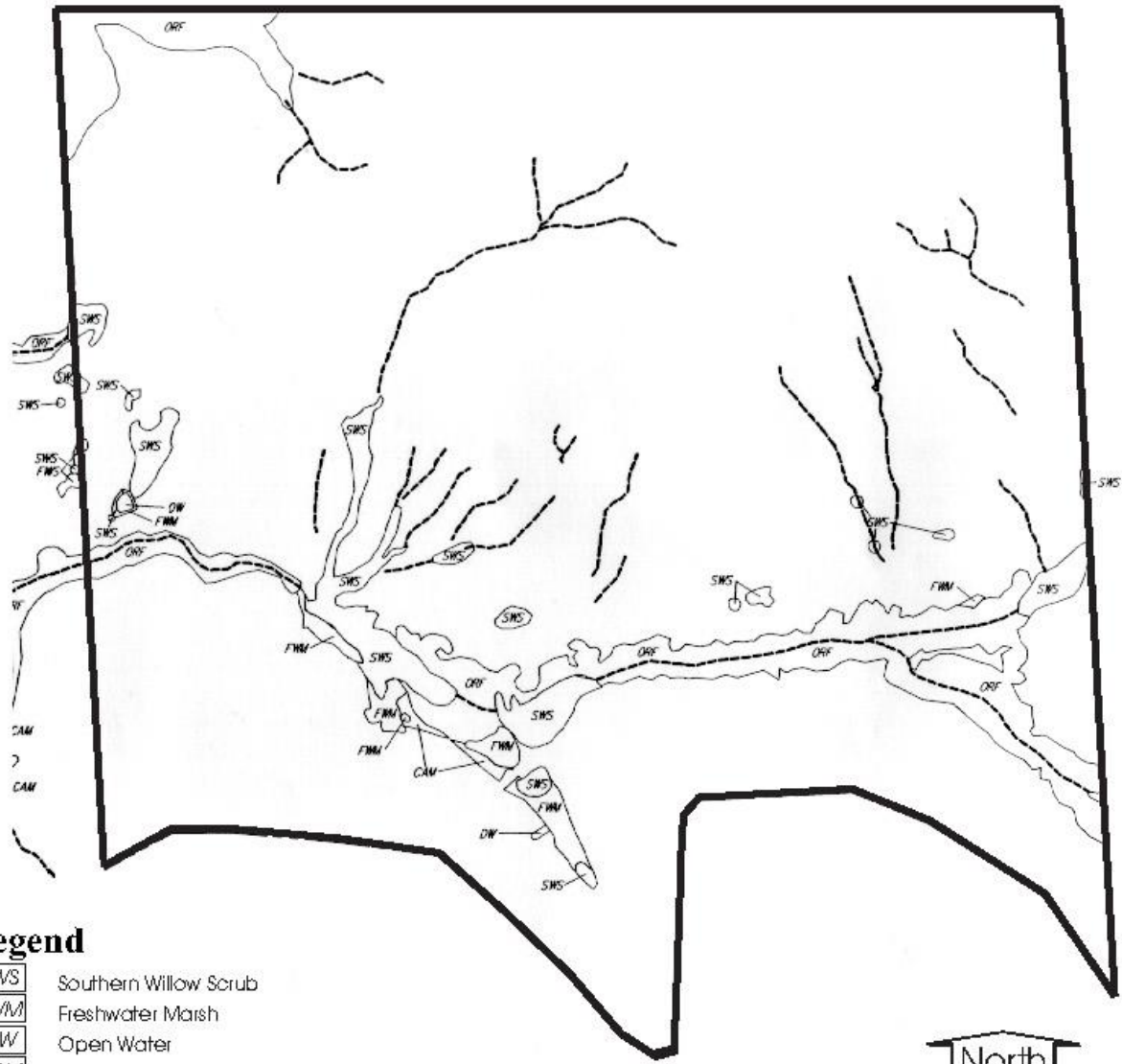
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Ladwig Design Group



Figure 8  
Vegetation Types



**Legend**

- SWS Southern Willow Scrub
- FWM Freshwater Marsh
- OW Open Water
- CAM Cismontane Alkali Marsh
- FWS Freshwater Seep
- DW Disturbed Wetland
- CWF Southern Cottonwood - Willow Riparian Forest
- MFS Mule Fat Scrub
- EMW Emergent Wetland
- ORF Southern Coast Live Oak Riparian Forest\*
- / Non-Wetland Waters of the U.S.

\*ORF is not a wetland except where a jurisdictional boundary exists, in which case it is defined by the area of the jurisdictional boundary only



Note: Offsite Faraday Avenue construction extends to Orion Way refer to Tentative Map 97-13 for more detail

**Figure 9**

**Wetlands and Non-Wetlands**

**Ladwig Design Group**



## **C. General Development Concept**

The Carlsbad Oaks North Business Park is a planned industrial development that will consist of several different uses such as industrial, research and development, office and auxiliary commercial uses. The Tentative Map consists of 23 industrial lots, ranging in size from 2.6 acres to 20.8 acres, 1 open space lot (#9) for a future pump station and/or recreational use, and 3 open space lots. Industrial pad acreages range in size from 1.8 to 20.6 acres. Auxiliary or conditional uses that directly support the industrial park are required on either Lot 1 or 2, and may be permitted on lots that front on Faraday Avenue, subject to the issuance of a Conditional Use Permit. Access to the industrial park will be provided from El Fuerte Street and Faraday Avenue. The internal circulation consists of a loop street with cul-de-sacs. The driveway locations (shown on the Tentative Map) have been designed to be consistent with current location and engineering requirements (see Figure 10, Page II-10).

Preservation of open space, and particularly the large open space habitat corridor that wraps around the Specific Plan area from the north to the southeast, is an important aspect of the Specific Plan. Open space constitutes the largest single land use within the Specific Plan area, and much of the Specific Plan open space is in this large, contiguous habitat corridor. Other open space areas include employee eating areas, a pedestrian trail system, landscaped setbacks, and slope areas. All designated open space areas are to be maintained by the Carlsbad Oaks North Business Park Association until such time that ownership is transferred to a natural lands management entity. Four open space categories are addressed within the Carlsbad Oaks North Specific Plan Area.

### **1. Open Space for the Preservation of Natural Resources**

219.5 acres are dedicated as open space. The large open space habitat corridor, which wraps around the Specific Plan area from the northwest to the southeast, is preserved as part of the City of Carlsbad's Habitat Management Plan. This open space comprises significant environmental and aesthetic resources including segments of Agua Hedionda Creek and La Mirada Creek.

### **2. Open Space for the Managed Production of Resources**

This area has not recently been used for agricultural purposes, or mined for mineral reasons. No portion of the Specific Plan will be reserved for the production of such resources.

**3. Open Space for Outdoor Recreation**

This project will provide 1.3 miles (6,800 linear feet) of Pedestrian Trail.

This project will provide 0.8 acres of private recreational facilities (employee eating areas).

**4. Open Space for Public Health and Safety**

A limited amount of manufactured slopes adjacent to natural areas is maintained in open space.

Where Faraday Avenue and the creek intersect several open space features will be constructed. An oversized culvert is proposed under Faraday Avenue to serve as a drainage facility. The culvert is proposed at or near the flow line of the existing water course. The location of the Faraday Avenue crossing was chosen to eliminate a creek crossing with El Fuerte Avenue and there is a natural narrow area which reduces wetland impacts. A separate animal crossing will be constructed here.

Based on drainage studies for the project, a detention basin is required to mitigate impacts further downstream near El Camino Real (at the Rancho Carlsbad Mobile Home Park). A dike is proposed upstream from Faraday Avenue to pond water up to elevation 240 and will back up water from the dike.

**D. Goals and Policies**

**Goal A. Establish an industrial development that will strengthen the City’s tax base and provide increased job opportunities for local residents.**

- Policy A1. Allow for the development of approximately 167 acres of industrial, research and development, and office uses, and related auxiliary or conditional uses.
- Policy A2. Allow for the development of approximately 44 acres of auxiliary commercial uses on lots that front Faraday Avenue.

**Goal B. Establish an attractive industrial development that will blend the natural and built environment, and create a high quality industrial development.**

- Policy B1. Set development standards and design guidelines that will create a well-designed and aesthetically pleasing industrial park.
- Policy B2. Develop a landscape concept that creates the industrial development’s character. Develop a rich landscape character which will attract top quality businesses and industrial users while balancing project-wide continuity, tenant visibility, employee recreational needs, maintenance concerns and the surrounding natural resources. Establish landscape standards to address Entry Areas, Major Parkways, Slopes, View Opportunities, Perimeter/Native Edge Conditions, Brush Management and the Individual Lot Development.
- Policy B3. Establish a Carlsbad Oaks North Business Park Association to maintain all landscaped open space areas and an architectural review committee to review the design of future industrial buildings.



**Goal C. Grading and drainage approaches for the site should build on the topographic character of Carlsbad Oaks North Business Park.**

- Policy C1. All grading within the Specific Plan area will be in accordance with the requirements of Carlsbad's Hillside Ordinance.
- Policy C2. Establish a storm water management system (SWPP) which utilizes, to the extent feasible, natural drainage courses, and best management practices to improve environmental quality of water runoff prior to discharge from the site.

**Goal D. Create an open space system that protects and conserves the natural resources while encouraging public awareness and appreciation of the fragile ecological areas surrounding the La Mirada Creek and Agua Hedionda Creek (see Figures 10 and 12, pages II-10 and II-12).**

- Policy D1. Increase public awareness of the La Mirada Creek area by creating vistas along Faraday Avenue and El Fuerte Street of the large expanses of natural open space.
- Policy D2. Provide an open space buffer around the La Mirada Creek and Agua Hedionda Creek through dedication of an open space easement over 219.5 acres as part of the City's HMP preserve system.
- Policy D3. Landscaping of manufactured slopes adjacent to open space areas shall be naturalizing, blending with the native vegetation.
- Policy D4. Ensure the maintenance of the open space is in accordance with HMP interim and permanent maintenance provisions.
- Policy D5. Dedicate a public pedestrian trail easement through the open space over the existing utility access road.

**Goal E. Protect the Dawson Los Monos Canyon Reserve.**

- Policy E1. Establish a 300' average buffer along the northern boundary of the industrial lots.
- Policy E2. Landscaping of manufactured slopes adjacent to the buffer shall be a naturalized, non-invasive seed mix.

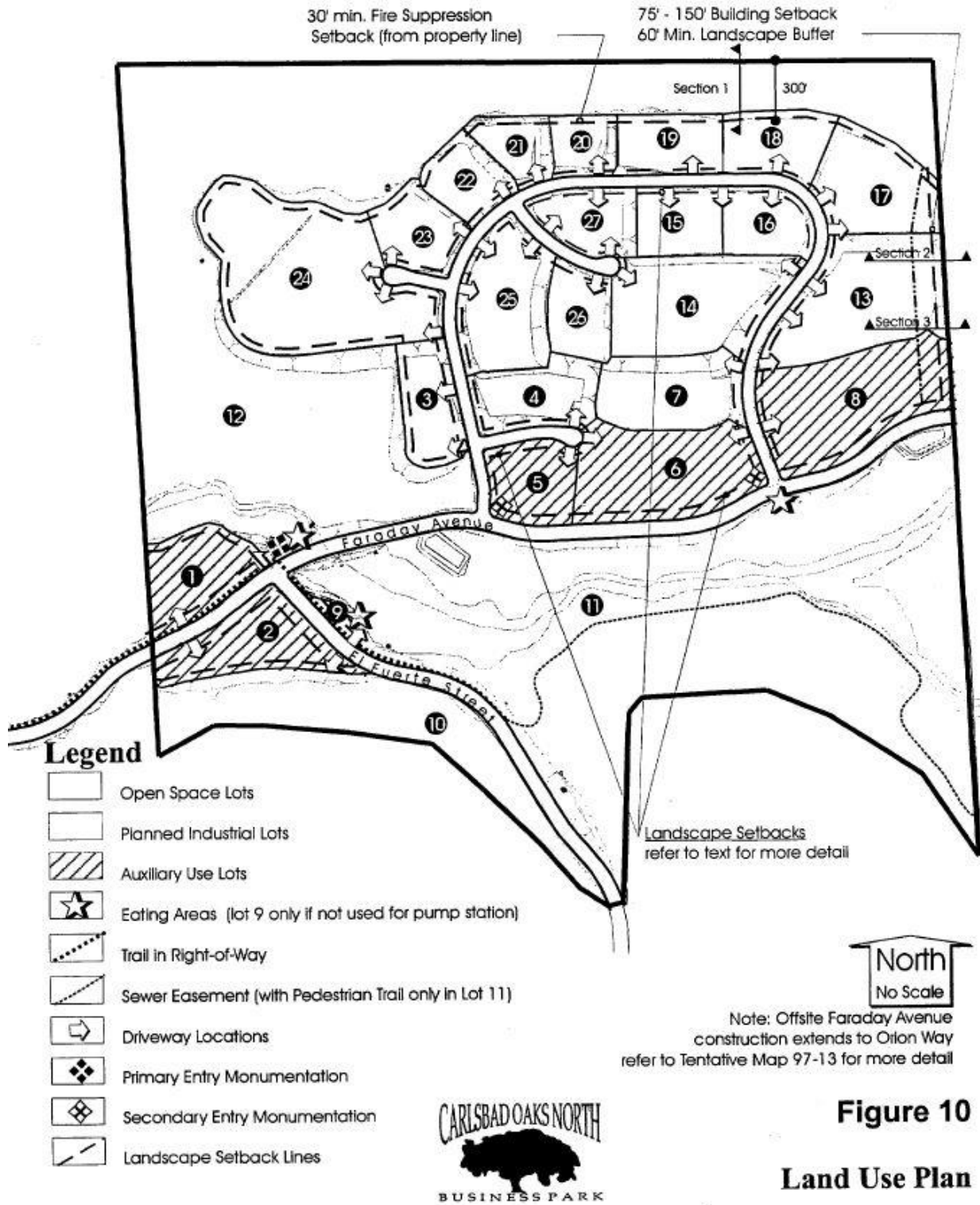
**Goal F. Provide a circulation system that facilitates movement and access needs of automobiles, pedestrians, and bicyclists.**

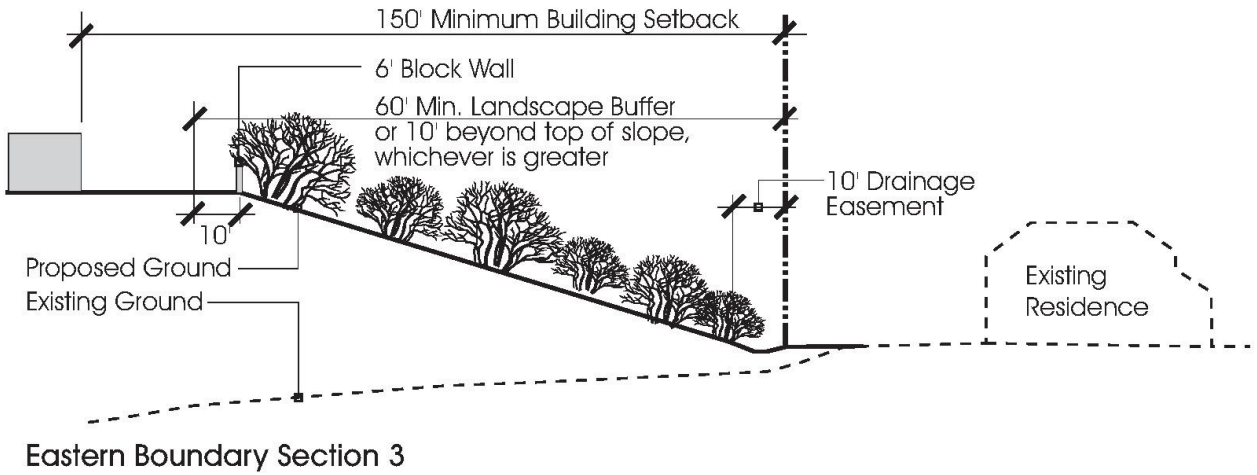
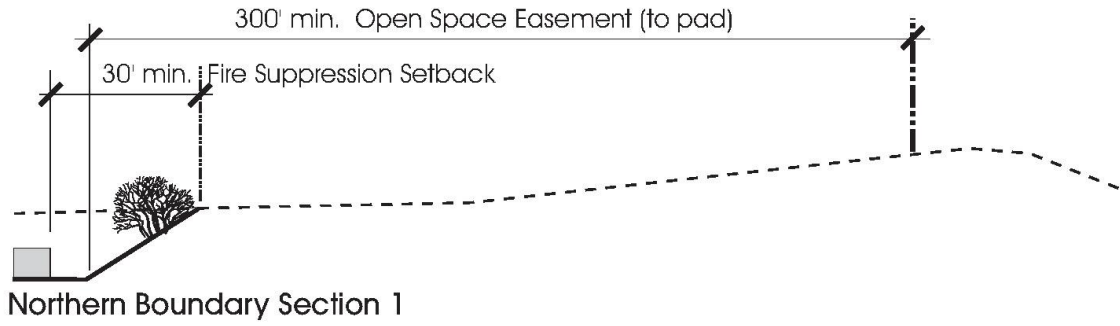
- Policy F1. El Fuerte Street and Faraday Avenue shall be designed in accordance with the Secondary Arterial street standards. The internal loop street and cul-de-sacs shall be designed in accordance with Industrial street standards with sidewalks and bike lanes.
- Policy F2. Provide approximately 1.3 miles of pedestrian trail.
- Policy F3. Encourage the use of alternative modes of transportation through:
  - Provision of a safe and efficient pedestrian circulation system.

- Provision of potential locations for future bus stops within the Specific Plan area (the exact location to be determined at the time of Tentative Map approval).

**Goal G. Minimize impacts to the adjacent residential development (see Figure 11, page II-11).**

- Policy G1. Establish an adequate separation between existing residential and future industrial uses through implementation of minimum setbacks and possible limitation to office uses (to be determined by environmental analysis), with a berm or block wall to mitigate impacts.
- Policy G2. Landscaping along the setback shall be carefully chosen and located to achieve maximum screening potential.





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Figure 11  
 Boundary  
 Cross Sections

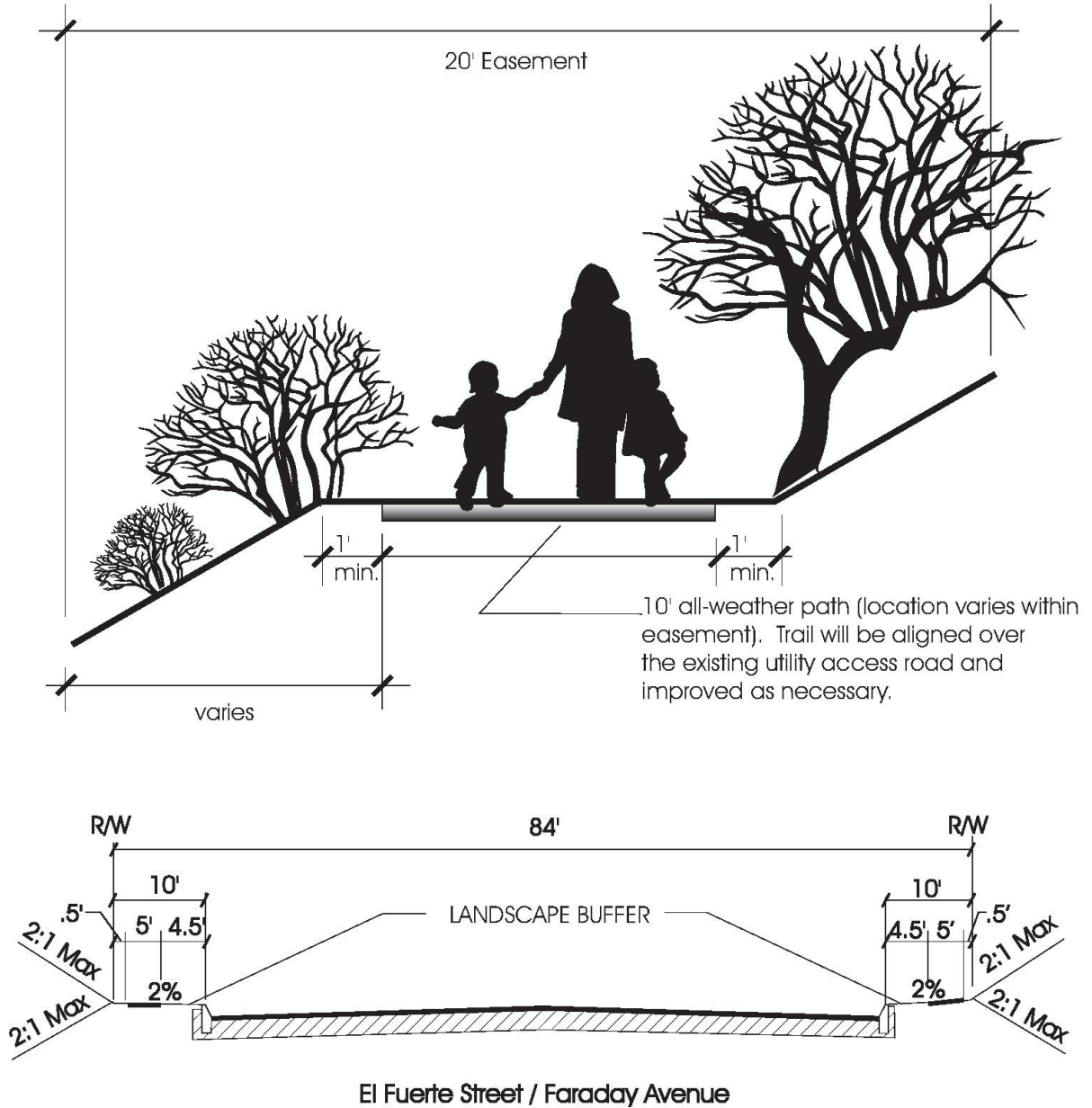
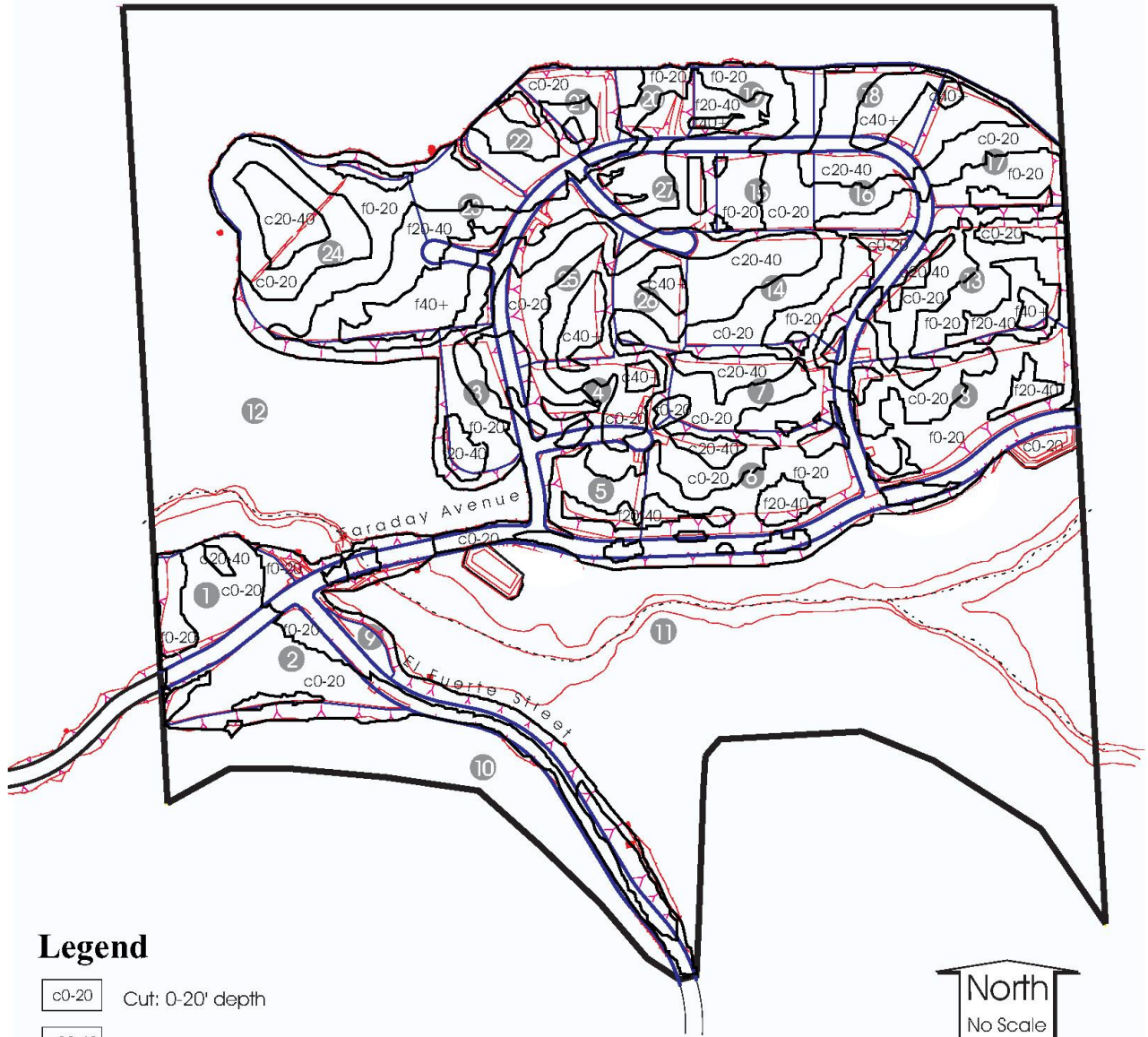


Figure 12

Trail Detail

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**Legend**

- c0-20 Cut: 0-20' depth
- c20-40 Cut: 20'-40' depth
- c40+ Cut: 40'+ depth
- f0-20 Fill: 0-20' depth
- f20-40 Fill: 20'-40' depth
- f40+ Fill: 40'+ depth



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**Figure 13**  
**Grading Concept**

**III. DEVELOPMENT STANDARDS AND DESIGN GUIDELINES**

This section provides standards that will allow unique site planning and building design on individual parcels while maintaining regulations assuring the development of an industrial center of excellent quality. Various setbacks, building separations, building heights and architectural styles will result from the various building types and land uses and prevailing topography. In accordance with Section 21.34.050 a separate Minor Site Development Plan shall be required to be submitted for review and approval by the City Planner for each industrial lot proposed for development within the Specific Plan boundaries. Except as modified by this plan, all projects shall comply with the Planned Industrial (PM) Zone development standards (Section 21.34.070), Sign Ordinance (Chapter 21.41), and the Parking Standards (Chapter 21.44) of the Carlsbad Municipal Code. In instances where a non-residential planned development is proposed, a Non Residential Planned Development Permit shall be approved by the Planning Commission in accordance with Chapter 21.47 of the Carlsbad Municipal Code.

**A. Permitted Uses**

All uses shall conform to the general development concepts for a high-quality business park, with all standards and restrictions established by this plan and with the CC&Rs. Uses in Carlsbad Oaks North Business Park will be limited to light-and medium-industrial uses, research and development uses, industrial support and services uses and professional office uses, provided that such uses are confined within a building or buildings and do not contribute excess noise, dust, smoke, vibration, odor or toxic or noxious matter to the surrounding environment nor contain a high hazard potential. Uses permitted shall comply with the provisions of this document. In addition, the following conditions restricting the use of hazardous materials shall be required:

1. No project facilities located within 1,000 feet of any residential unit shall store, handle, or use toxic or highly toxic gases as defined in the most currently adopted fire code at quantities that exceed exempt amount as defined in the most currently adopted fire code.
2. Facilities that store, handle, or use regulated substances as defined in the California Health and Safety Code 25532 (g) in excess of threshold quantities shall prepare risk management plans for determination of risks to the community.

3. Facilities that store, handle, or use any quantity of a toxic or highly toxic gas as defined in the most currently adopted fire code, which are also regulated substances as defined in the California Health and Safety Code 25532 (g) shall prepare an offsite consequence analysis (OCA). The analysis shall be performed in accordance with Title 19 of the California Code of Regulation 2750.2 through 2750.3. If the OCA shows the release could impact the residential community, the facility will not store, handle, or use the material in those quantities. If a decrease in the quantity of material reduces the distance to toxic endpoint to where the community is not impacted, the facility shall be able to utilize the material in that quantity.

Computer models may be utilized as a tool to determine the distance a hazardous material can travel if released to the atmosphere. Parameters such as temperature, wind speed, atmospheric stability, and quantity released, material properties, and type of release (e.g., pressurized gases) is considered by these models. Models can be overlaid onto maps, which will show the distance to toxic endpoint in the event of a release. These models can be performed under “worst case” meteorological conditions and chemical release. Under this situation, the maximum harm potential is determined from the most sophisticated method available to ensure community safely.

#### **1. Primary Uses**

Those uses that are permitted in the Carlsbad Oaks North Business Park upon the approval of a Planned Industrial Permit shall be those that are listed in Section 21.34.020 of the Carlsbad Municipal Code and those uses permitted with a Conditional Use Permit in Section 21.34.020 of the Carlsbad Municipal Code, except that all uses must conform to items 1-3 above regarding the use of hazardous materials. All uses will conform to Section 21.34.090 of the Carlsbad Municipal Code unless otherwise specified herein, which limits potential noise, odors, vibrations, humidity, heat, glare, or high intensity illumination. This section also requires that all uses meet air quality standards, requires manufacturing to be indoors, and disallows outdoor storage and loading areas adjacent to non-industrial properties.

#### **2. Auxiliary Uses**

Those auxiliary uses which directly support the industrial park and are listed in Section 21.34.020 of the Carlsbad Municipal Code, may be permitted upon lots 1, 2, 5, 6, and 8 subject to issuance of a Conditional Use Permit in accordance with the Conditional Uses Ordinance, Chapter 21.42 of the Carlsbad Municipal Code.



### **3. Passive Open Space Use Areas and Eating Areas**

Two community passive view areas/eating areas will be developed within the Carlsbad Oaks North Business Park, with the possibility of a third. The first area is located at the intersection of El Fuerte Street and Faraday Avenue, on the eastern edge of Lot 1. The second area is on the south side of Faraday Avenue, opposite the intersection of Faraday Street and the easterly intersection of "D" Street. A third passive open space site may be provided on lot 9, provided that lot 9 is not utilized as a pump station (see Figure 14, page III-18). Each of these locations will afford users an opportunity to view the native open space areas, which are a unique feature of the site. Passive outdoor uses such as individual lunches, small informal employee gathering or "breaks" from work are intended for these sites. These sites shall be installed by the developer and provided for the tenants of the Carlsbad Oaks North Business Park prior to occupancy of the first industrial building.

### **4. Open Space**

Open Space Lots 10, 11, and 12 are subject to the provisions of the Open Space Zone, Chapter 21.33 of the Carlsbad Municipal Code, except as otherwise provided herein, and shall be subject to any future management plan approved by the City and implemented by a natural lands management entity. No encroachment or development shall be permitted, except as required for biological mitigation, passive recreation areas, utility easements, and trails including any necessary fencing and signage, as shown on Carlsbad Tract Map CT 97-13, required by Program EIR 98-08, and/or this document.

## **B. Parking**

All parking shall be provided onsite. The parking requirement for all uses shall comply with Chapters 21.44 of the Carlsbad Municipal Code. Where two or more uses occupy a single structure the parking requirement shall be determined by calculating the requirement for each use individually based on its proportional share of total floor area. No change to a use requiring more parking will be allowed unless the additional parking is provided. If the additional parking is not provided, the City shall deny the appropriate permit or license for the new use. No parking shall be allowed in the required front yard and street side yard setbacks. No credit shall be given for on-street parking.

The size and access of all parking spaces and aisle-ways shall follow the standards as provided in Section 21.44.050 of the Carlsbad Municipal Code. No parking overhang will be allowed into any required setback area. Parking overhang will be allowed only in special specific situations as reviewed and approved by the City Planner on a case-by-case basis. In no case shall parking overhang be allowed for compact car spaces.

Parking structures shall be located away from Faraday Avenue and El Fuerte Street and shall be screened from public view to the maximum extent possible. Above ground structures should utilize landscaped earth berms around the edges to reduce the apparent height of the structures. Architectural treatment, building materials and colors shall be consistent with surrounding buildings. Architectural treatment (e.g., moldings and joints) should be utilized to provide relief on large walls. Decorative screens, planter boxes, and/or trellis elements of durable high quality materials and vine planting are also required on each level to screen and soften the appearance of parking structures. Section E.3(d) of this chapter identifies the landscaping standards within the parking lot areas.

### **C. Building Setbacks**

Except as otherwise provided herein all setbacks within the Carlsbad Oaks Specific Plan area shall be subject to and consistent with Section 21.34.070 (B) of the Planned Industrial zone. For the purpose of this Specific Plan, front and street side yard setbacks are defined as the minimum distance from the ultimate right-of-way line of the frontage street. Side and rear setbacks shall be measured from the property line. Setback areas shall be landscaped and irrigated in accordance with this plan and the PM zone.

1. Special front setback for Lots 15-19, and 27: Lots 15, 16, 17, 18, and 19 shall have a minimum 25' setback, or to top of slope, whichever is greater, exclusive of any driveway other than a driveway perpendicular to the fronting street that provides access to the lot. Lot 27 shall have a minimum 25' front setback on Street C if an average 35' setback is provided on Street D.

Improvements Within Setbacks: The following improvements are specifically permitted in the street-side setback, unless otherwise specified in this section:

- a) Walks;
- b) Driveways that run perpendicular to a fronting street and provide direct access from the street to parking areas shall be permitted. However, upon approval of the City Planner, the

landscaped portion of the setback may be reduced to 35' to accommodate a driveway along the portion of the setback furthest from the right-of-way of El Fuerte Street and Faraday Avenue, or within 25 feet of the right-of-way line of the interior streets. Any driveways within front-yard setbacks shall be screened from public or private streets by a mixture of mounding and planting to the satisfaction of the City Planner.

- c) Landscaping (with restrictions as listed below);
- d) Planters, architectural fences or walls not to exceed 3 feet in height. (Excluding sight distance corridors which shall be less than 30 inches above street grade.)
- e) Monument signs as controlled by this Specific Plan and also subject to sight-corridor restrictions of this plan.

In the case of through lots extending from street to street, both street frontages shall be treated as a street setback.

2. Special Rear Building Setback and Landscape Buffer for Lots 8, 13, and 17:

- a) Lots 8 and 13 rear building setback: A minimum 150' building setback from rear property lines shall be provided.
- b) Lot 17 rear building setback: A minimum of 150' at the southern property line and a minimum of 75' at the northern property line shall be provided (see Figure 10, Page II-10).
- c) Landscape Buffer (Lots 8, 13, and 17): A minimum width of 60' from the eastern property line that includes a 10' wide drainage swale and 50' of landscaped buffer, or 10' beyond top of slope, whichever is greater, shall be provided. The minimum 50' wide landscape buffer shall be comprised of a minimum 12' high slope or berm and a uniform 6' high split face masonry wall with pilasters and caps located at the top of slope/berm along the entire eastern property boundary.

3. Slope Edge Building Setback: In accordance with Hillside Development Regulations, Section 21.95.120 of the Carlsbad Municipal Code, all main and accessory buildings that are developed at the top of perimeter slopes greater than fifteen feet in height shall be set back so that the building does not intrude into a .7 foot horizontal to one foot vertical imaginary diagonal plane that is measured from the edge of slope to the building. This setback shall be measured from the edge of the slope prior to additional grading (fill) to extend the slope edge through the use of retaining walls. In no case shall setbacks be less than otherwise required by this document.

4. Fire Suppression Setback: A minimum building setback of 30 feet from the property line shall be required for fire suppression on the lots abutting native vegetation (see Figure 10, page II-10). The fire suppression setback may not encroach into native vegetation, including manufactured slopes revegetated with native species.

**D. Minimum Lot Size**

Except as otherwise provided herein, minimum lot area shall be subject to and consistent with Section 21.34.070(B) of the Planned Industrial Zone.

**E. Landscape Architecture**

**1. Landscape Concept Statement**

A number of factors have been considered in establishing the landscape character and development criteria for the Carlsbad Oaks North Business Park Specific Plan. The prominent physical features of this hillside site are the generous entry streetscapes, which provide instant overview of the Business Park, large expanses of natural open space, and the site-sensitive graded slopes. These irregular slopes create a clustered development providing opportunities for a natural pattern of plant massing as viewed from a distance, and terraced overviews from the individual building pads. With this in mind, the intended setting for the Carlsbad Oaks North Business Park is reflected in the project's name. Oak trees will serve as a theme tree at entry monuments and along major streetscapes. Clustered groves of trees, planted in informal groupings of the same species, provide the primary support of the theme. Trees should be placed in large, informal groupings with shrubs massed below to give the appearance of being a remnant of an old grove or forest.

Additional landscape components such as low maintenance, drought resistant plant material, preservation of existing naturalized and native vegetation, a brush management program and sensitivity to the surrounding areas will all contribute to the success of the Specific Plan Area.

The following guidelines for the landscape character, themes, treatments and plant material selections are only guidelines and shall not be construed as absolute requirements.

Alternative concepts should be allowed as long as careful consideration is given to ensure the creation and enhancement of an aesthetically pleasing environment for this planned development.

**2. General Requirements**

- a. All landscaping must comply with the City of Carlsbad Landscape Manual.
- b. All areas within the developed area such as setbacks and areas not used for parking or storage shall be landscaped with groundcovers, shrubs, and tree materials.

- c. Natural Open Space Areas: Open Space Lots 10, 11, and 12 will be maintained in accordance with the approved management plan by the Carlsbad Oaks North Business Park Association until some future date at which time ownership will be transferred to the City or its designee for perpetual maintenance.
- d. Undeveloped Areas: For those parts of the property, in which immediate development is not proposed, the property shall be maintained by the developer/owner/lessee. These areas need not be fully landscaped until such time as the Planned Industrial Permit is implemented. All required setback areas shall be fully landscaped and maintained until development occurs.
- e. Screening: Areas used for parking, trash enclosures and all other accessory buildings shall be landscaped in such a manner as to screen said areas from access streets and adjacent properties. Plant materials for this purpose may consist of lineal or grouped masses of shrubs and/or trees. Landscape screening of parking lots from adjacent roadways and/or single family residences shall be required. No parking overhang shall be permitted at the top of slope. Cars may be screened from tops of slope by a combination of shrubs, trees and low masonry walls. Where parking lots will be visible from public streets at or below grade, the use of landscaped berms shall be used which are of sufficient height to screen parked cars.
- f. All landscaping shall meet the requirements for sight distance corridors (see Figure 16, page III-22).
- g. All landscaping pursuant to this section (except for parking areas and other building pad landscaping), shall be installed by the developer upon completion of mass grading in accordance with the approved landscape plan and maintained through the Business Park association and/or, if approved by City Council, a maintenance district.
- h. Individual lots: Building pads not occupied by buildings or parking lots shall be entirely landscaped and maintained in accordance with the approved landscape plan. These areas include required setbacks, berms, parking area planting and building perimeters. A minimum of 10 percent of the required parking area inclusive of driveways shall be landscaped. Landscaping in the building setback areas shall not count towards meeting this requirement.
- i. A detailed landscape and irrigation plan shall be submitted and approved by the City Planner prior to the approval of the final map for any phase of this project. Additionally, a detailed landscape plan shall be approved as part of the Planned Industrial Permit requirement for each industrial lot.

### 3. Landscape Treatment

Eight different categories of landscape treatment have been identified which represent the various landscape conditions that occur throughout the Specific Plan area. These categories describe the landscape treatments unique to each area or condition. Tree suggestions are provided within each classification while project-wide shrub and groundcover suggestions follow at the end of this Section. The Landscape Concept Plan (Figure 14, page III-18) compiles these criteria into a graphic form for use as a visual guide for locations and overall site development.

The categories are as follows:

- a. Entry Treatments
- b. Streetscape and Street-side Setbacks (Major and Minor Streets): Including streets, adjacent slopes and building setback areas
- c. Interior Slopes and Setbacks: Slopes within the project and setback areas between building pads
- d. Parking Areas: Parking areas associated with the final building plans
- e. Passive Open Space Use Areas and Eating Areas: Developer provided passive open use sites and outdoor eating areas
- f. Perimeter Screening: Perimeter treatments along the north and eastern edge adjacent or oriented toward the existing residences
- g. Naturalizing / Exterior Slope: Slopes oriented toward the natural open space areas
- h. Fire Suppression/Slopes
- i. Suggested Shrubs and Groundcovers (all landscape treatment areas)

#### a. Entry Treatments:

One primary and two secondary entry statements providing a sense of arrival will be developed at the intersection of Faraday Avenue and El Fuerte Street and the two main entry points to the Carlsbad Oaks North Business Park at the intersections of Faraday Avenue and Street “D” (respectively). See Figure 14, page III-18. These entry areas will include monument walls or signs along with strong identifying landscape elements. A refined landscape character will be created through the use of certain plant material, enhanced paving, lighting, and contour berming. Groupings of mature oak trees (transplant existing specimen oak trees located onsite where feasible or offsite as necessary) will provide a strong identifying background element at the entries along with other accent trees, accenting shrubs and groundcover.

Entry/Monument tree suggestions:

Quercus agrifolia	Coast Live Oak
Pyrus species	Ornamental Pears
Pinus species	Pine

b. Streetscape and Street-side Setback Areas:

The streetscape area encompasses the street right-of-way, the adjacent street-side setback area and any additional slope area, which is oriented toward the street throughout the Business Park. An overall landscaping program comprised of an effective combination of street trees, tree massing, shrubs and ground cover shall be established to unify the development. A 50-foot landscaped setback is provided along El Fuerte Street and Faraday Avenue. Streets A, B, C, and D shall include an average 35' wide landscape easement that promotes greater continuity through Carlsbad Oaks North Business Park as well as with the adjacent Carlsbad Oaks West and Carlsbad Oaks East Business Parks. It also affords opportunities for enhanced landscape treatment within the streetscape areas, as well as providing additional distance between the travel lane and future buildings. Large, street-facing slopes should be densely planted with shrub material of varying height and groundcover to minimize the constructed quality of the slopes and maintain a more natural appearance. Slope trees should be planted in large, informal groupings of the same species to create a dense "grove" effect. While dense tree planting is preferred, special attention should be given to preserve view opportunities. Tree placement should be done with reference to anticipated location of all structures.

- 1) Major Streets (El Fuerte and Faraday Avenue): Except for approved driveway and sidewalk locations, the entire area between the curb and the building setback line along with any additional slope area which is oriented toward the street shall be landscaped and maintained by the developer, Carlsbad Oaks North Business Park association or maintenance district. Street tree planting shall be formal along these streets.
- 2) Industrial Streets: Except for approved driveway and sidewalk locations, the entire area between the curb and the building setback line along with any additional slope area which is oriented toward the street shall be landscaped and maintained by the developer, Carlsbad Oaks North Business Park association or maintenance district. Street trees shall be planted in informal groupings.
- 3) Berms: The landscaping in all street-side setbacks shall include berms to screen parking where possible and as noted below. The average height of berms along major streets and Street "D" shall be 36 inches. The height of the berm shall be measured from street curb or parking lot curb, whichever is higher. When the parking area is more than 36 inches below

street level, the berm may be reduced to 18 inches. Berms are not required where the entire area between the street and building is to be landscaped and free of parking.

- 4) Intersections: Accent or enhanced landscaping shall be provided at key intersections throughout the business park. Landscaping and berms, not including trees, will be limited to a height of 30 inches within the triangle formed by a line extended between points 45 feet distant from the intersection of the right-of-way lines prolonged. Collector and arterial streets shall conform to AASHTO sight distance requirements (see Figure 16, page III-22).
- 5) Driveways: Landscaping and berms, not including trees, will be limited to a height of 30 inches within the triangle formed by a line extended between points 45 feet distant from the intersection of the right-of-way lines prolonged.
- 6) All landscaping planted within San Diego Gas & Electric or other utility company easements shall conform to the standards applied to those easements and shall be approved by SDG&E.
- 7) All screening trees shall be evergreen varieties.

Streetscape and Street-side setback tree suggestions:

Quercus agrifolia	Coast Live Oak
Koelreuteria paniculata	Goldenrain tree
Pinus species	Pine
Alnus rhombifolia	Alder

c. Interior Slope and Setback Areas:

All manufactured slope banks adjacent to a public roadway and all interior manufactured slope banks 4 feet and higher shall be stabilized, planted with a combination of trees, shrubs, and ground cover and irrigated consistent with the City's Landscape Manual. These slopes are predominately manufactured or man-made and located between building pads as either a rear or side slope. Within these areas, the main objective of the plant material is to stabilize the soil, provide screening and address view opportunities. The plant material will be more ornamental than native, yet should be of a drought resistant nature. Trees should be planted in large, informal groupings of the same species to create a "grove" effect. While dense tree planting is preferred, special attention should be given to preserve view opportunities. Tree placement should be done with reference to anticipated location of all structures and maintaining access to their "front door". The trees shall be placed more frequently in the lower portions of the slope to afford the lower lots privacy and preserve distant overviews from upper lots.



Interior slope and setback tree suggestions:

Pinus species	Pine
Tristania conferta	Brisbane Box
Quercus agrifolia	Coast Live Oak

d. Parking Areas:

Trees, equal in number to one per four parking stalls shall be provided throughout all private on-site parking areas. Trees pertaining to this requirement shall be located within the parking area, exclusive of building setback areas. The trees may be clustered, grouped or distributed evenly across the area. Evergreen canopy trees with minimal litter shall be used within parking areas. Planter islands shall be per the City of Carlsbad’s Landscape Manual.

Landscaping or any combination of landscaping, mounding and decorative walls shall be used to provide screening of all parking areas from adjacent property or streets to a height of 3 feet.

Parking area tree suggestions:

Pyrus species	Ornamental Pear
Cupaniopsis anacardiodes	Carrot Wood
Tristania conferta	Brisbane Box

e. Passive Open Space Use Areas and Eating Areas:

Two passive open space and eating areas (with the possibility of a third) will be developed within the Specific Plan. These sites shall be installed by the developer and provided for the tenants of the Carlsbad Oaks North Business Park. Located on the eastern edge of Lot 1, adjacent to Faraday, this site affords users an opportunity to view the native open space areas, which are a unique feature of the site. A future passive open space use area may also be provided on Lot 9, provided that lot 9 is not utilized as a pump station. Passive outdoor uses such as individual lunches, small informal employee gathering or "breaks" from work are intended for all these sites. Shade structures, seating and picnic tables would be provided. Plant material shall consist of turfed areas, shade trees, shrubs and groundcover. Shrubs to be kept low for security purposes.

Outdoor Eating area tree suggestions:

Quercus species	Oak
Pyrus species	Ornamental Pear
Lagerstroemia indica	Crepe Myrtle

Platanus acerifolia	London Plane Tree
Populus nigra “Italica”	Poplar

f. Perimeter Screening Areas:

Slopes along the north and eastern edge of the property, adjacent to Dawson Los Monos Canyon Preserve and residential areas respectively, require plant material with screening qualities. Each area to be planted shall be carefully evaluated and plant material located to achieve maximum screening potential. Planting shall be placed in reference to anticipated building locations. To screen views of buildings at higher locations, large shrubs should be massed at top of slope with dense, screening trees placed further down the slope. To screen views of buildings at lower locations, trees and shrubs should be massed at top of slope. Plant material for screening should be predominately evergreen.

Native plants shall be used to the greatest extent feasible in the landscaped areas adjacent to and/or near mitigation/open space areas and/or wetland/riparian areas. The introduction of invasive exotic plant species to the landscaped areas adjacent to and/or near the mitigation/open space areas and/or wetland riparian areas shall be prohibited. Exotic species not to be used include those species listed on Lists A and B of the California Exotic Pest Plant Council’s list of “Exotic Pest Plants of Greatest Ecological Concern in California as of October, 1999.” This list includes such species as: pepper trees, pampas grass, fountain grass, ice plant, myoporum, black locust, capeweed, tree of heaven, periwinkle, sweet alyssum, English ivy, French broom, Scotch broom, and Spanish broom.

Perimeter screening area tree suggestions:

Pinus species	Pine
Quercus species	Oak
Tristania conferta	Brisbane Box
Ceratonia siliqua	Carob Tree

g. Naturalizing / Exterior Slope:

Perimeter slopes are manufactured slopes that abut both a building pad and open space or native / naturalized planting. Where naturalizing slopes are adjacent to interior slopes, a transitional planting area shall be created in the lower third of the slope to carefully blend the two treatments to appear more natural. The plant palette for this transition zone is to be approved by a biologist prior to installation. Slopes shall be planted to blend with the native vegetation, and yet produce a low fuel or fire suppression situation. Trees shall be placed in groups of the same species. Careful consideration will be given to screening buildings and parking lots where viewed across large open space areas. Naturalizing / Exterior slopes shall require permanent irrigation and minimal maintenance to eventually

naturalize. The irrigation should be reduced incrementally in the lower areas to allow the plants to become less and less dependent on irrigation water and fully naturalize to the site.

Native plants shall be used to the greatest extent feasible in the landscaped areas adjacent to and/or near mitigation/open space areas and/or wetland/riparian areas. The introduction of invasive exotic plant species to the landscaped areas adjacent to and/or near the mitigation/open space areas and/or wetland riparian areas shall be prohibited. Exotic species not to be used include those species listed on Lists A and B of the California Exotic Pest Plant Council’s list of “Exotic Pest Plants of Greatest Ecological Concern in California as of October, 1999.” This list includes such species as: pepper trees, pampas grass, fountain grass, ice plant, myoporum, black locust, capeweed, tree of heaven, periwinkle, sweet alyssum, English ivy, French broom, Scotch broom, and Spanish broom.

Naturalizing slope tree and shrub suggestions:

Pinus species	Pine
Platanus racemosa	California Sycamore
Quercus species	Oak
Arbutus unedo	Strawberry Tree
Sambucca mexicana	Mexican Elderberry
Artemisia californica	California sagebrush
Eriogonum fasciculatum	Buckwheat
Rhus spp.	
Salvia spp.	
Baccharis pilularis	Coyote Bush
Native hydroseed mix	

(see also suggestions in section h)

h. Fire Suppression Setbacks

Much of the open space consists of areas of brush vegetation. These can produce a fire threat to structures if not treated properly. An adequate separation between structures and high fire fuel vegetation (30-foot minimum) shall be provided. This buffer shall not extend outside property lines into native vegetation. The following list provides suggested tree, shrub, and groundcover species suitable for planting within this 30' fire suppression buffer (see Figure 10, Page II-10). Final selection of species to be done under the direct supervision of a biologist familiar with the adjacent habitat.

Fire Suppression Setbacks - Naturalizing Landscape

Shrubs:

Ceanothus verrucosus	Wart Stemmed Ceanothus
Ceanothus tomentosus	Ramona Ceanothus
Limonium californicum	Western Marsh Rosemary
Carpenteria californica	Bush Anemone
Comarostaphylis diversifolia	Summer Holly

Groundcover:

Atriplex canescens	Four-wing Saltbush
Baccharis pilularis	Coyote Bush
Lonicera subspicata var. denudata	San Diego Honeysuckle
Ceanothus griseus horizontalis 'Yankee Point'	Carmel Creeper

Native Hydroseed Mix - in consultation with Biologist (to exclude restricted high fuel species)

Fire Suppression Internal Facing Slopes

Shrubs:

Raphiolepis indica	India Hawthorne
Abelia grandiflora, 'Edward Goucher'	Abelia
Rosmarinus officinalis	Rosemary
Leptospermum scoparium	New Zealand Tea Tree
Leucophyllum frutescens	Texas Ranger
Chrysanthemum maximum	Shasta Daisy
Phormium tenax	New Zealand Flax
Photinia fraseri	Photinia
Abelia grandiflora	Abelia
Viburnum spp.	
Escallonia spp.	

Groundcover:

Mimulus aurantiacus	San Diego Monkeyflower
---------------------	------------------------

*Gaura lindheimeri* 'Siskiyou Pink'

*Artemisia* 'Powis Castle'

*Geranium incanum*

Cranesbill

*Oenothera berlandieri*

Mexican Evening Primrose

*Trachelospermum jasminodes*

Star Jasmine

i. Suggested Shrubs and Groundcovers (all landscape treatment areas)

The following is a list of suggested shrubs and groundcover to be used within each of the landscape treatment areas throughout the project. They are categorized by intended use.

Accent Shrubs, Ornamental and Massing Shrubs:

*Raphiolepis indica*

India Hawthorne

*Abelia grandiflora*, 'Edward Goucher'

Abelia

*Rosmarinus officinalis*

Rosemary

*Leptospermum scoparium*

New Zealand Tea Tree

*Lavandula angustifolia*

English Lavender

*Leucophyllum frutescens*

Texas Ranger

*Chrysanthemum maximum*

Shasta Daisy

*Salvia leucantha*

Mexican Bush Sage

*Phormium tenax*

New Zealand Flax

*Plumbago capensis*

Cape Plumbago

*Acacia redolens*

*Echium fastuosum*

Pride of Madeira

Drought Tolerant / Naturalizing Shrubs:

*Ceanothus verrucosus*

Wart Stemmed Ceanothus

*Ceanothus tomentosus*

Ramona Ceanothus

*Limonium californicum*

Western Marsh Rosemary

*Carpenteria californica*

Bush Anemone

*Comarostaphylis diversifolia*

Summer Holly

*Heteromeles arbutifolia*

Toyon

*Rhus integrifolia* Lemonadeberry

*Malosma laurina* Laurel Sumac

Screening Shrubs:

*Ligustrum japonicum* Privet

*Photinia fraseri* Photinia

*Abelia grandiflora* Abelia

*Viburnum* spp.

*Escallonia* spp.

Ornamental Groundcover:

*Gaura lindheimeri* 'Siskiyou Pink'

*Heuchera sanguinea* Coral Bells

*Artemisia* 'Powis Castle'

*Gazania* spp. Gazania

*Acacia redolens* 'Desert Carpet'

*Geranium incanum* Cranesbill

*Salvia sonomensis* Creeping Sage

*Lantana montevidensis* Lantana

*Oenothera berlandieri* Mexican Evening Primrose

*Trachelospermum jasminodes* Star Jasmine

Cool Season Lawn Mix

Drought Tolerant / Naturalizing Groundcover:

*Atriplex canescens* Four-wing Saltbush

*Baccharis pilularis* Coyote Bush

*Lonicera subspicata* var. *denudata* San Diego Honeysuckle

*Ceanothus griseus horizontalis* 'Yankee Point' Carmel Creeper

*Eriogonum fasciculatum* California Buckwheat -

var. *foliolosum* San Diego Variety

Native Hydroseed Mix to consist of:

Artemisia californica

California Sagebrush

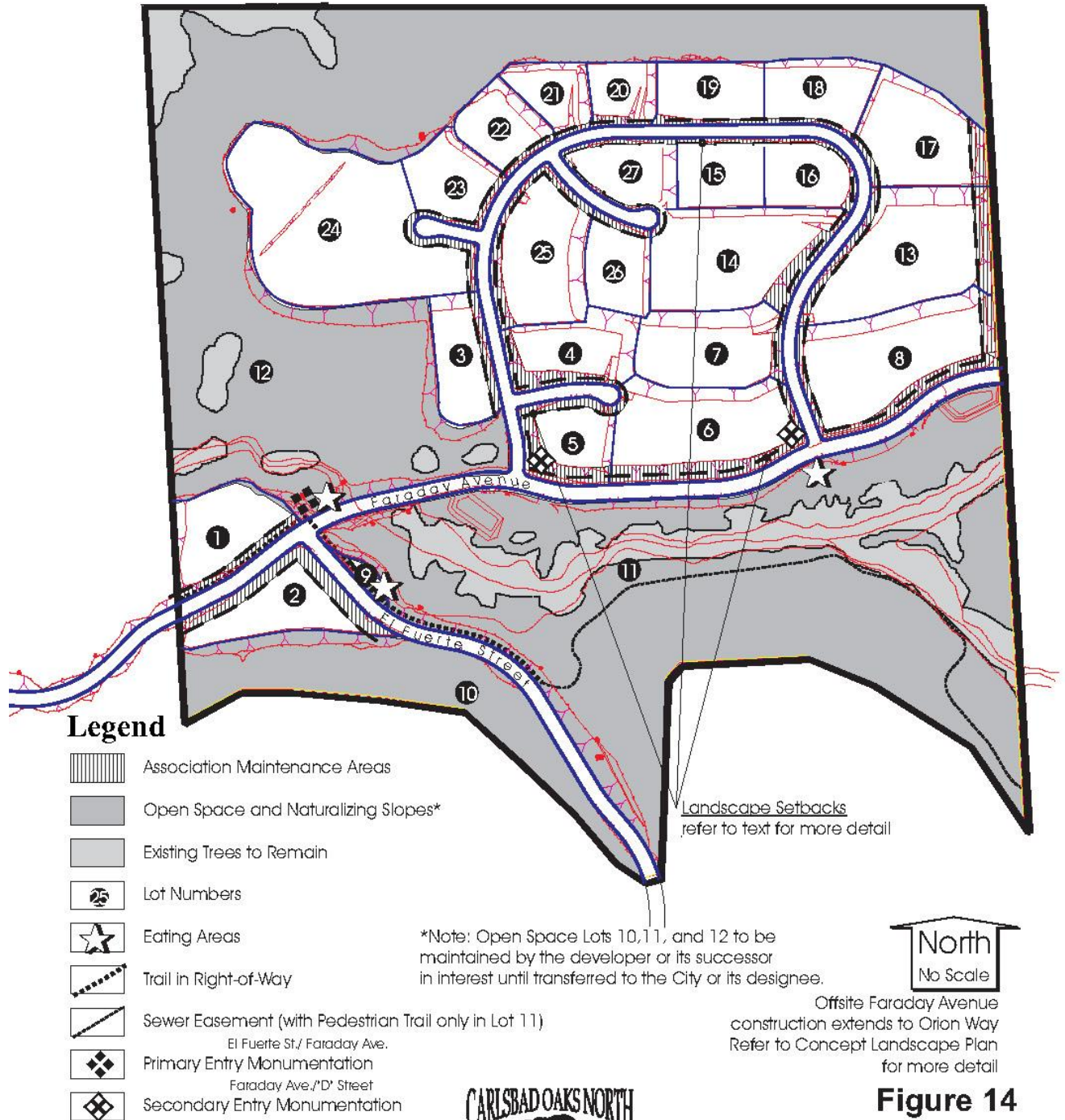
Eriogonum Fasciculatum var. fasciculatum

Salvia apiana

White Sage

Lotus scoparius var. scoparius

Coastal Deerweed



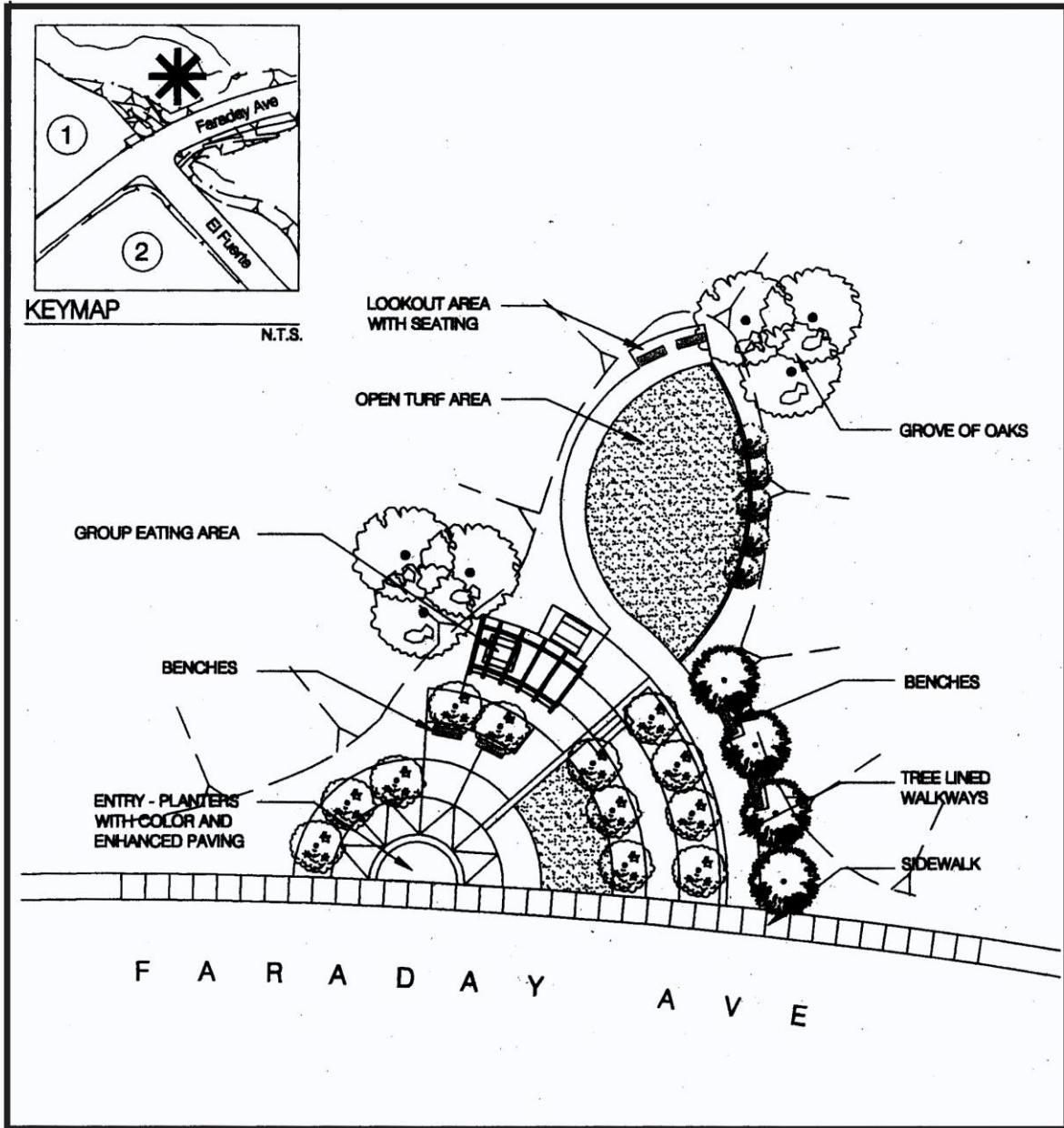
**Figure 14**

**Landscape Maintenance Areas**

**Ladwig Design Group**







ADL  
PLANNING  
ASSOCIATES

LAND PLANNING  
LANDSCAPE ARCHITECTURE

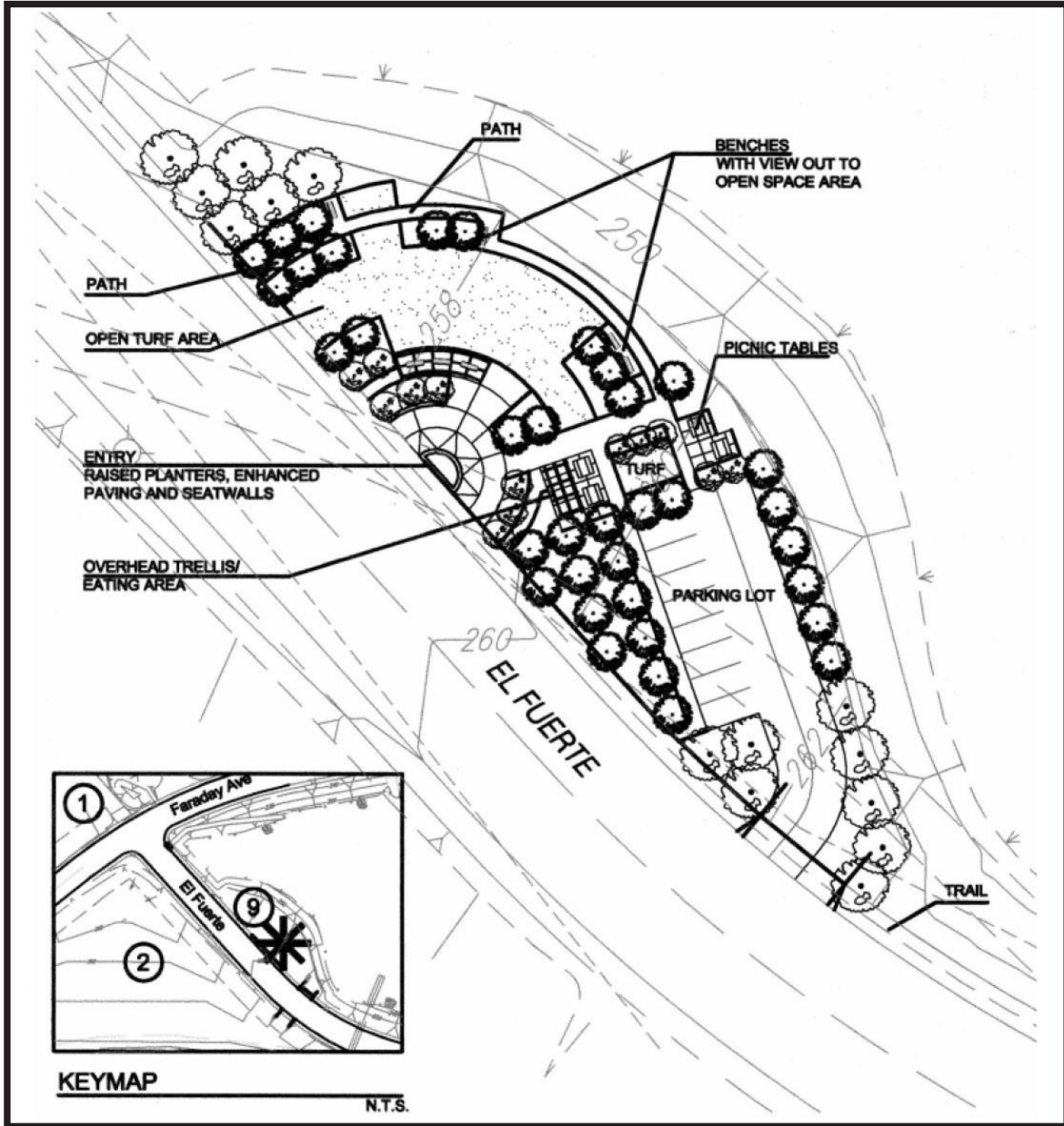
2878 STATE STREET SUITE C  
CARLSBAD, CA 92008

☎ 760-439-8027 FAX: 760-439-8024



Figure 15

Mini-Park Concept



ADL  
 PLANNING  
 ASSOCIATES  
 LAND PLANNING  
 LANDSCAPE ARCHITECTURE  
 2878 STATE STREET SUITE C  
 CARLSBAD, CA 92008  
 760720-8027 FAX: 760720-8024



Figure 15a

Mini-Park Concept  
 For Lot 9

**F. Maintenance, Architectural Review and Air Quality Control Provisions**

Prior to final map approval within the Carlsbad Oaks North Specific Plan, the developer shall prepare covenants, conditions and restrictions (CC&Rs) applicable to the entire Specific Plan area. The CC&Rs shall establish a Carlsbad Oaks North Business Park Association, which every lot shall be required to join.

Annexation provisions will be included. An architectural review process shall be required that ensures that the design of future industrial buildings incorporates the architectural guidelines required by the Specific Plan.

Prior to approval of Planned Industrial Permits, proof that the association architectural review committee has approved the proposed development must be provided to the Planning Department.

Maintenance responsibility for setback landscaping, perimeter slopes, recreation areas, streets, parking areas and all common open space areas (including lots 9-12), shall be indicated in the CC&Rs in accordance with the approved landscape plan and landscape maintenance exhibit on file with the City. The maintenance and removal of obstructions in the line of sight corridors at all intersections will be indicated in the project CC&Rs.

Open Space Maintenance Responsibilities: The Developer open space maintenance responsibilities for the Open Space Lots shall consist of active maintenance to protect and preserve the quality of the habitat (including but not limited to reasonable prevention of trespass) as required by USFWS and CDFG until some future date at which time ownership will be transferred to the City or its designee for perpetual maintenance.

Open Space Maintenance Financial Responsibility/Obligation: Simultaneous with the transfer of ownership of open space to the City or its designee, the Developer shall provide funding or other acceptable financial mechanism to provide for management and conservation in perpetuity.

Air Quality Control: The Carlsbad Oaks North Business Park Association shall require that Development and businesses within Carlsbad Oaks North:

- Encourage commuter usage of busses, carpools and vanpools.
- Provide whenever possible, incentives for carpooling, flex-time, shortened work weeks, and telecommunications and other means of reducing vehicular miles traveled.
- Develop and implement employer incentive programs to encourage the placement of strategic bicycle storage lockers, and the construction of safe and convenient bicycle facilities

- These air quality control provisions shall be indicated in the CC&R's.

**G. Signs and Graphic Requirements**

Except as otherwise provided herein, all signs within the Carlsbad Oaks North Specific Plan area shall be subject to and consistent with the provisions of Chapter 21.41 of the Carlsbad Municipal Code (Sign Ordinance).

1. General Standards:

a. Community Identity Signs:

Signage that identifies the industrial park (community-identity signs consistent with conceptual design shown on Figure 16) shall be allowed in addition to all other signs permitted by this Specific Plan. One (primary) permanent ground sign, not to exceed 75 square feet, identifying the project will be allowed at the intersection of El Fuerte Street and Faraday Avenue, and one (secondary) permanent ground sign, not to exceed 12 feet in length and 4 feet in height, will be allowed at both intersections of Faraday Avenue and Street "D." With the exception of three community-identity (monument) signs, no other freestanding signs shall be allowed along Faraday Avenue or El Fuerte Street.

b. Project Identity Signs:

Monument signs shall be placed at driveway entries only of each individual lot. Signs may not encroach into the public right of way or interfere with sight distance requirements. No monument may be placed around the perimeter of the buildable pad and/or the top of slope away from project entries.

c. Community and Project Identity Signs:

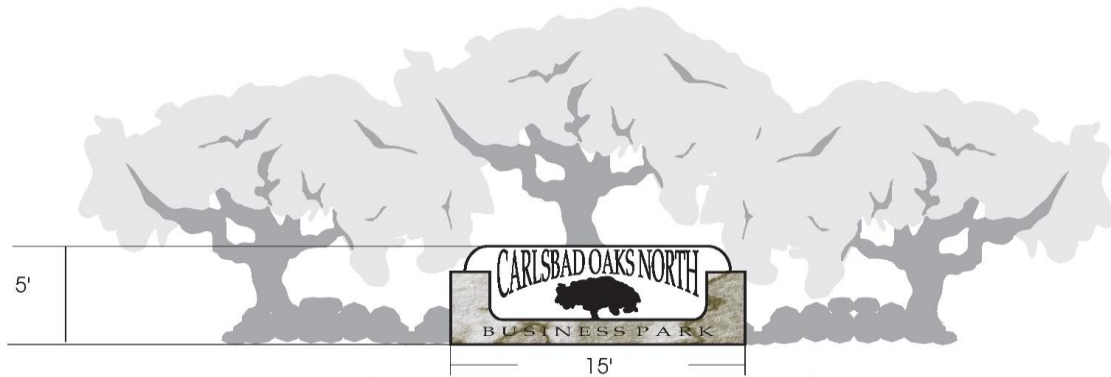
Monument signs should be complementary to the project theme and corporate setting.

d. Building elevations which front along Faraday Avenue and El Fuerte Street shall not have more than one (1) wall sign on that elevation.

2. Trail Signage/Open Space Signage:

a. Signage should be used in conjunction with any open space easement fencing and along any trails which border rare plant populations. Note: Refer to the City of Carlsbad Open Space and Conservation Resource Management Plan for trail marker design concepts and road crossing and information signage concepts.

- b. The actively utilized mountain bike and hiking trails within the project site boundaries should be regularly bounded by signage that prohibits/discourages human intrusion into surrounding native habitats. These signs shall not identify specific rare plant locations, but when warranted shall indicate the presence of particularly environmentally sensitive areas.
- c. Signage should be posted along the perimeter of the open space easements which adjoin the project site and more frequently in the vicinity of any sensitive habitat.
- d. Signage that identifies wildlife crossings should be installed at the two proposed wildlife corridor/road culverts along Faraday Avenue.



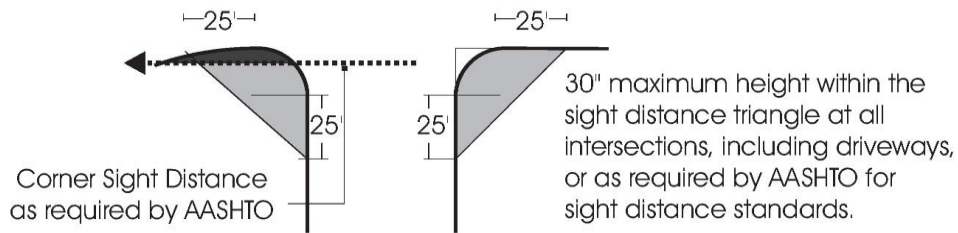
### Primary Entry Monumentation

El Fuerte Street / Faraday Avenue Intersection



### Secondary Entry Monumentation

Faraday Avenue/ "D" Street intersections (2 locations: lots 5,6)



### Sight Distance Requirements

All intersections/driveway locations

Ladwig Design Group



**Figure 16**  
**Community Identity/  
Entryway Signs**

## H. Architectural Guidelines

All structures which are proposed on lots within this Specific Plan shall comply with the following Architectural Guidelines:

1. Square, box-like buildings without facade fenestration and large, unbroken expanses of wall are prohibited. No more than 35 linear feet of unarticulated exterior walls shall be allowed in areas visible from parking lots, public streets, adjacent residential homes, or open spaces. Articulation includes additive elements (columns, projections, towers, etc.) and subtractive elements (windows, doors, carved openings, niches, etc.).
2. All building elevations are required to have facade variations in a minimum of three (3) separate materials, textures, and colors.
3. The rear and sides of buildings are required to have architectural detail similar to the front elevation.
4. Light, neutral colors shall be used on buildings to help reduce their perceived size. Contrasting trim and horizontal color bands are permitted to break up the vertical monotony of tall flat walls.
5. All mechanical equipment, on the roof or on-grade, is required to be screened from view from all pedestrian, vehicular, and open space vantage points.
6. Roof lines are required to be articulated with shorter elements to reduce building mass. Occasional sloped roof forms shall be introduced over special areas and special functions to create visual interest.
7. Front door and entrances to building shall be clearly defined and easily recognizable from the structure's parking lot area.
8. Buildings shall be well articulated by changes in height and vertical planes to reduce the appearance of bulk and create interesting building silhouettes. Special emphasis shall be placed on building form to ensure that structures have changes in height and vertical planes to avoid monotonous and boxy architecture. Sloping roof, varying roof heights and forms are encouraged to provide interesting building silhouettes. For large buildings, flat roofs with appropriate parapet treatment to provide relief will be acceptable.
9. Buildings that are adjacent to Faraday Avenue and the residential land uses to the east shall incorporate roof equipment into the architecture. No roof equipment requiring separate roof screens will be permitted on these lots after buildings are constructed.
10. A combination of building materials, including accent materials that are consistent with the surrounding natural environment such as tile or natural stone shall be required. Exterior walls shall be low intensity colors and shall be accented with low intensity color compatible natural materials in order to blend with the

surrounding natural open space. Cube like highly reflective building designs are not considered appropriate architectural styles. However, the minimal use of glass curtain walls are acceptable when incorporated into other natural building materials and architectural features.

11. Special emphasis shall be placed on building entries. Entries shall be defined with special enhanced architectural treatment, enhanced paving on walkways, and enhanced landscaping.
12. Special emphasis shall be placed on side elevation architecture on lots abutting Faraday Avenue.
13. Windows shall be designed and placed to enhance the exterior appearance of the structure and shall be consistent in design, size and scale with the building.
14. The north-facing facade of buildings on lots 17 through 21 will not need special details or architectural treatment.
15. Light colored roof materials shall be used to reflect heat.

**I. Employee Eating Areas**

This project shall be required to comply with subsection 21.34.070(C), employee-eating areas, of the Carlsbad Municipal Code and Planning Department Administration Policy #19. All lots shall be required to provide outdoor eating areas (at least 60% of the eating areas) in addition to any indoor eating areas provided (up to 40% of the eating areas). Lots which face or have views of the Agua Hedionda Creek area shall attempt to design those lots such that the employee eating areas face or have views, taking advantage of future open space vistas. Each eating area will incorporate berms, landscaping, and furniture (to include picnic benches, tables, and trash receptacles).

**J. Lot Coverage**

The maximum building coverage shall be in accordance with Section 21.34.070(B)(8) of the Carlsbad Municipal Code.

**K. Building Height**

Except as otherwise specified herein, the maximum building height shall be in accordance with Section 21.34.070(A) of the Carlsbad Municipal Code. However, to meet FAA requirements, no structures or



protrusions on any lot will be allowed to exceed elevation 548, the highest natural elevation on the property prior to development.

**L. Storage Areas**

Except as otherwise stated herein storage areas shall be consistent with the provisions of Section 21.34.090(7) of the Planned Industrial zone. Outdoor storage areas on Lots 18-21 may be allowed exclusive of solid masonry wall provided that such storage is entirely screened from the public street and adjacent industrial lots by buildings and/or landscape screening. Outdoor storage requiring screening shall include the parking of all company owned or operated motor vehicles with the exception of regular passenger vehicles (automobiles).

No refuse collection or other outdoor storage area shall be permitted between street side and the building line.

**M. Metal Structures**

No metal structures with metal siding or sheeting exteriors shall be permitted.

**N. Bike Lanes**

Faraday Avenue and El Fuerte Street include bike lanes in accordance with City standards.

**O. Pedestrian Trail**

Prior to the approval of a final map for any phase of the Carlsbad Oaks North Business Park, the developer shall provide an offer of dedication to the City of Carlsbad for a trail easement for Trail Segment 26 within open space lot 11, and within the right-of-way of El Fuerte Street and Faraday Avenue. If the City of Carlsbad accepts dedication of the trail easement during this time, the trail shall be constructed as a public trail, and will be the maintenance responsibility of the City of Carlsbad. If the City of Carlsbad does not accept dedication of the trail easement, the trail shall be constructed by the developer upon completion of sewer facilities improvements within Lot 11, but it shall be constructed as a private trail and shall be the maintenance and liability responsibility of the Carlsbad Oaks North Business Park Association.

**P. Telephone and Electrical Services**

All onsite electrical lines (excluding transmission lines) and telephone lines shall be placed underground.

**Q. Nuisances**

No portion of the property shall be used in violation of the performance standards of this plan or in such a manner as to create a public or private nuisance.

**R. Screening of Equipment**

Exterior components of plumbing, processing, heating, cooling and ventilating systems (including but not limited to piping, tanks, stacks, collectors, heating, cooling and ventilating fans, blowers, ductwork, vents, louvers, meters, compressors, motors, incinerators, ovens, etc.) shall be screened from adjacent streets and property. Said screening shall be architecturally compatible with the main building(s) on the site, unless otherwise required by this document, and shall screen this equipment from the view of adjoining properties and public streets.

**S. Outdoor Lighting**

All outdoor lighting shall be designed to reflect downward. Specifically, lighting shall be directed away from the residential neighborhood to the east to avoid impacts to adjacent homes or property and away from open space lots surrounding the industrial lots to the maximum extent feasible. A separate lighting plan shall be required as part of the Planned Industrial Permit for each perimeter lot abutting either residential land uses or open space.

Energy efficient low sodium parking lot lights shall be required on all lots. Low-pressure sodium lamps are less likely than other lights to shift circadian rhythms and may be used to reduce the adverse effects of artificial lighting on wildlife. When warranted, the low-sodium lights should be used in conjunction with cut-off shields (fully shielded/full cutoff lighting). Such shields eliminate the horizontal and upward projection of light and direct the light downward, eliminating excess illumination. Lighting on-site should be restricted to this type of recommended lighting wherever feasible. Lighting should not be installed in the vicinity of the local wildlife corridor or at primary water sources within the native lands, to promote use of these areas by local wildlife.

**T. Performance Standards**

Unless otherwise provided herein, all development within the Carlsbad Oaks North Specific Plan area shall conform to the Performance Standards of Section 21.34.090 of the Planned Industrial Zone.

1. All industrial uses shall be consistent with Section 21.34.090(1) (Planned Industrial (P-M) Zone) of the zoning ordinance. These noise standards shall be required by the Carlsbad Oaks North Business Park CC&R's and enforced by the Carlsbad Oaks North Business Park Association.
  - a. In addition to these standards, uses on lots 8, 13, and 17 shall not produce noise in excess of 60 Ldn as measured at the property line and 55 Ldn if the noise is repetitive in nature between the hours of 6:00 p.m. and 7:00 a.m.
2. Each industrial lot will provide for onsite structural filters (BMP's) to remove pollutants from storm runoff. Each industrial lot will be responsible for a preliminary Storm Water Management Plan prior to approval of a Minor Site Development Plan.
3. Drainage and water quality standards will be controlled through compliance with the National Pollution Discharge Elimination System (NPDES) standard in effect at the time of development.. NPDES discharge permitting requirements include implementation of a SWPPP and an annual reporting program for pollutants which are not visually detectable in stormwater discharges.

**U. Loading Areas**

1. No loading shall be allowed which is visible from Faraday Avenue and El Fuerte Street.
2. No loading bays will be allowed within the front setback and along the front elevation of any structure. Loading bays should be designed so that they are concealed into the side or rear of structures. All loading areas must be visually screened from adjacent streets.
3. No loading areas shall be allowed between the buildings and near lot lines of Lots 8, 13, and 17.
4. All loading dock areas must provide access and circulation for semi-trucks, per Cal Trans Design Standards (ref. turn template 407D). All other circulation and at-grade loading areas must provide for single-unit truck access and turn-around per Cal Trans Design Standards (ref. turn template 407E).
5. All loading docks shall contain oil water separators and debris racks to filter trash and oil spills from loading operations.

**V. Refuse Collection Areas**

1. All outdoor refuse collection areas shall be completely enclosed and screened from access streets and adjacent property by a block wall, six feet in height, approved by the City Planner. All such areas shall have concrete floors, and shall be of sufficient size to contain all refuse generated by the business. These areas shall be no less than six by eight feet in size, per City Standard (Engineering) GS-16, 1993.
2. No refuse collection areas shall be permitted between the street and the building line.
3. All refuse collection areas shall contain trash and oil filters to remove pollutants from drainage and storm runoff.
4. Refuse containers shall have lids that are installed and secured at all times.

**W. Blasting Areas and Temporary Materials Processing Centers**

Portions of the project area could experience noise levels in excess of City standards during grading activities. Areas of non-rippable rock that would require blasting for removal occur throughout the project site. These areas, and the potential blast noise impact areas are shown on Figure 17, page III-31. Temporary material processing centers, also shown on Figure 17, page III-31, may also produce noise levels in excess of City standards. The following measures will reduce potentially significant noise impacts generated by grading activities to below a level of significance:

1. Prior to blasting, a blasting schedule shall be prepared by the project applicant and submitted to and approved by the City Engineer.
2. The blasting contractor shall notify the Carlsbad Police department and the County Sheriff’s Department prior to commencing any blasting activities.
3. The project proponent shall give a one-time notice in writing to residences within 1,000 feet of a potential major blast operation as well as the Dawson Los Monos Canyon Reserve. The notice shall disclose the anticipated blasting schedule and provide a contact phone number for the blasting contractor.
4. A pre-blast inspection of existing structures within 300 feet of any proposed detonation shall be conducted by an inspector approved by the Carlsbad Police Department, the San Diego County Sheriff’s Department, and the City of Carlsbad Building Department.
5. The project shall conform to the San Diego County Blasting Ordinance Title 3, Division 5, Chapter II County Code of Regulatory Ordinance Sections 35.377.101-104, 35.377.301(a), and 35.377.307 to reduce

- the temporary noise impacts due to blasting and Section 8.48.010 of the City’s Municipal Code limiting allowable hours of activities. The allowable hours of activities associated with blasting are 9:00 am. to 4:00 pm., or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting is allowed on weekends nor on the holidays specified in Section 8.48.01 of the City’s Municipal Code.
6. A blasting report shall be submitted to the City Engineer prior to any blasting activities. The report shall conform to the San Diego County Blasting Ordinance (Division 5, Title 3, Section 35) and vibration standards promulgated by the U.S. Bureau of Mines.
  7. No rock crushing activities shall be allowed within 850 feet of 1) the Dawson Los Monos Canyon Reserve located to the north of the project area, and 2) the residential uses located to the east of the project area. Compliance with this measure shall be enforced by the City of Carlsbad Planning Department.

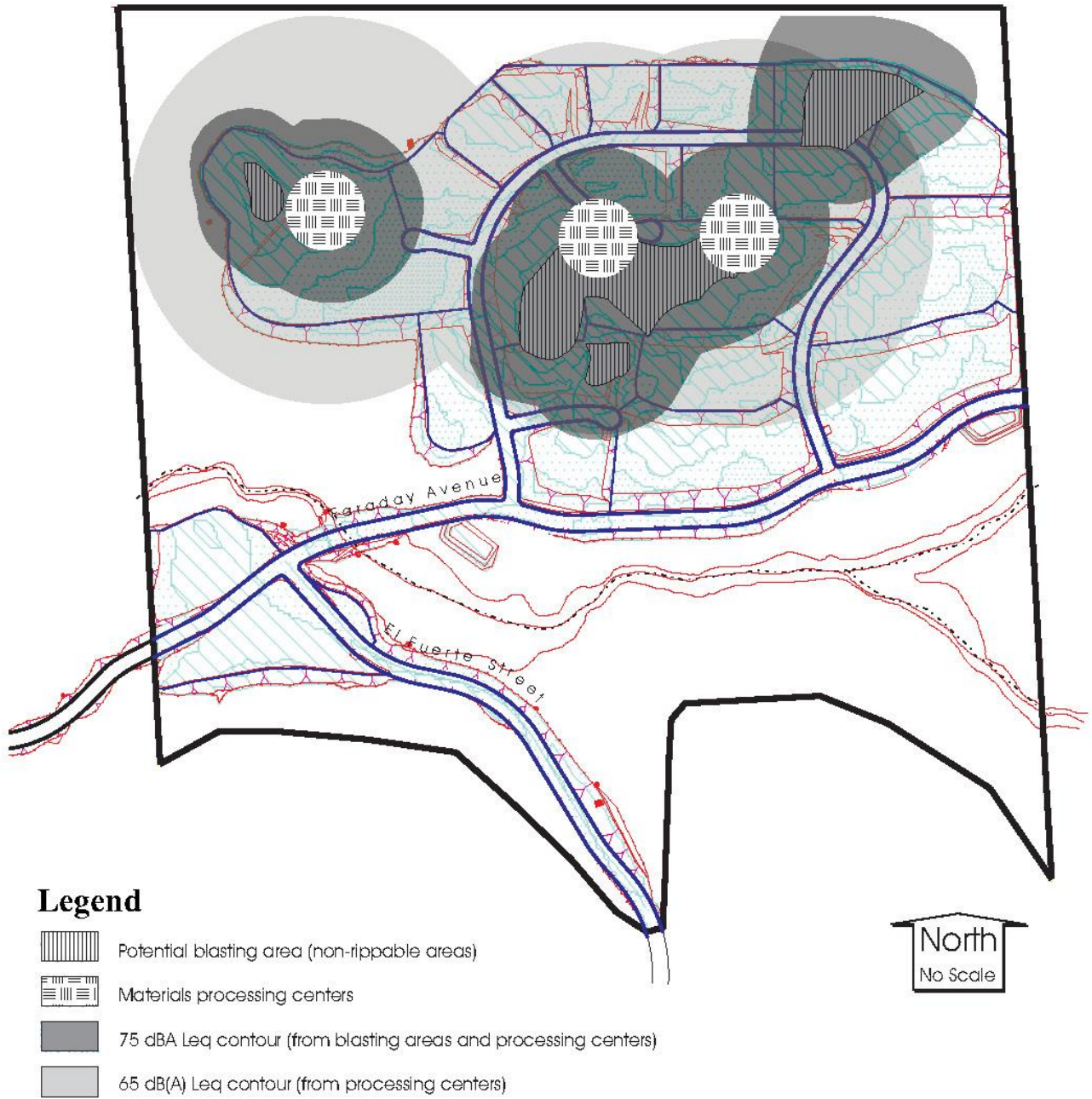
Hours of Operation – Grading and Processing

Hours of grading shall be limited to the time period allowed in Carlsbad Municipal Code Section 8.48.010; 7:00 am to sunset of weekdays and 8:00 am to sunset on Saturdays. No grading, except in the event of an emergency (as determined by the City Manager per Municipal Code Section 8.48.020) shall occur on Sundays and designated holidays. If grading activities will occur within 150 feet of existing residential areas, those grading activities shall be limited to an eight-hour period within the allowable timeframe indicated above.





Grading and construction equipment shall be properly maintained and fitted with standard mufflers.

Verification shall be provided to the satisfaction of the Planning Department Director prior to the commencement of grading.

Hours of operation of the materials processing centers (which shall be a minimum of 850 feet from the northern and eastern property boundaries) shall be limited to the time period allowed in Carlsbad Municipal Code section 8.48.010. No construction, except in the event of an emergency (as determined by the City Manager per Municipal Code Section 8.48.020) shall occur on Sundays and designated holidays.



**Legend**

-  Potential blasting area (non-rippable areas)
-  Materials processing centers
-  75 dBA Leq contour (from blasting areas and processing centers)
-  65 dB(A) Leq contour (from processing centers)



**Ladwig Design Group**

**Figure 17**  
**Blasting Areas and**  
**Temporary Material Processing Centers**

## **IV. PUBLIC FACILITIES INFRASTRUCTURE PLAN**

### **A. Introduction**

The Carlsbad Oaks North Specific Plan land area lies entirely within Local Facilities Management Zone 16.

The public facility requirements for this property are fully addressed in the Zone 16 Local Facilities Management Plan (LFMP). The approved Zone 16 LFMP was prepared pursuant to the City's Growth Management Program. The Zone 16 LFMP: 1) provides a detailed description of how the zone will develop, 2) demonstrates how and when each required facility and improvement will be constructed to accommodate phased development within the zone, and 3) provides a complete description of how each facility and improvement will be financed when mitigation is necessary.

The Carlsbad Oaks North Specific Plan implements, but does not supersede the Zone 16 Local Facilities Management Plan. The specific plan has been designed to be consistent with the purpose and intent of the Zone Plan. The following are the development policies as they pertain to the community facilities identified in the Zone 16 Local Facilities Management Plan. The following also identifies specific mitigation requirements of the Zone 16 LFMP. Development within the Carlsbad Oaks North Specific Plan shall be responsible for providing its fair share of required facilities within Zone 16 as well as impacted facilities outside of Zone 16.

### **B. City Administrative Facilities and Library Facilities**

Zone 16, including the Carlsbad Oaks North Specific Plan area, will be developed with entirely non-residential uses. Therefore no impacts will be generated by development in Zone 16 to the City's adopted performance standard, and no mitigation is required for Zone 16 to meet the adopted performance standards.

### **C. Park Facilities**

Since the Carlsbad Oaks North Specific Plan and the entire Zone 16 LFMP will be developed for non-residential uses, the established performance standard of 3 acres of Community Park or Special Use Area per 1,000 population within the Park District does not apply to Zone 16 or the Carlsbad Oaks North Specific Plan. However, the City has concluded that non-residents who work in the City also have an impact on the City's recreational facilities.

Mitigation Recommendations: The Zone 16 LFMP recommendation for park mitigation is to establish a park fee of \$0.40 per square foot on the zone's non-residential development. This fee would be collected at the time of building permit issuance and would be used to construct recreational facilities to offset the demand created by employees within Zone 16.

**D. Open Space**

The Growth Management performance standard requires that 15% of the total land area in the zone exclusive of environmentally constrained non-developable land be set aside for permanent open space and must be available concurrent with development. There are 175.6 net acres per the LFMP constraints analysis in Zone 16, therefore, at build out, Zone 16 will require 26.3 acres of performance standard open space. This demand is more than satisfied by the provision of 219.5 acres of open space in Carlsbad Oaks North Business Park. This specific plan also proposes the development of a trail system/pedestrian walkway to allow occupants to move freely within the Carlsbad Oaks North Specific Plan area and to access both the open space and recreational amenities provided. They are also designed to tie into the Future Citywide Trail System. Signage for the specific plan's proposed trail system will be consistent and meet the signage requirements of the Future Citywide Trail System.

**E. Fire**

Within the growth Management Program, a fire performance standard for non-residential uses is not identified. However, a fire performance standard was adopted for the non-residential uses in zone 5. The Carlsbad Oaks North Specific Plan does not exceed any of the three thresholds applied to zone 5 as discussed below:

1. Daily work force in excess of 12,000 people.
2. Specific plan is beyond the five-minute response time for fire protection.
3. The Fire Department is unable to provide 1,000 gallon per minute of fire flow in 10 minutes or less.

Zone 16, and the Carlsbad Oaks North Specific plan currently and at build out, meet all three non-residential fire-service thresholds. For this reason the specific plan and all development in Zone 16 is not required to provide additional fire facilities. However, the specific plan will be required to meet the landscaping restrictions



identified in the city of Carlsbad's Landscape Manual as well as provide required sprinkler systems in all proposed development.

**F. Schools**

Under the Growth Management Program, a performance standard for non-residential uses is not identified. However, a school performance standard was adopted for the non-residential uses in zone 5 which assumed that non-residential zones would be required to pay a school fee based on the square footage of development. The fee is based on legislation which determined that employees can educate their children in the same school district in which their place of employment is located. The fee is intended to offset the cost of the construction of school facilities required to accommodate children of parents working within the school district.

**G. Transportation Facilities**

Access to the property will be provided by the extension of El Fuerte Street from the south and Faraday Avenue from the east and west. Both El Fuerte Street and Faraday Avenue are shown as 84' ROW Secondary Arterial roadways on the Circulation Element of the General Plan.

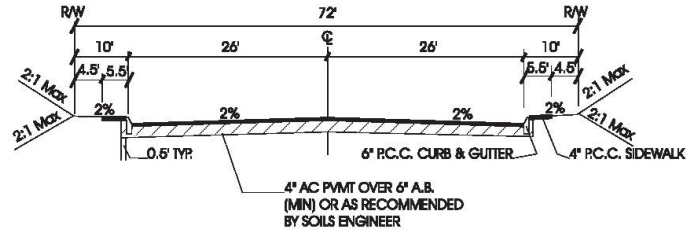
Driveway locations have been determined as part of this Specific Plan, as shown on Figure 10, page II-10.

These driveway locations are in conformance with the City Standard, and will be adhered to when future Minor Site Development Plans are applied for. Deviations from this plan or from City Standards may necessitate an amendment to this Specific Plan.

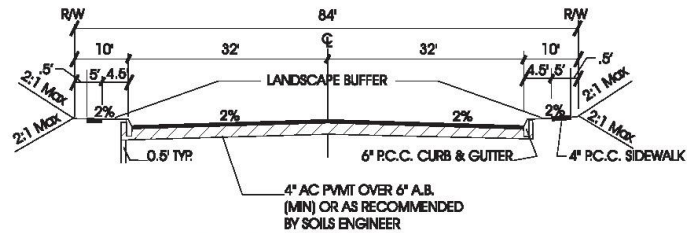
El Fuerte Street will be extended as a part of this Specific Plan with the first phase of development to intersect with the future Faraday Avenue, shown as an 84-foot ROW Secondary Arterial on the Circulation Element of the General Plan. The roadway alignments will be carefully considered to minimize any impacts on La Mirada Creek and still function as intended by the Circulation Element. Faraday Avenue will be constructed to secondary arterial street standards connecting Orion Drive on the west and Melrose Drive to the east with the first phase of this development. The County of San Diego has agreed to dedicate the right-of-way across their property as part of the settlement agreement for the trash/transfer station with the City of Carlsbad.

Transportation financing for off-site facilities (and on-site Faraday Avenue) may be financed by an assessment district, financing (fee) district with reimbursement or other financing means acceptable to the City.

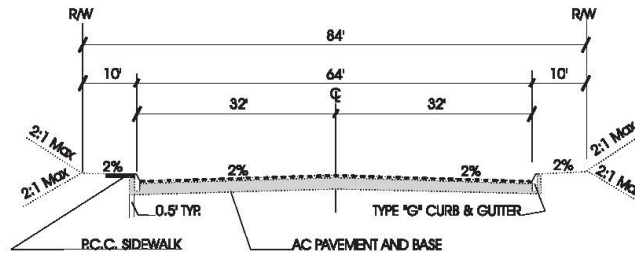
This development will construct and contribute its share (including Traffic Impact Fees) to the construction and improvements of major streets including, but not limited to, the extension of El Fuerte Drive and Faraday Avenue and other transportation facilities identified in the Carlsbad Oaks North traffic analysis. This project shall be approved under the express condition that the applicant shall pay a public-facilities fee as required by City Council Policy No. 17 on file with the City Clerk and incorporated herein by reference and according to the agreement executed by the applicant for payment of said fee. Refer to Local Facilities Management Plan Zone 16 for additional and specific information and timing requirements.



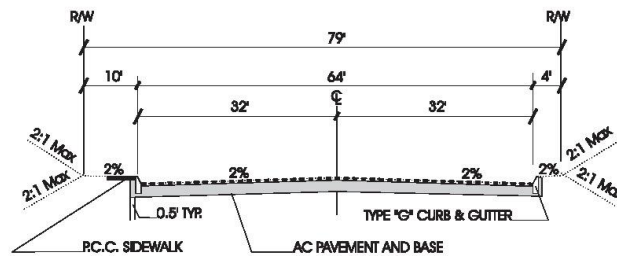
Industrial Streets "A" through "D"  
No Scale



El Fuerte Street / Faraday Avenue  
No Scale



Existing Faraday Avenue (City of Carlsbad)  
Existing El Fuerte Street  
No Scale

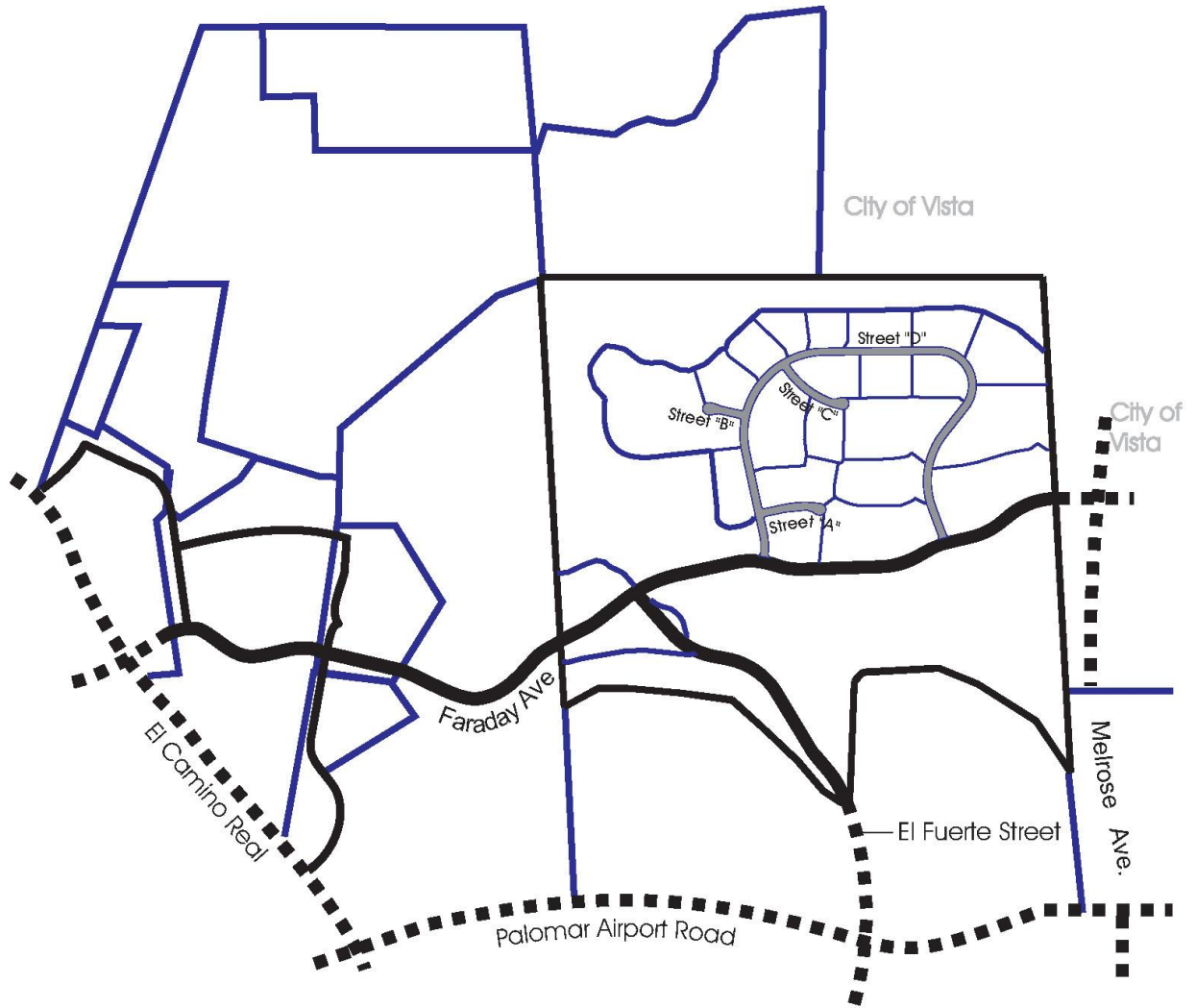


Existing Faraday Avenue (City of Vista)  
No Scale


Ladwig Design Group



Figure 18  
Street  
Cross Sections



**Legend**

-  Streets "A" - "D" : Industrial
-  Faraday Avenue and El Fuerte Street: Secondary Arterial
- Note: See Street sections for more detail
-  Existing Streets



**Ladwig Design Group**



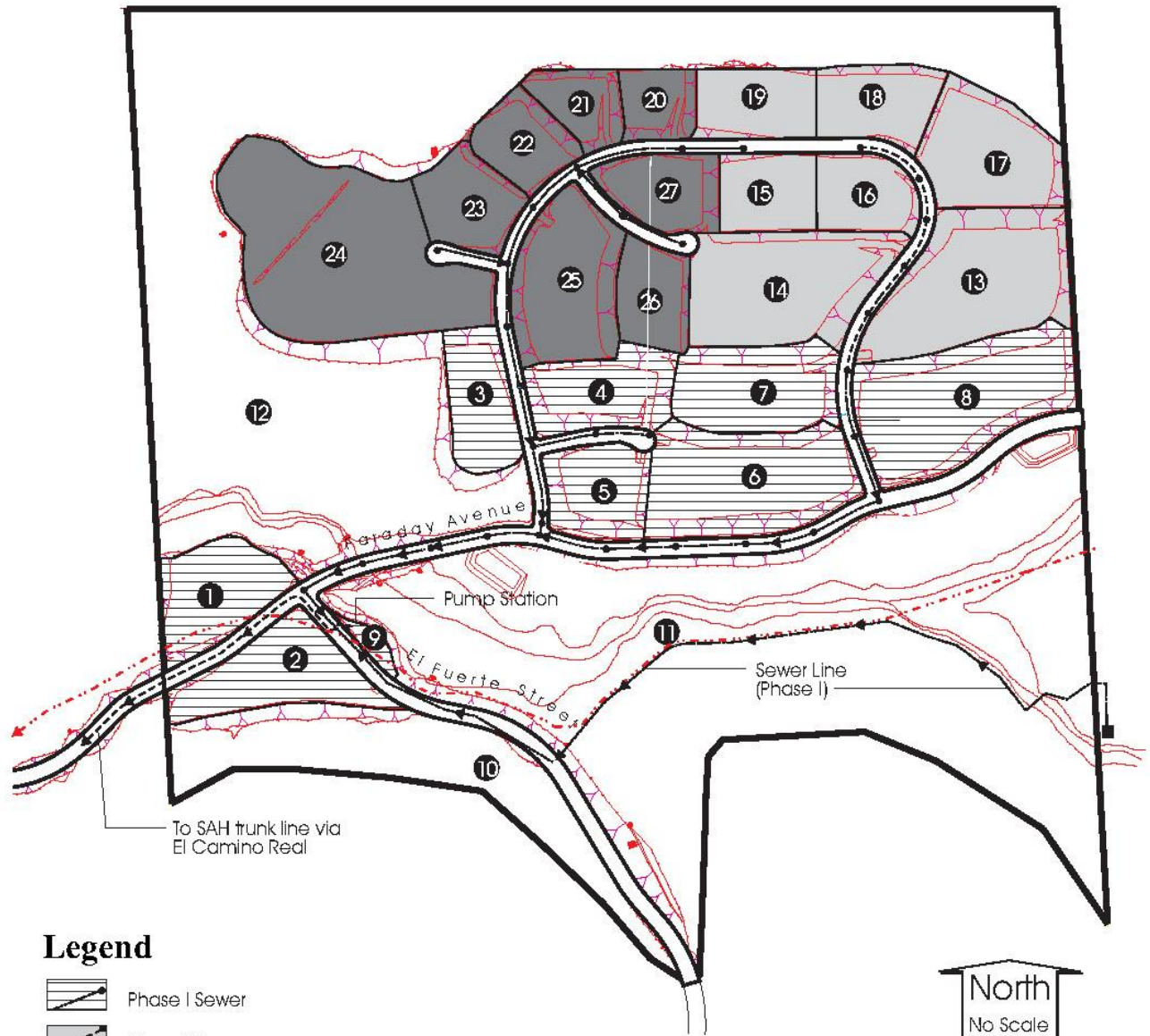
**Figure 19**  
**Circulation**

## **H. Sewer Facilities**






The South Agua Hedionda Sewer interceptor would serve existing and planned industrial development within the South Agua Hedionda Basin. The proposed interceptor segment is a 15-inch, gravity-flow, pump station and force main, trunk sewer and will be approximately 2.7 miles in length.

Figure 21 on page IV-9 depicts the approved sewer alignment. The sewer alignment consists of a gravity sewer within an existing sewer easement road south of Faraday Avenue from the Carlsbad Oaks North eastern boundary to the El Fuerte Street right-of-way where it continues north to Lot 9. At Lot 9, the sewer will become a force main sewer utilizing a pump station. The force main sewer will be constructed within the rights of way of El Fuerte Street north to Faraday Avenue and west in Faraday Avenue to El Camino Real and north to the connection of the South Agua Hedionda gravity sewer near College Blvd.

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**Legend**

-  Phase I Sewer
-  Phase II Sewer
-  Phase III Sewer
-  Existing Sewer Line
-  Lot Numbers

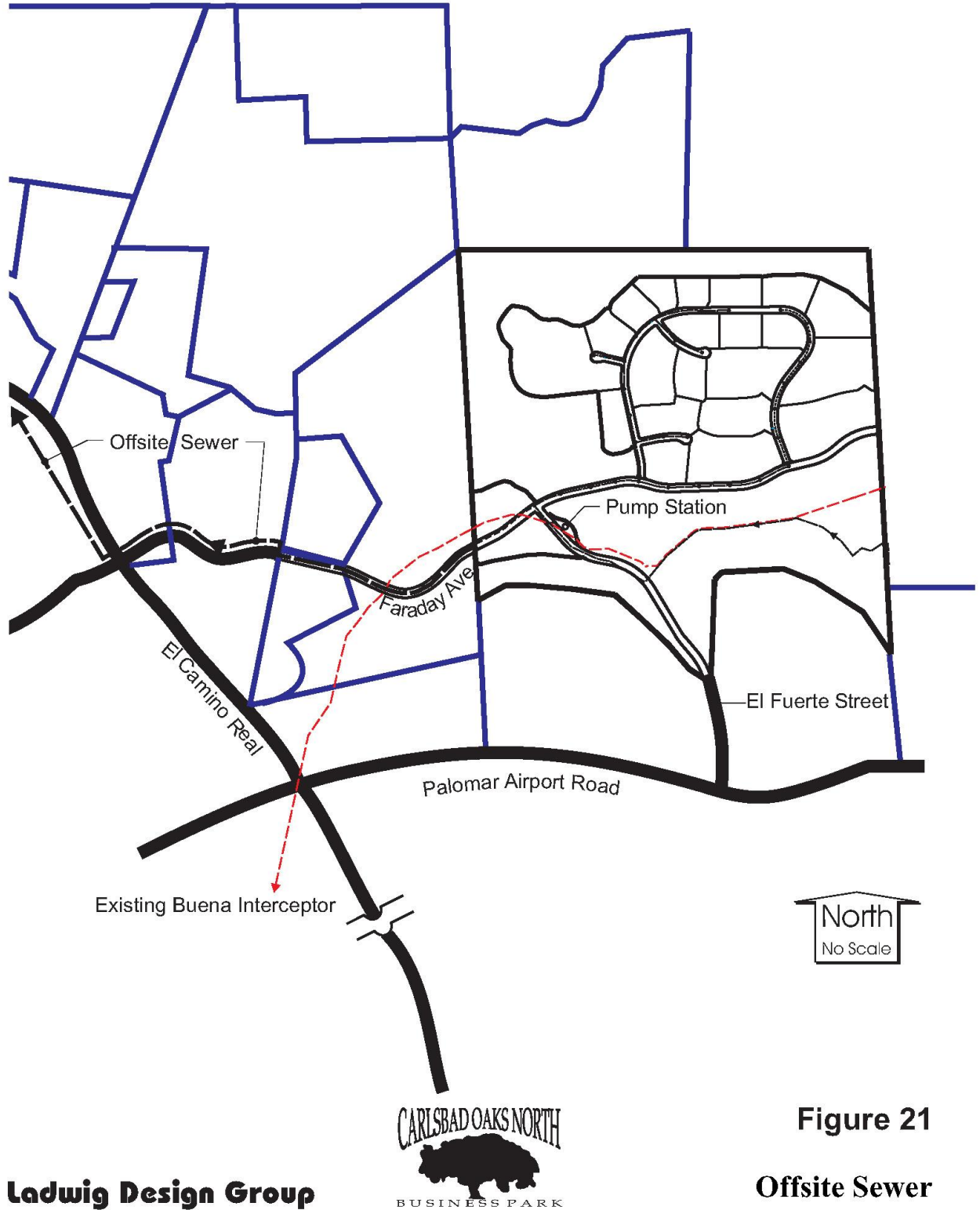


**Ladwig Design Group**



**Figure 20**

**Sewer**



**Ladwig Design Group**



**Figure 21**  
**Offsite Sewer**

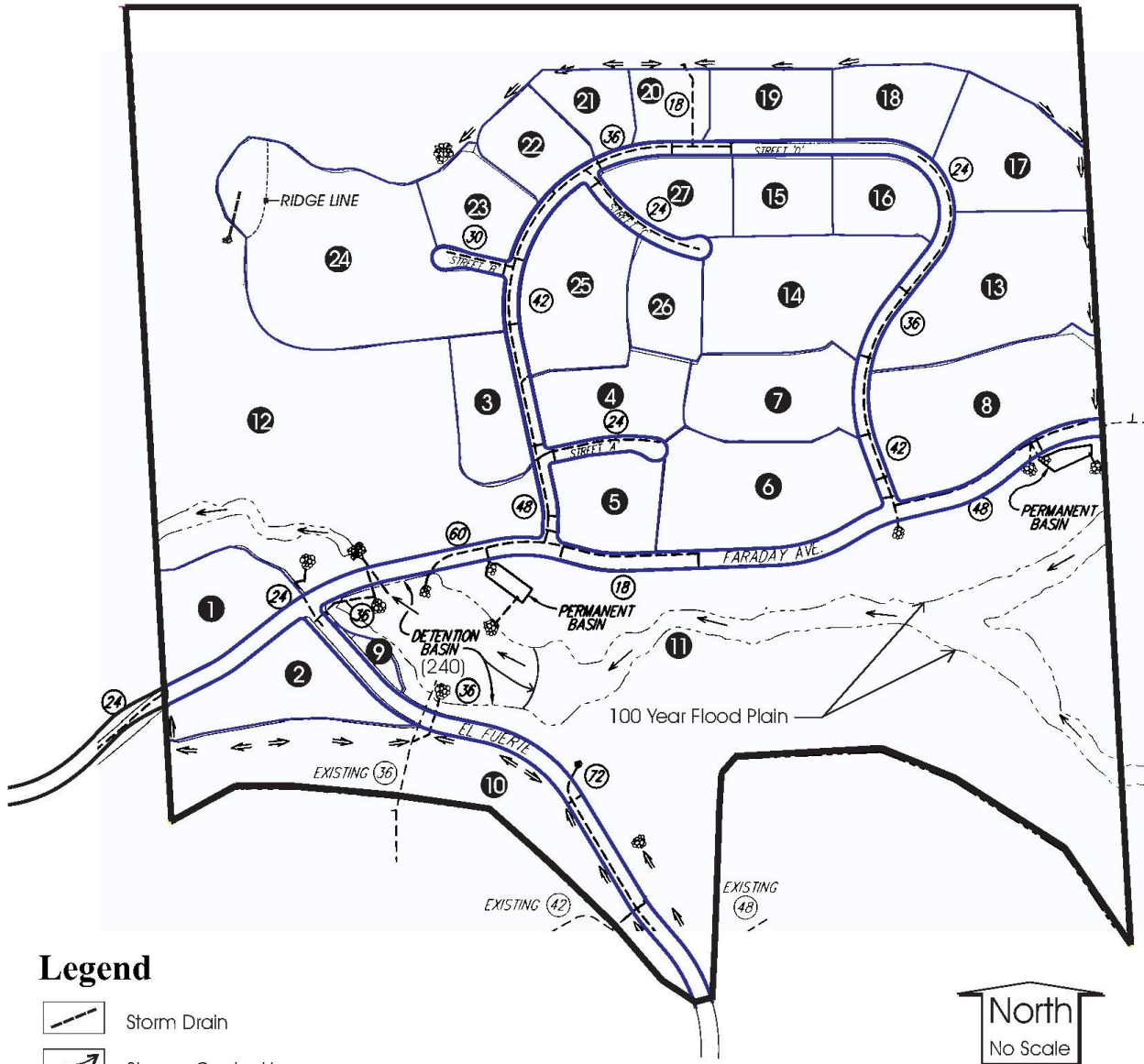


**I. Drainage Facilities**

A Preliminary hydrology analysis has been conducted for the project and drainage facilities are proposed that will control runoff. A detailed hydrology analysis must be prepared prior to approval of a final map or issuance of grading permit to address specific drainage characteristics of the proposed development and supporting infrastructure. The drainage control plan will be implemented in accordance with the recommendations of the detailed hydrology study and will address on-site and off-site drainage requirements to ensure on-site runoff will not adversely affect off-site areas. This shall include the design and construction of the detention basin as identified in the Rick Engineering “Rancho Carlsbad Channel and Basin Project” report dated June 30, 1998.

All graded lots within Carlsbad Oaks North Business Park with the exception of a small (2-acre) portion of Lot 24, will be graded to direct flows into an onsite desiltation basin and then directly into an underground system that either connects to the major onsite drainage system or in some cases of small drainage areas, into a rock dissipater and then to a natural drainage swale. The major onsite drainage system in "D" Street flows underground to Faraday Ave. and into two separate pollution control basins prior to discharging into La Mirada Creek.

Where La Mirada Creek crosses under Faraday Avenue, a major detention facility will be constructed (see drainage report from Howard Chang, Ph.D., PE., dated April 1997, and Rick Engineering Company report for Rancho Carlsbad Channel and Basin project, job #13182, dated 6/30/98). The March 1994 City Master Drainage Plan requires several existing storm drain systems that were constructed with the original Carlsbad Oaks East and West Projects to provide attenuation to bring these older systems into conformity with current design standards. All of the existing system flows will be detained in the new basin at Faraday. In addition, the drainage Master Plan cost estimate includes a provision for a potential bridge structure (Paragraph BP on page 83) on Faraday Ave. across La Mirada Creek. The Carlsbad Oaks North Business Park project is proposing a 6' x 7' box culvert (per Rick Engineering Company study) with a detention basin. Another Master Drainage Plan Facility (BPB 36" and 45" RCP) will be constructed on-site in "D" Street.



**Legend**

-  Storm Drain
-  Stream Center Line
-  Drainage Facility Numbers

Note: The applicant will be requesting fee credits where appropriate for Master Drainage Plan facilities.

Note: Offsite Faraday Avenue construction extends to Orion Way refer to Tentative Map 97-13 for more detail



**Figure 22**

**Drainage**

**Ladwig Design Group**

**J. Storm Water Pollution Prevention**

Implementation of the project will result in a change in the topographical conditions of the area and development of the site. Because a majority of the project area topography is in its natural condition, a substantial increase in impervious surfaces and corresponding stormwater runoff volumes is anticipated. Approximately 200 acres will be graded and developed with the Specific Plan and supporting infrastructure on and off-site.

After project implementation, the project site will generally drain in the same manner as the existing condition; however, grading requirements of the project will alter the existing drainage patterns causing erosion or siltation on the site or in the area on a short-term basis during construction. The short-term erosion and siltation will be controlled through compliance with the National Pollution Discharge Elimination System (NPDES) standard in effect at the time of development.. NPDES discharge permitting requirements include implementation of a SWPPP (including a sampling and analysis strategy and sampling schedule for pollutants which are not visually detectable in stormwater discharges), which consists of eight required elements necessary to control erosion and siltation and contaminated runoff from construction sites.

Each graded lot within the project site will be graded to direct flows into an on-site temporary desiltation basin and then directly into an underground system that either connects to the major on-site drainage system or in some cases of small drainage areas, into a rock dissipator and then to a natural drainage swale. Each developed lot will have a structural BMP or drainage filtration basin to collect and filter pollutants from the point source.

The major drainage system in Street D flows underground to Faraday Avenue and into two and separate pollution control basins prior to discharging into Agua Hedionda Creek. Figure 23 (NPDES Facilities) depicts the location of temporary and permanent desilting basins and future NPDES facilities. Where Agua Hedionda Creek crosses under Faraday Avenue, a major detention facility will be constructed. The permanent water quality basins are located south of Faraday Avenue as the majority of the on-site stormwater runoff drains south to La Mirada Creek and westward to Agua Hedionda Lagoon.

A Concept Water Quality Plan has also been prepared for the project to assist in defining the permit requirements needed for the construction and post-construction scenarios. The Concept Water Quality Plan

includes a discussion of the project BMP) plan implementation (construction BMP options, post-construction BMP options, BMP options for future development, sizing criteria, pollutant loads, detention basins, and SWPPP monitoring). During construction, BMPs such as desilting basins, hydroseeding, and other erosion control measures will be employed consistent with the SWPPP; however, BMPs may change based on the City's interpretation of NPDES requirements.

### **Phase 1. Construction**

The greatest potential for short-term water quality impacts to the drainage basin would be expected during the grading and construction of the project when cleared and graded areas are exposed to rain and storm water runoff. Improperly controlled runoff could result in erosion and sediment transportation into the existing drainage basin. During construction, the objectives for implementing BMP's as described in the "California Storm Water Best Management Practice Handbook," are for the following: practice good housekeeping, contain waste, minimize disturbed areas, stabilize disturbed areas, protect slopes and channels, control site perimeter and control internal erosion.

To mitigate storm water pollution, mostly sediment, during construction, both BMP's for contractor activities and BMP's for erosion and sedimentation shall be used.

#### BMP's for contractor activities include the following:

1. Managing dewatering and paving operations and structure construction and painting.
2. Management of material delivery, use and storage.
3. Spill prevention and control.
4. Waste management for solid, hazardous and sanitary waste, contaminated soil, concrete.
5. Vehicle and equipment cleaning, fueling and maintenance.
6. Contractor, employee and subcontractor training.

BMP's for erosion and sedimentation control include the following:

1. Vegetative stabilization such as hydroseeding or mulching.
2. Physical stabilization such as dust control, geotextiles and mats, construction road stabilization and stabilized construction entrance.
3. Diversion of run-off using earth dikes, temporary swales and drains.
4. Velocity reduction using outlet control, check dams and slope roughening.
5. Sediment trapping using silt fence, gravel bag barrier, inlet protection, sediment traps and basins.

A storm water pollution prevention plan (SWPPP) will be prepared and implemented during this construction phase. The SWPPP will consist of the selected BMP's, guidelines and activities to carry out actions which will prevent the pollution of storm water runoff. A preliminary SWPPP has been prepared as part of the concurrent applications and is attached as an appendix to this Specific Plan.

**Phase 2. Post Construction**

Of the three phases the post construction phase should generate the least amount of urban pollutants. The grading has been completed, slopes have been landscaped and irrigated, the storm drain system, temporary desilting basins and the permanent water quality basins have been installed. During this phase a combination of source and treatment control BMP's shall be implemented.

Potential Source Control BMP's

1. Street/Storm Drain Maintenance
2. Non storm water discharge to drains
3. Waste handling and disposal
4. Landscaping and grounds maintenance
5. Over watering activities
6. Employee training

Potential Treatment Control BMP's

1. Storm drain outlet controls
2. Temporary desilting basins on each lot (see Figure 23, page IV-20)
3. Permanent water quality basins

This phase will continue until all individual lots within the project have been developed. As each lot is developed, the temporary desilting basins will be replaced with permanent BMP measures that will be appropriate for the specific use of each lot.

**Phase 3. Future Development**

When each individual lot is developed, it shall provide both source control and treatment control BMP's as described in the "California Storm Water Management Practice Handbook" for industrial and commercial projects. Each development shall use source control BMP's and one or more of the following treatment control BMP's:

Potential Source Control BMP's

1. Non-storm water discharges
2. Vehicle and equipment fueling, cleaning and maintenance
3. Material management and storage
4. Outdoor storage of materials and by-products
5. Waste handling and disposal
6. Building and grounds maintenance
7. Building repair, remodeling and construction
8. Over-water activities
9. Employee training

Potential Treatment Control BMP's

1. Infiltration
2. Wet ponds
3. Constructed wetlands
4. Biofilters
5. Extended detention basins
6. Media filtration
7. Oil/water separators and water quality inlets
8. Multiple systems

Since a Minor Site Development Plan permit is required for each development, the specific BMP's for each development will be determined at the time development is proposed. As required, a storm water pollution prevention plan will also be prepared and implemented for each lot. The SWPPP consist of guidelines and activities to select and carry out actions which prevent the pollution of storm water discharge. In addition to the selected BMP's for each lot, the permanent water quality basins, located downstream, will serve as additional treatment in removing pollutants from storm water runoff prior to discharge into the existing natural drainage course.

**Sizing Criteria**

The sizing of the treatment control BMP's shall comply with the RWQCB's numeric sizing criteria. As required by the RWQCB, the project, depending on the type of BMP, will use one of the following numeric sizing criteria:

Volume based BMP is volume of runoff produced from a 0.6" storm event.

Flow based BMP is volume of runoff produced from rainfall of 0.2 in./hr.

The following pollutant loads are based on a commercial/office/industrial development with 70 to 90% imperviousness (California Storm Water Best Management Practice Handbook, Municipal).

Description	mg/L	
Oxygen Demand and Sediment:	BOD	9.7
	COD	61.0
	TSS	91.0
	TDS	100.0
Nutrients:	TP	0.24
	SP	0.10
	TKN	1.28
	NO2/NO3	0.63
Heavy Metals:	Pb	0.13
	Cu	0.04
	Zn	0.33
	Cd	0.002
Oil & Grease:		24.01
Total	288.5 mg/L	(0.018 lb/cf)

For a typical 1 acre development, the minimum size for a structural BMP and pollutant

load would be:

Area: 1 acre  
 Storm event: 0.6"  
 Direct Runoff: 0.12"

Min. volume:  $(43,560 \text{ sf})(0.12'')/(12''/\text{ft}) = 436 \text{ cf}$

Pollutant load:  $(436 \text{ cf})(0.018 \text{ lb/cf}) = 7.8 \text{ lbs.}$

Detention

As part of the project, a detention basin is proposed at the Faraday Avenue crossing of the existing drainage channel. The detention basin is one of four basins along the south tributary of the South Agua Hedionda Lagoon proposed by the City of Carlsbad. Since the storm drain outlets for this project are located upstream of this crossing/detention basin, the basin will ensure that there is no significant impact to downstream properties due to increased runoff.



**Urban Pollutants**

	Construction	Post Construction	Future Development
Sediment	x	x	x
Nutrients	x	x	x
Bacteria and Viruses	x		
Oxygen Demanding Substances	x	x	x
Oil and Grease	x	x	x
anti-freeze	x	x	x
hydraulic fluids	x	x	x
cleaners/solvents	x	x	
Heavy Metals			
chromium		x	x
copper		x	x
lead		x	x
zinc		x	x
iron		x	x
cadmium		x	x
nickel		x	x
manganese		x	x
paint	x		
wood preservatives	x		
Toxic Materials			
fuels	x		x
PCB's		x	
pesticides	x	x	x
herbicides	x	x	x
Floatables	x	x	x

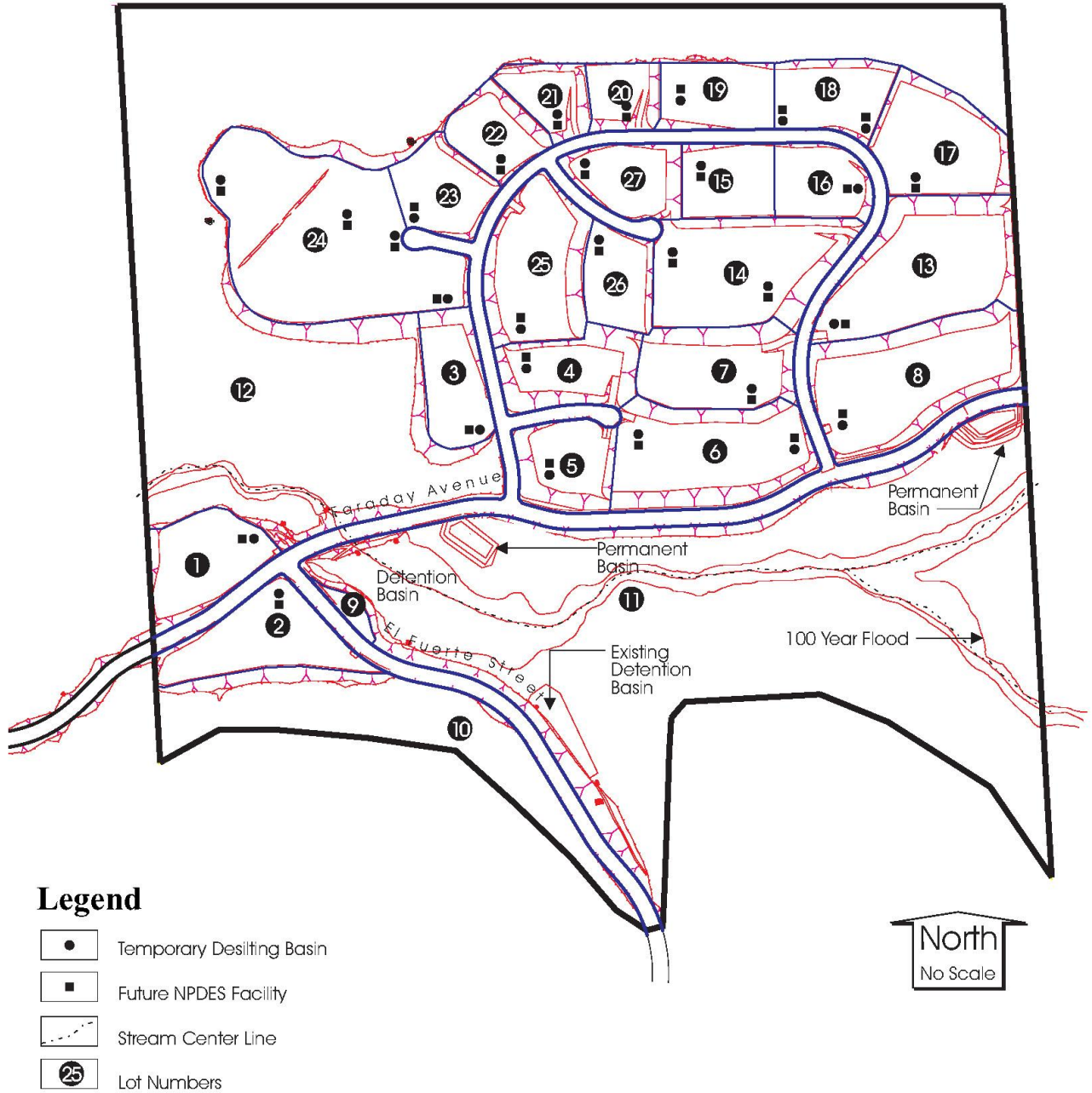
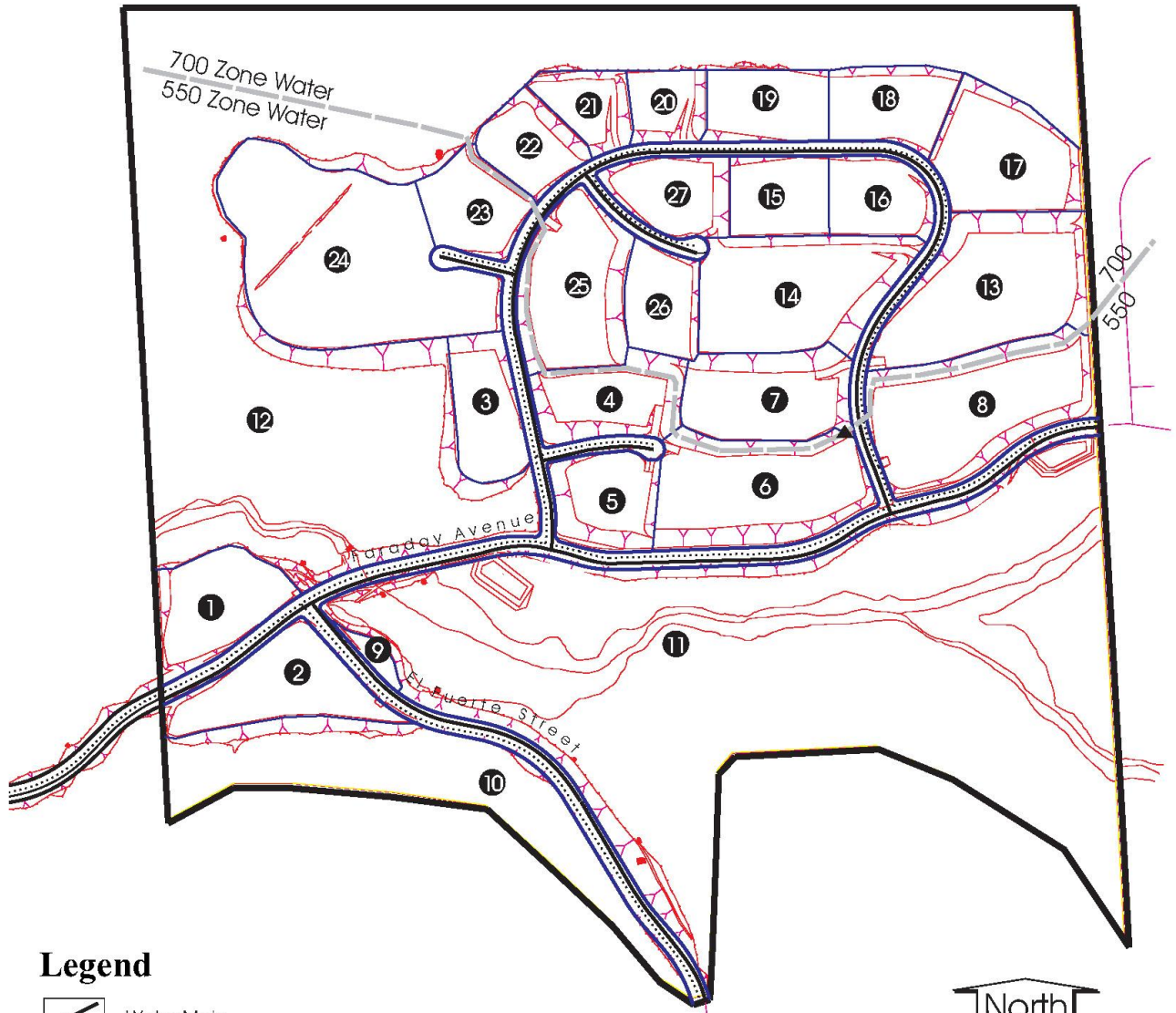


Figure 23






NPDES Facilities

Ladwig Design Group





**Legend**

-  Water Main
-  Reclaimed Water Line
-  Pressure Zone Boundary
-  Pressure Reducing Station
-  Lot Numbers



**Ladwig Design Group**



**Figure 24**

**Water**

## V. SPECIFIC PLAN IMPLEMENTATION MEASURES

### A. Regulations and Ordinances

The Carlsbad Oaks North Specific Plan shall be implemented in conjunction with the following regulations and ordinances:

1. Carlsbad General Plan
2. Carlsbad Zoning Ordinance - Title 21
3. Environmental Protection Procedures - Title 19
4. Subdivision Ordinance - Title 20
5. Uniform Building Code - Title 18
6. City Landscape Manual
7. Carlsbad Municipal Code
8. Carlsbad Municipal Water District Regulations
9. Airport Land Use Plan (CLUP)
10. Performance Standards and Mitigation requirements of Zone 16 Local Facilities Management Plan
11. Drainage and Water Quality Standards per the National Pollution Discharge Elimination System (NPDES) standard in effect at the time of development..
12. All other relevant City Regulations, Standards, and Policies

### B. Enforcement

1. Before this project is reviewed by the City council, the applicant shall execute the agreement to pay the fees for facilities and improvements as required by the Growth Management Program and any other agreement required by municipal Code Section 21.90.
2. As a condition of subdivision approval, planned industrial permit or building permit under Title 21 of the Carlsbad Municipal Code, the subdivider shall enter into an agreement with the City whereby the subdivider covenants on behalf of the subdivider and subdivider's successors in interest to the following:

- a. Not opposing the formation of a financing district in the area of this project for Circulation Element roadways or City Master Plan Facilities.
  - b. Payment of the bridge and major thoroughfare fee for the area of the district in which this development is located.
  - c. Payment of the adopted traffic impact fee for the appropriate area of the City in effect at the time the building permits are received.
3. If any condition for construction of any public improvements or facilities, or the payment of any fees in lieu thereof, imposed by this approval or imposed by law on this project are challenged, this approval shall be suspended as provided in Government Code Section 65913.5. If any such condition is determined to be invalid this approval shall be invalid unless the City council determines that the project without the condition complies with all requirements of law.
  4. Unless noted, approval of this document does not excuse compliance with all other applicable City ordinances in effect at the time building permits are issued.
  5. General Notes:
    - a. Except as specified in this plan, the requirements of the PM zone and all other applicable provisions of the zoning, subdivision, grading, and building codes (and any amendments thereto) of the City of Carlsbad shall apply.
    - b. Where minor questions arise regarding interpretation of this Specific Plan, the City Planner shall resolve them in a manner consistent with the Municipal code, adopted City plans and city policy. Such decisions by the City Planner may be appealed to the Planning Commission and the City Council.
    - c. The developer or property owners' association shall be responsible for maintaining all fill and cut slopes adjacent to public streets and all special landscape areas as outlined in this text.

**C. Amendment Procedures: Minor, Major, and Five-Year Comprehensive Review and Update**

Approval of this Specific Plan indicates acceptance by the City Council of a general framework for the development of Carlsbad Oaks North Business Park. Part of that framework establishes specific development standards. It is anticipated that certain amendments to the Specific Plan may be necessary during the development of the area. Any amendments to the Specific Plan shall occur in accordance with the City of Carlsbad's Municipal Code and the specific amendment process described below.

Amendments are divided into three categories: 1) Minor (administrative); 2) Major (discretionary); and 3) Five-Year comprehensive review and update. Major and Minor amendments must be consistent with the goals of the Specific Plan, the General Plan, Zone 16 Local Facilities Management Plan, current City policies, ordinances and standards. Amendments may be initiated by the City Council or property owner(s).

**1. Minor (administrative) Amendment**

All amendments that meet the criteria noted below shall be reviewed for approval administratively by the City Planner. Any revision to lot areas would require a lot line adjustment. The City Planner has the authority to approve modification to the Specific Plan as follows:

- a. Up to a 10% expansion or reduction in area of recorded lots if the overall yield or use specified for each of the recorded lots affected does not increase.
- b. A Minor realignment or modification of driveway locations and internal streets of the Specific Plan if approved by the City Planner and City Engineer as not constituting a significant change to any individual recorded lot.

**2. Major (discretionary) Amendment**

All Specific Plan Amendments that do not meet the above Minor Amendment criteria shall require a Major Amendment to the Specific Plan. Major Amendments shall be processed in the same manner as Master Plan Amendments, as described in Section 21.38.120 of the City of Carlsbad's Municipal Code. All Major Amendments shall be reviewed for approval by the Planning Commission and City Council. Requests for Major Amendments to the Specific Plan shall require serious consideration as it relates to the intent of the original Specific Plan. As a condition of consideration of any amendment to the Specific Plan it shall be the applicant's responsibility to:

- a. Ensure that the proposed amendment meets the goals of the Specific Plan.
- b. Ensure that any impacts on the Specific Plan community or surrounding area resulting from the amendment can be satisfactorily mitigated.
- c. Update any Specific Plan studies and/or provide additional studies when determined necessary by the City Planner.

- d. Provide a dated strike-out/underline copy of the Specific Plan text where changes are proposed and update any Specific Plan exhibits affected by the proposed amendment.

**3. Five Year Comprehensive Review and Update**

If determined necessary, at the direction of the City Council, the Specific Plan shall be comprehensively reviewed by the City of Carlsbad Planning Department every five years or more frequently at the discretion of the City Council. The review shall consider but not be limited to the following topics:

- a. The Specific Plan’s fulfillment of current City policies and standards.
- b. The fiscal impact of the Specific Plan's implementation.
- c. The Specific Plan's maintenance of environmental quality.
- d. Adequacy of public facilities
- e. Additional improvement or modifications to correct deficiencies or improve design.

**D. Financing**

Refer to the Zone 16 Local Facilities Management Program

**E. Capital Improvements Program**

Refer to the Zone 16 Local Facilities Management Program

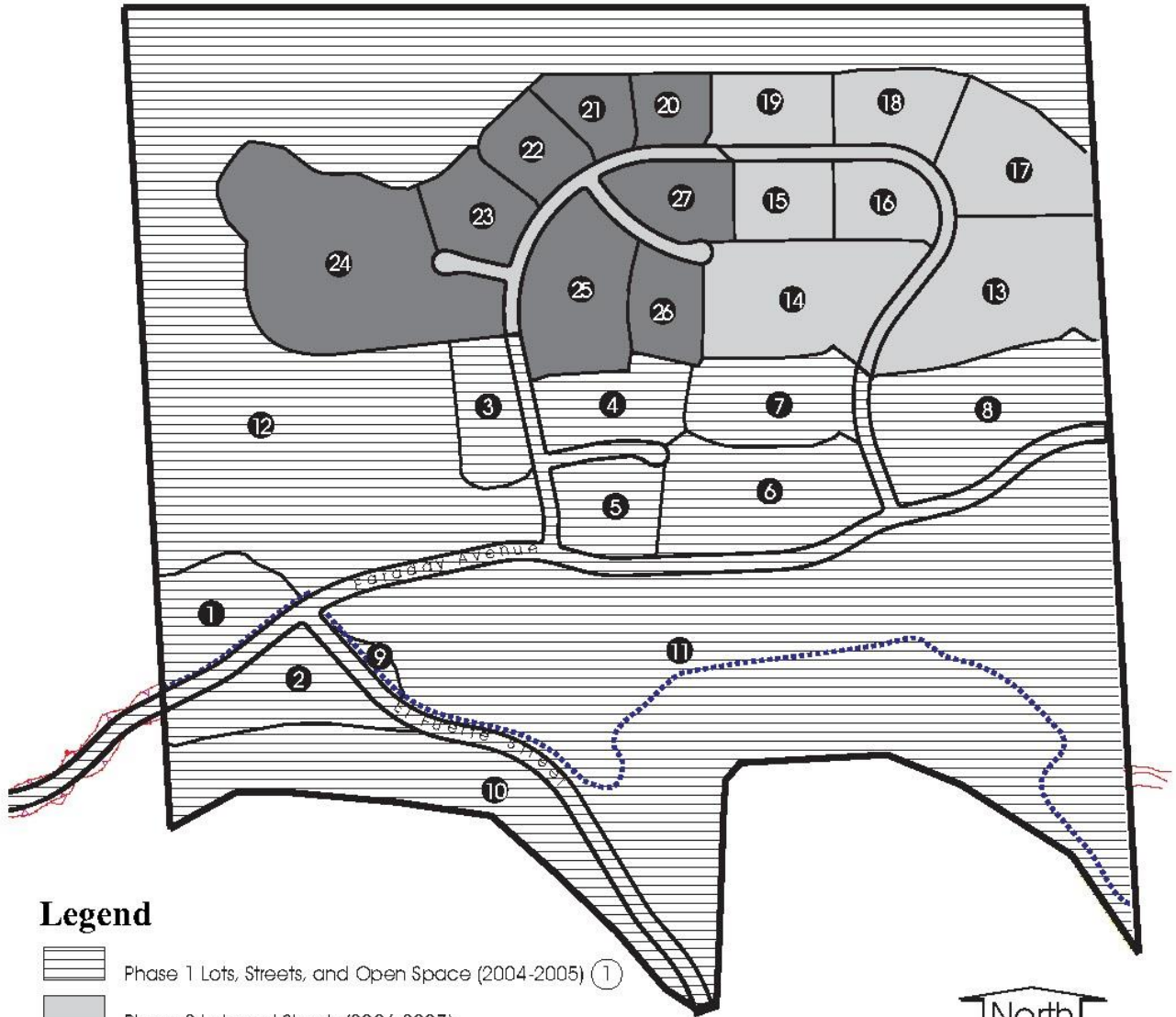
**F. Phasing**

The Carlsbad Oaks North Specific Plan will be developed in three phases. The phasing schedule will depend largely on market conditions and the timing of the development of adjoining parcels. All public improvements required by a subsequent tentative map for a specific plan area shall be constructed prior to issuance of building permits for any lot within that specific plan area. Design and secured agreements for all phases of construction that affect public improvements shall be posted, as required.



The first phase of lot development will occur along Faraday Avenue. Phase I development will consist of lots 1-12 created by CT 97-13. Excluding streets, this area contains approximately 62.9 acres of lot area. Phase II of lot development will consist of lots 13-19, located on the eastern portion of “D” street. Approximately 37.3 acres of lot acreage is included in this phase. Phase III consists of lots 20-27, to the west of Phase II, containing


approximately 54.0 acres of lot area. The total area of Phases I, II, and III is 167.3 acres. Lot 9, a lot reserved for future pump station and/or open space, contains 0.6 acres, and will be developed with Phase I. In addition, Open Space lots 10, 11, and 12 (101.4 acres + 18.5 acres + 99.6 = 219.5 acres) will be a part of Phase I. Phase II and Phase III are interchangeable with each other, and developed after Phase I. When Phase II or III is developed, the balance of the loop road (Street “D”) will be completed to provide the necessary traffic, utility and public safety/service connections. Phasing may be altered by the provisions of the Citywide and Local Facilities Plan required pursuant to Chapter 21.90 of the Carlsbad Municipal Code and Conditions of Approval for the subdivision of the project (CT 97-13).





**Legend**

-  Phase 1 Lots, Streets, and Open Space (2004-2005) ①
-  Phase 2 Lots and Streets (2006-2007)
-  Phase 3 Lots\* (2010)
-  Pedestrian Trail

 Lot Numbers

\*Note: Phase 2 and 3 lots may be reversed.

① Wetlands Mitigation in Phase 1



**Ladwig Design Group**



**Figure 25**

**Phasing Plan**

L-1021 11/27/02

**G. Grading/Erosion Control**

The following mitigation measures shall control the overall development of the Carlsbad Oaks North Specific Plan. The developer shall be responsible for implementing the mitigation measures for the project. The development of the Carlsbad Oaks North Specific Plan shall be consistent with the Zone 16 Local Facilities Management Plan.

1. Grading/Foundation Design

- a. The conclusions and recommendations of the final geotechnical study required by the Subdivision Map Act shall be incorporated into this project, as well as the Geotechnical Update, dated January 4, 2000 by Geocon, included in the appendices.

2. Drainage/Erosion Control/Water Quality

- a. Future development within this project shall provide facilities to comply with the National Pollution Discharge Elimination System (NPDES) standard. These facilities could include, but are not limited to one or more of the following: vegetated swales, fossil filter system, oil/water separator or drainage basin. Also, any loading area located in a sump must have facilities to direct drainage to a pollution mitigation area as described above. Storm Water Pollution Prevention measures, as discussed on page IV-13, will be required.
- b. Drainage and siltation-control facilities shall be constructed by the developer prior to or concurrently with grading operations.
- c. Ground cover suitable for slope erosion control will be planted and maintained by the developer immediately following grading.
- d. A regular street and parking lot cleaning and drainage pollutant basin maintenance program will be implemented by the developer or the property owners' association to minimize pollutant runoff from internal private roadways and parking areas related to the project.

**H. Environmental Impacts/Mitigation**

The Program Environmental Impact Report prepared by Cotton/Bridges/Associates, Inc. analyzed the Carlsbad Oaks North Specific Plan in regard to impacts associated with land use, transportation/traffic, air quality, noise, biological resources, geology and soils, hazards and hazardous materials, hydrology and water quality, cultural resources, paleontological resources, aesthetics, public services and utilities, and population and housing. The

following table presents a summary of the environmental impacts, the mitigation measures required to reduce potentially significant impacts, and the level of significance of each impact after mitigation. These mitigation measures shall be incorporated into the development and operation of the Carlsbad Oaks North Business Park project or completed as otherwise specified.

## Figure 26 EIR Summary Table

See the following table (Figure 26) 2-1-Summary of Environmental Impacts and Mitigation Measures prepared by Cotton Bridges Associates dated August 2002.

## FIGURE 26

### TABLE 2-1

#### SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES

Significant Impact	Mitigation Measure	Impact After Mitigation
<b>PROJECT LEVEL IMPACTS</b>		
<b>5.1 LAND USE AND PLANNING</b>		
<p><b>Land Use Compatibility</b> A potentially significant impact associated with hazards and hazardous materials has been identified.</p>	See Mitigation Measure HM1 in <i>Section 5.7 – Hazards and Hazardous Materials</i> .	Implementation of Mitigation Measure HM 1 will reduce the significant land use compatibility impact associated with hazards and hazardous materials to a level less than significant.
<p>An impact to the sensitive aesthetic and environmental resources has been identified within the open space areas on-site as a result of land use incompatibility.</p>	See Mitigation Measures BR1 through BR8 in <i>Section 5.5 – Biological Resources</i> .	Implementation of Mitigation Measures BR1 through BR8 will reduce the significant land use compatibility impact associated with sensitive aesthetic and environmental resources (with the exception of the northern harrier) to a level less than significant.
<p>A significant impact has been identified between the proposed industrial land uses and the existing residential development east of the project site.</p>	<p><b>LU1.</b> A minimum 75 to 150-foot building setback (including ancillary structures, loading zones, trash enclosures, refuse collection areas) shall be required between Lots #8, #13, and #17 of the Specific Plan and the eastern boundary. This setback shall include the proposed 60-foot minimum landscape buffer and construction of a block wall at the top of the slope or berm as identified in the Specific Plan.</p> <p><b>LU2.</b> Each Planned Industrial Permit or a Conditional Use Permit for any future facility proposed on Lots #8, #13, and #17 shall be reviewed for strict compliance with the performance standards established in the Carlsbad Oaks North Specific Plan (Section III Development Standards and Design Guidelines, subsections O, P, Q, and R). Measures to achieve these performance standards and thereby avoid potential conflicts between the Planned Industrial development and the existing</p>	Implementation of Mitigation Measures LU 1 and LU 2 will reduce the significant land use compatibility impact between the proposed land uses and residential development to a level less than significant.

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	residential development (with respect to such issues as noise, lighting, air quality, and safety) shall be implemented as necessary. Specific measures would be determined and implemented as part of the discretionary review of a Planned Industrial Permit or a Conditional Use Permit and could include, but not be limited to, restriction of certain types of uses and hours of operations, building and loading bay placement, enhanced landscaping, and directional lighting.	
<b>5.2 TRANSPORTATION/TRAFFIC</b>		
<p>Implementation of the proposed project will result in a significant impact to the following intersections:</p> <ul style="list-style-type: none"> <li>- Melrose Drive/Palomar Airport Road</li> <li>- Palomar Airport Road/El Fuerte Street</li> <li>- Melrose Drive/Rancho Santa Fe Road</li> <li>- Melrose Drive/Alga Road</li> <li>- Aviara-Alga/El Camino</li> <li>- Melrose Drive/Sunset Avenue</li> <li>- Melrose Drive/Sycamore</li> <li>- Melrose Drive/Park Center</li> <li>- SR 78 WB Ramps/El Camino Real</li> <li>- San Marcos/Grand Avenue</li> <li>- SR78 EB Ramps/Sycamore</li> </ul>	<p><b>#20 Melrose/PAR</b></p> <p><b>T1.</b> Prior to approval of Final Map or Grading Permit, whichever occurs first, for any portion of the development that would generate traffic, the applicant shall provide for the design and construction of the improvement of intersection #20 Melrose/Palomar Airport Road as illustrated on Figure 5.2-3E of this EIR. Proof of design, bonds, and construction schedule shall be submitted to the City of Carlsbad before issuance of any building permit.</p> <p><b>#47 PAR/El Fuerte</b></p> <p><b>T2.</b> Prior to approval of Final Map, Grading Permit, or Building Permit, whichever occurs first, for any portion of the development that would generate traffic, the applicant shall provide for the design and construction of the improvement of intersection #47 Palomar Airport Road/El Fuerte as illustrated on Figure 5.2-3L of this EIR. Proof of design, bonds, and construction schedule shall be submitted to the City of Carlsbad before issuance of any building permit.</p> <p><b>#22 Melrose/Rancho Santa Fe</b></p> <p><b>T3.</b> Prior to approval of Final Map, Grading Permit, or Building Permit, whichever occurs first, for any portion of the development that would generate traffic, the applicant shall pay a "fair share" contribution as determined by the City of Carlsbad for the improvement of intersection #22 Melrose/Rancho Santa Fe as illustrated on Figure 5.2-3E of this EIR.</p>	<p>Implementation of mitigation measures will reduce the significant impacts to the following intersections to a level less than significant:</p> <ul style="list-style-type: none"> <li>- Melrose Drive /Palomar Airport Road</li> <li>- Palomar Airport Road/El Fuerte Street</li> <li>- Melrose Drive/Rancho Santa Fe Road</li> <li>- Melrose Drive/Alga Road</li> <li>- Aviara-Alga/El Camino Real</li> </ul> <p>The impact to the following intersections will remain significant and unavoidable:</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<p>5.2-3F of this EIR.            Proof of payment of this fair share contribution shall be submitted to the City of Carlsbad prior to issuance of any building permit.</p> <p><b>#21 Melrose/Alga</b></p> <p><b>T4.</b> Prior to approval of Final Map, Grading Permit, or Building Permit, whichever occurs first, for any portion of the development that would generate traffic, the applicant shall pay a "fair share" contribution as determined by the City of Carlsbad for the improvement of intersection #21 Melrose/Alga as illustrated on Figure 5.2-3F of this EIR. Proof of payment of this fair share contribution shall be submitted to the City of Carlsbad prior to issuance of any building permit.</p> <p><b>#28 Aviara-Alga/ECR</b></p> <p><b>T5.</b> Prior to approval of Final Map, Grading Permit, or Building Permit, whichever occurs first, for any portion of the development that would generate traffic, the applicant shall pay a "fair share" contribution as determined by the City of Carlsbad for the improvement of intersection #28 Alga/El Camino Real as illustrated on Figure 5.2-3G of this EIR. Proof of payment of this fair share contribution shall be submitted to the City of Carlsbad prior to issuance of any building permit.</p>	<ul style="list-style-type: none"> <li>- Melrose Drive/Sunset Avenue</li> <li>- Melrose Drive/Sycamore</li> <li>- Melrose Drive/Park Center</li> <li>- SR 78 WB Ramps/El Camino Real</li> <li>- San Marcos/Grand Avenue</li> <li>- SR 78 EB Ramps/Sycamore</li> </ul>
<b>5.3 AIR QUALITY</b>		
<p><b>General Construction Impacts</b></p> <p>The site preparation and grading activities associated with the proposed project will exceed the SDAPCD Rule 20.2 construction emission thresholds, which is considered a significant impact.</p>	<p><b>AQ1.</b> During the clearing, grading, earth moving or excavation on the project site, the following measures shall be implemented:</p> <ul style="list-style-type: none"> <li>• Control fugitive dust by regular watering, paving construction roads, or other dust preventive measures;</li> <li>• Maintain equipment engines in proper tune;</li> <li>• Seed and water until vegetation cover is grown;</li> </ul>	<p>Implementation of Mitigation Measure AQ1 will reduce the significant short-term general construction impacts to the extent feasible; however, the short-term impact associated with NOx and PM10 will remain significant and unavoidable.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<ul style="list-style-type: none"> <li>• Spread soil binders;</li> <li>• Wet the area down, sufficient enough to form a crust on the surface with repeated soakings, as necessary, to maintain the crust and prevent dust pickup by the wind;</li> <li>• Street sweeping, should silt be carried over to adjacent public thoroughfares;</li> <li>• Use water trucks or sprinkler systems to keep all areas where vehicles move dirt enough to prevent dust raised when leaving the site;</li> <li>• Wet down areas in the late morning and after work is completed for the day;</li> <li>• Use of low sulfur fuel (0.5% by weight) for construction equipment;</li> <li>• Soil erosion measures;</li> <li>• Water exposed surfaces two times per day;</li> <li>• Reduce speeds on unpaved roads to 15 mph or less; and</li> <li>• Water haul roads two times per day.</li> </ul>	
<p><b>Rock Crushing</b>  The potential for dust emissions from rock crushing activities is considered a significant impact.</p>	<p><b>AQ2.</b> During rock crushing activities, Best Available Control Technology (BACT) techniques, such as: misting along the conveyor feeds for the crusher; wetting of stockpiles; and limited crusher activities when wind speeds are in excess of 25 mph shall be used to control dust emissions.</p>	<p>Implementation of Mitigation Measure AQ2 will reduce the dust emissions associated with rock crushing activities to a level less than significant.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
<p><b>Building Construction</b></p> <p>The construction of buildings within the proposed project area will result in short-term air emissions that are significantly higher than the SDAPCD thresholds, which is considered a significant impact.</p>	<p>No feasible mitigation measure has been identified to address this impact.</p>	<p>The short-term air quality impact associated with building construction will remain significant and unavoidable.</p>
<p><b>Project Operations Impacts</b></p> <p>The long-term air pollutant emissions associated with operation of the project in year 2005 and 2020 will exceed threshold criteria for all four of the pollutant categories, CO, ROG, NOx, and PM10, which is considered a significant impact.</p>	<p><b>AQ3.</b> The following measures shall be implemented as feasible for all subsequent development projects within the project area as identified in the City of Carlsbad General Plan Final Master Environmental Impact Report:</p> <ul style="list-style-type: none"> <li>• Provide within the proposed development, a commercial site designated to serve the commercial needs of the occupants of the business park.</li> <li>• Development within Carlsbad Oaks North shall provide traffic control devices along all roadway segments and at intersections and interconnect and synchronize the operation of traffic signals along arterial streets, whenever feasible.</li> <li>• Development and businesses within Carlsbad Oaks North shall encourage commuter usage of busses, carpools and vanpools.</li> <li>• Provide, whenever possible, incentives for car pooling, flex-time, shortened work weeks, and telecommunications and other means of reducing vehicular miles traveled.</li> <li>• Develop and implement employer incentive programs to encourage the placement of strategic bicycle storage lockers, and the construction of safe and convenient bicycle facilities.</li> <li>• Development within Carlsbad Oaks North shall provide shade trees to reduce building heating (cooling) needs.</li> <li>• Development within Carlsbad Oaks North shall use energy efficient low-sodium parking lot lights.</li> <li>• Development within Carlsbad Oaks North shall use light colored roof materials to reflect heat.</li> </ul>	<p>Implementation of Mitigation Measure AQ3 will reduce the significant air quality impact associated with the Year 2005 + Interim Project operations and the Year 2020 + Project operations to the extent feasible; however, the impact will remain significant and unavoidable for both project scenarios.</p>



**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
<b>5.4 NOISE</b>		
<p><b>Blasting and Rock Crushing</b>            Significant noise impacts to off-site land uses associated with blasting and rock crushing could occur if the blasting locations and rock crushing activities were relocated from their currently proposed locations.</p>	<p><b>N1.</b> Prior to blasting, a blasting schedule shall be prepared by the project applicant and submitted to and approved by the City Engineer.</p> <p><b>N2.</b> The blasting contractor shall notify the Carlsbad Police Department and the County Sheriff's Department prior to commencing any blasting activities.</p> <p><b>N3.</b> The project proponent shall give a one-time notice in writing to residences within 1,000 feet of a potential major blast operation as well as the Dawson Los Manos Canyon Reserve. The notice shall disclose the anticipated blasting schedule and provide a contact phone number for the blasting contractor.</p> <p><b>N4.</b> A pre-blast inspection of existing structures within 300 feet of any proposed detonation shall be conducted by an inspector approved by the Carlsbad Police Department, the San Diego County Sheriff's Department and the City of Carlsbad Building Department.</p> <p><b>N5.</b> The project shall conform to the San Diego County Blasting Ordinance Title 3, Division 5, Chapter III County Code of Regulatory Ordinance Sections 35.377.101-104, 35.377.301(a) and 35.377.307 to reduce the temporary noise impacts due to blasting and Section 8.48.010 of the City's Municipal Code limiting allowable hours of activities. The allowable hours of activities associated with blasting are 9:00 am to 4:30 pm, or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting is allowed on weekends nor on the holidays specified in Section 8.48.01 of the City's Municipal Code.</p> <p><b>N6.</b> A blasting report shall be submitted to the City Engineer prior to any blasting activities. The report shall conform to the San Diego County Blasting Ordinance (Division 5, Title 3, Section 35) and vibration standards promulgated by the U.S. Bureau of Mines.</p>	<p>Implementation of Mitigation Measures N1 through N7 will reduce the potentially significant noise impact associated with blasting and rock crushing to a level less than significant.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<p><b>N7.</b> No rock crushing activities shall be allowed within 850 feet of: 1) the Dawson Los Monos Reserve located to the north of the project area; and 2) the residential uses located to the east of the project area. Compliance with this measure shall be enforced by the City of Carlsbad Public Works Department.</p>	
<p><b>Year 2020 + Project Traffic Related Noise</b></p> <p>The 3.0 dBA increase in noise levels along Faraday Avenue west of Melrose Drive will result in a significant impact to the single-family residences located within approximately 135 feet of the roadway centerline.</p>	<p><b>N8.</b> Prior to issuance of a grading permit, the developer shall have an acoustical study prepared by a certified acoustician (subject to City approval) to determine the proper location, height, and configuration of any additional noise barrier (e.g., wall or berm) to protect the residences located within 135 feet of Faraday Avenue west of Melrose Drive and east of El Fuerte Street from noise levels in excess of 65 dBA. The developer shall make a written offer to impacted property owners to install a noise barrier approved by the Planning Director at the size and location specified by the acoustical analysis. Installation shall be required prior to the opening of Faraday Avenue unless proof is provided by the developer that a property owner has rejected the proposed noise barrier.</p>	<p>Implementation of Mitigation Measure N8 will reduce the Year 2020 + Project Traffic-Related noise impact to a level less than significant.</p>
<b>5.5 BIOLOGICAL RESOURCES</b>		
<p><b>Sensitive Vegetation</b></p> <p>Implementation of the proposed project will impact sensitive habitats including: 0.9 acres of live oak woodland, 0.2 acres live oak riparian forest, 10.9 acres southern maritime chaparral/nuttall's scrub oak, 0.6 acres valley needlegrass, 83.9 acres coastal sage scrub, 4.0 acres coyote brush scrub, 2.2 acres coastal sage scrub-chaparral scrub, 101 acres southern mixed chaparral, 21.7 acres non-native grassland, and 2.8 acres of wetlands.</p>	<p><b>BR1.</b> The project proponent shall mitigate all significant impacts to upland habitat in accordance with the mitigation ratios identified in Table 5.5-4. Proof of implementation of this mitigation shall be provided prior to grading or vegetation removal on the project site and shall be subject to the review and approval of the City of Carlsbad Planning Department. The mitigation can occur on dedicated lands not proposed for development within the project site, so long as viable connectivity to the principal open space lands are maintained. Mitigation can also occur in approved regional land banks with agency approval.</p> <p><b>BR2.</b> Prior to removal of vegetation (issuance of grading permit) the Developer shall encumber Open Space lots and mitigation lands with a conservation easement in favor of CDFG, and prior to final map the Developer shall grant to the City an Irrevocable Offer to dedicate fee title of Open Space Lots 10, 11, and 12 to be accepted by the City upon completion of grading and improvements. The City shall transfer the fee title to a natural lands management entity for perpetual maintenance.</p>	<p>Implementation of the Mitigation Measures BR1 and BR2 will reduce the significant impact to sensitive vegetation to a level less than significant.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<p>The natural lands management entity selected must have an open space management plan that is acceptable to the wildlife agencies and approved by the City. Simultaneous with the transfer of ownership of open space to the City, the Developer shall provide funding or other acceptable financial mechanism to provide for management and conservation in perpetuity.</p>	
<p><b>Sensitive Plants</b>            Although populations of clay bindweed, San Diego thornmint, and thread-leaf brodiaea are outside of the proposed impact area, indirect impacts could occur due to habitat intrusion associated with increased human foot and bicycle traffic.</p>	<p><b>BR3.</b> Although populations of clay bindweed, San Diego thornmint, and thread-leaf brodiaea are outside of the proposed impact area, indirect impacts could occur due to habitat intrusion associated with increased human foot and bicycle traffic. A low split rail fence should be installed on the borders of the trails in areas adjacent to these sensitive plant populations. Management efforts for the San Diego Goldenstar shall be undertaken to search clay soils in the area of the known occurrence of this species during site clearing and grubbing. To the extent feasible, all bulbs and corms shall be salvaged from the soil and transplanted into suitable clay soils located elsewhere in the open space. Transplant receiver areas shall be managed and fenced, as appropriate in a manner similar to the known existing occurrence of rare plants discussed previously. These measures are expected to support the goal of reducing detrimental edge effects for these species that will ultimately be required as an element of the area specific management plans to be prepared for lands included in the MHCP preserves, including the on-site open space to be conserved as a part of this project.</p>	<p>Implementation of Mitigation Measures BR1 and BR3 will reduce the significant impact to sensitive plants to a level less than significant.</p>
<p><b>Wetlands</b>            Approximately 2.4 acres of wetlands will be impacted by the proposed project.</p>	<p><b>BR4.</b> The project proponents shall mitigate wetland impacts on-site per the mitigation ratios in Table 5.5-4 or the final mitigation ratios determined during state and federal permit negotiations, whichever are greater. The mitigation shall result in no-net-loss of wetlands as required by the Carlsbad HMP. As part of the permit processing, a wetland restoration and monitoring plan must be prepared and be subject to the review and approval of these agencies. Regarding the wetland mitigation, it is recommended that should all three components of the project (<i>i.e.</i>, Carlsbad Oaks North Business Park, Faraday Avenue Roadway Extension, and Agua Hedionda Sewer Interceptor) be approved, a single mitigation effort should be implemented. To the extent practical, efforts should be made to enhance degraded wetlands along the on-site drainage in lieu of conducting a straight habitat creation mitigation program.</p>	<p>Implementation of Mitigation Measure BR4 will reduce the significant wetlands impact to a level less than significant.</p>

**TABLE 2-1  
SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
	<p>Figures 5.5-5 and 5.5-6 depict the available areas to conduct wetland creation. Enhancement opportunities are widespread on the Specific Plan site as a result of rapidly expanding pampas grass and other exotic species.</p> <p>Impact to oak dominated riparian habitats shall be mitigated as peripheral restoration along the riparian corridors, with the provision that individual impacted oak trees (&gt; 4 inches diameter at breast height) be mitigated at a minimum 10:1 replacement ratio with container trees (5-gallon size or larger). The oaks should be placed at the outer perimeter of a revegetation site to provide habitat diversity and buffer to the restoration effort.</p> <p>It is anticipated that a conceptual wetland mitigation plan would be prepared for permitting purposes prior to site development. A restoration specialist should prepare and implement the plan. The plan shall include specifications, grading, irrigation, and planting plans. It shall also include maintenance and monitoring actions, and success criteria to be applied during a 5-year mitigation establishment period. It is recommended that the wetland mitigation be completed concurrent with Phase I of the project development to adequately mitigate for unavoidable temporal losses of habitat.</p> <p>In addition, the following recommended measures are provided to minimize indirect impacts to on-site and off-site wetland resources. These measures shall be incorporated into project construction specifications.</p> <ol style="list-style-type: none"> <li>1) Staging/storage areas for equipment and materials shall be located outside of all drainages.</li> <li>2) Equipment maintenance shall be prohibited within or near any drainage where petroleum products or other pollutants from the equipment may enter these areas under any flow.</li> <li>3) Excavated soils from trenching operations shall be stored above the ordinary high water mark for all drainages during the rainy season and any materials placed in a seasonally dry portion of a drainage shall be removed prior to inundation by high flows.</li> <li>4) Silty or turbid water shall be prohibited from being discharged into any drainage.</li> </ol>	

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
	<p>Such water shall be settled, filtered, or otherwise clarified prior to discharge.</p> <p>5) Natural drainage patterns shall be maintained as much as possible during construction. Erosion control techniques, including the use of sandbags and the installation of sediment traps, shall be employed to control erosion and limit excess drainage of construction activities.</p> <p>6) Trash or any debris, shall be disposed of at an approved offsite facility.</p> <p>7) An arborist shall review the proposed grading plans in order to determine if there are root impacts to oak that would require tree pruning.</p>	
<p><b>Raptor Nesting Habitat</b></p> <p>The proposed project will result in a potentially significant impact to sensitive raptor species nesting in the project area, including the northern harrier.</p>	<p><b>BR5.</b> Loss of nesting Northern Harriers within the greater project area is expected, and is considered an unmitigable impact at the project level. White-tailed Kites may also discontinue nesting within the riparian canopy of the primary creeks. Mitigation is recommended to enhance and provide additional protection for other kite nesting or roosting locations in the Carlsbad Area (e.g., riparian habitat along Agua Hedionda Creek west of El Camino Real). This would include initial identification of historical kite nesting/roosting sites on publicly owned lands, and funding of signage, and policing actions if necessary, to keep humans from trespassing into the near vicinity of these nest/roost sites while they are actively in use. Clearing of vegetation, including all native habitat as well as non-native grassland, shall be performed in the non-breeding season (outside of the period from February 15 through August 30) in order to avoid impacts to nesting raptors.</p>	<p>The project-specific impact to the northern harrier will remain significant and unavoidable.</p>
<p><b>Riparian Crossing Design</b></p> <p>The two culverts proposed at riparian locations under Faraday Avenue may impede animal movement and are considered significant impacts.</p>	<p><b>BR6.</b> For the road crossings to provide effective benefits to wildlife movement, proper design is essential. The crossings shall include fencing that funnels animals towards the entrances to the undercrossings and reduce over the road crossings. Vegetation should be kept back from driving surfaces to discourage animals from approaching the roadways. Fences shall not be located immediately adjacent to roadway surfaces and shall include cover vegetation on the road side of any fencing so that animals that do get onto the road have protected cover that they can retreat into. Fencing can be discontinuous but should be used to train movements of animals in the pattern of flow desired.</p>	<p>Implementation of Mitigation Measure BR6 will reduce the significant impact associated with the culvert crossings to a level less than significant.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<p>Fencing and vegetation shall be designed to direct movement through the corridor in an efficient manner, and without pockets or dead-ends which can cause confusion and can cause animals to cross roadways.</p>	
<p><b>Wildlife Movement Corridor</b>  Construction of the sewer interceptor will result in a significant impact to localized wildlife.</p>	<p><b>BR7.</b> During construction of the sewer and any other underground utilities in proximity to natural open space, trenches shall be inspected daily and any trapped wildlife shall be removed and released unharmed into native vegetation a hundred feet or more from the construction area. Construction fencing shall also be installed to minimize impacts to wildlife during the construction phase of the project. Implementation of this mitigation shall be subject to monitoring by the City of Carlsbad Planning Department.</p>	<p>Implementation of Mitigation Measure BR7 will reduce the impact to localized wildlife from construction of the sewer to a level less than significant.</p>
<p><b>Indirect Impacts</b>  Significant indirect impacts from lighting, human intrusion, pets, and invasive plants to resident fauna and local wildlife corridors have been identified.</p>	<p><b>BR8.</b> Mitigation of indirect impacts to resident fauna and local wildlife corridors within the proposed site development plan require the following measures to be taken:</p> <ol style="list-style-type: none"> <li>1) Extemporaneously created trails other than those approved for focused recreational open space use and/or for utility access should be prohibited. Sign of illicit trail-breaking should be followed by placement of substantial impediments to discourage subsequent use. The actively utilized mountain bike and hiking trails within the project site boundaries should be regularly bounded by signage that prohibits/discourages human intrusion into surrounding native habitats. These signs shall not identify specific rare plant locations, but when warranted shall indicate the presence of particularly environmentally sensitive areas.</li> <li>2) Low-pressure sodium lamps are less likely than other lights to shift circadian rhythms and shall be used to reduce the adverse effects of artificial lighting where lighting is located adjacent to open-space areas. Low-sodium lights shall be used in conjunction with cut-off shields (fully shielded/full cutoff lighting) around the perimeter edge of development. Such shields shall direct the light downward and towards development to eliminate excess illumination</li> </ol>	<p>Implementation of Mitigation Measure BR8 will reduce the significant indirect impacts to a level less than significant.</p>

**TABLE 2-1  
SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
	<p>of open space habitats. Lighting shall not be installed in the vicinity of the local wildlife corridors to promote use of these areas by local wildlife.</p> <p>3) Fencing (non-barbed) shall be constructed where active-use urban infrastructure is proposed to discourage intrusion into the preserve areas. Fencing of the entire open space easement is not recommended, as areas of habitat contiguous with off-site undisturbed habitat should not be further fragmented.</p> <p>4) Signage shall be used in conjunction with any open space easement fencing and as previously mentioned along any trails which border rare plant populations. Signage should be posted along the perimeter of the open space easements which adjoin the project site and more frequently in the vicinity of any sensitive habitat. Roadway signage that warns of wildlife crossing shall be installed on the roadway above at the two proposed wildlife corridor/road culverts along Faraday Avenue to assist in minimizing roadkills and wildlife avoidance accidents.</p> <p>5) Native plants shall be used to the greatest extent feasible in the landscaped areas adjacent to and/or near mitigation/open space areas and/or wetland/riparian areas. Invasive exotic plant species shall not be planted, seeded, or otherwise introduce to the landscaped areas adjacent and/or near the mitigation/open space areas and/or wetland riparian areas. Exotic species not to be used include those species listed on Lists A and B of the California Exotic Pest Council's list of "Exotic Pest Plants of Greatest Ecological Concern in California as of October 1999." This list includes such species as: pepper trees, pampas grass, fountain grass, ice plant, myoporum, black locust, capeweed, tree of heaven, periwinkle, sweet alyssum, English ivy, French broom, Scotch broom, and Spanish broom.</p> <p>6) Existing pampas grass shall be removed from areas proposed for open space conservation.</p> <p>7) Leash law restrictions shall be posted along any trail access points and shall be enforced.</p>	

**TABLE 2-1  
SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<p>8) Clearing of scrub and riparian vegetation, shall be performed in the non-breeding season (September 1 through February 14) in order to avoid impacts to nesting birds including sensitive riparian species and the California gnatcatcher.</p> <p>9) Construction trenches should be inspected daily and any trapped wildlife shall be removed and released unharmed into native vegetation a hundred feet or more from the construction area. Construction fencing shall also be employed where appropriate to minimize impacts to wildlife during the construction phase of the project.</p> <p>10) The concentration of ongoing recreational human activities in a reduced area (<i>i.e.</i>, not including areas proposed for development) is not necessarily considered significant, if similar future activities are restricted to the pre-existing routes of travel. However, there should be future monitoring of the local wildlife habitat and vegetation conditions in areas that are currently pristine native habitat, to better evaluate any ongoing impacts, and to respond with management actions if required in the future. If the proposed open space easement is to function properly as mitigation it will need not only to be preserved but also managed in perpetuity. To assume that vegetation communities such as occur on-site are static systems would be incorrect. Temporal vegetation community shifts may alter the suitability of areas for some species over time. The level of disturbance within an area may change (including fire frequency) and micro-habitat use by some resident species may cease if a local or regional corridor has limited capacity to support these resident populations. Taking such temporal issues, as well as edge effects into consideration, the proposed open space easements should be managed to contribute the goals of the MHCP and maximize diversity and abundance where appropriate. A management plan for the proposed open space easement shall be developed and implemented by an appropriate management entity.</p>	



**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<p>11) At the time of implementation of the project, a public notification process will be undertaken through on-site posting with maps indicating the location of authorized trails.</p>	
<b>5.6 GEOLOGY/SOILS</b>		
<p><b>Geology</b>  The presence of loose, porous soils and expansive soils in the project area is considered a significant impact.</p>	<p><b>GS1.</b> All future grading and construction of the project site shall comply with the geotechnical recommendations contained in the <i>Preliminary Geotechnical Investigation for Proposed Carlsbad Oaks East</i> prepared by Woodward-Clyde Consultants (June 15, 1990) (as updated by GEOCON, Inc. January 4, 2000), <i>Geologic Reconnaissance with Limited Subsurface Investigation, Proposed South Agua Hedionda Interceptor Alignment, Carlsbad California</i> prepared by Leighton and Associates, Inc. (November 30, 2000), and <i>Geological Reconnaissance, Proposed Faraday Avenue Extension Orion Street to Brookhaven Pass, Carlsbad, California</i> prepared by Leighton and Associates, Inc. (March 23, 2001). These reports contain specific recommendations for mitigating geotechnical conditions related to soils earthwork, slope stability, and ground and surface waters for each specific component of the project (Specific Plan, Roadways, and Sewer). All recommendations contained in the report shall be incorporated into all final engineering and grading plans. The soil engineer and engineering geologist shall review the grading plans prior to finalization to verify the plans compliance with the recommendations of the report. A third party review of the geotechnical report and final grading plans shall be conducted by the City of Carlsbad Engineering Department prior to the issuance of a grading permit. Compliance with this measure shall be verified by the City of Carlsbad.</p>	<p>Implementation of Mitigation Measure GS1 will reduce the significant impacts associated with geology to a level less than significant.</p>
<p><b>Landslides</b>  Landslides exist within the project area that are considered unsuitable for structural support, which is</p>	<p><b>GS2.</b> Prior to development on-site, complete removal of the ancient landslides that occur in areas of proposed development or some other form of stabilization is required. Final recommendations for stabilization can be determined after specific development plans are finalized. Compliance with this measure shall be verified by</p>	<p>Implementation of Mitigation Measure GS2 will reduce the potentially significant impact associated with landslides to a level less than</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
structural support, which is considered a significant impact.	the City of Carlsbad.	significant.
<b>Seismicity</b> Land uses within the project area may be subject to strong groundshaking and soils liquefaction, which is considered a significant impact.	<b>GS3.</b> All future development of the project site shall adhere to the Uniform Building Code and State building requirements in effect at the time specific development is proposed. Compliance with this measure shall be verified by the City of Carlsbad.  <b>GS4.</b> The alluvial and colluvial portions of the project area in which development is proposed shall be completely stabilized. Final recommendations for stabilization can be determined after specific development plans are proposed. Compliance with this measure shall be verified by the City of Carlsbad.	Implementation of Mitigation Measures GS3 and GS4 will reduce the potentially significant impacts associated with seismicity to a level less than significant.
<b>Groundwater</b> Improvements associated with the proposed project are anticipated to be significantly impacted by surface or groundwater.	<b>GS5.</b> Prior to grading and construction an additional geotechnical investigation shall be conducted to identify possible future seepage areas that could occur during grading. Field recommendations for mitigation of future potential seepage, as well as for the provision of drainage in areas known to be susceptible to groundwater accumulation shall be implemented. Compliance with this measure shall be verified by the City of Carlsbad.	Implementation of Mitigation Measure GS5 will reduce the potentially significant impact associated with surface or ground water to a level less than significant.
<b>5.7 HAZARDS AND HAZARDOUS MATERIALS</b>		
<b>Hazardous Materials</b> Implementation of the proposed project could result in a significant impact associated with the use and storage of hazardous materials.	<b>HM1.</b> The following conditions shall be incorporated into the proposed Specific Plan and shall be required of future development: <ul style="list-style-type: none"> <li>a. No project facilities located within 1,000 feet of any residential unit shall store, handle, or use toxic or highly toxic gases as defined in the most currently adopted fire code at quantities that exceed exempt amount as defined in the most currently adopted fire code.</li> <li>b. Facilities that store, handle, or use regulated substances as defined in the California Health and Safety Code 25532(g) in excess of threshold quantities shall prepare risk management plans for determination of risks to the community.</li> </ul>	Implementation of Mitigation Measure HM1 will reduce the potentially significant impact associated with the use and storage of hazardous materials to a level less than significant.

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
	<p>c. Facilities that store, handle, or use any quantity of a toxic or highly toxic gas as defined in the most currently adopted fire code, which are also regulated substances as defined in the California Health and Safety Code 25532(g) shall prepare an offsite consequence analysis (OCA). The analysis shall be performed in accordance with Title 19 of the California Code of Regulation 2750.2 through 2750.3. If the OCA shows the release could impact the residential community, the facility will not store, handle, or use the material in those quantities. If a decrease in the quantity of material reduces the distance to toxic endpoint to where the community is not impacted, the facility shall be able to utilize the material in that quantity.</p> <p>Computer models may be utilized as a tool to determine the distance a hazardous material can travel if released to the atmosphere. Parameters such as temperature, wind speed, atmospheric stability, and quantity released, material properties, and type of release (e.g., pressurized gases) is considered by these models. Models can be overlaid onto maps, which will show the distance to toxic endpoint in the event of a release. These models can be performed under "worst case" meteorological conditions and chemical release. Under this situation, the maximum harm potential is determined from the most sophisticated method available to ensure community safety.</p>	
<b>5.8 HYDROLOGY/WATER QUALITY</b>		
<p><b>Hydrology/Drainage</b></p> <p>The proposed project will drain significantly more stormwater runoff into Aqua Hedionda Creek, La Mirada Creek and eventually into Aqua Hedionda Lagoon that under existing conditions. This is considered a significant impact.</p>	<p><b>WQH1.</b> Subsequent to project approval, but prior to approval of final design plans within the Specific Plan area and final engineering plans for the roadways, a detailed hydrology study shall be prepared to address the specific drainage characteristics of the proposed development and supporting infrastructure. The drainage control plan shall be implemented in accordance with the recommendations of the detailed hydrology study and shall address on-site and off-site drainage requirements to ensure on-site runoff will not adversely affect off-site areas.</p>	<p>Implementation of Mitigation Measure WQH1 will reduce the significant hydrology/drainage impact to a level less than significant.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
considered a significant impact.		
<p><b>Water Quality</b></p> <p>The impact to water quality associated with industrial land uses is still considered a significant impact.</p>	<p><b>WQH2.</b> Regarding the industrial land use, the proposed project is required by the RWQCB to comply with the areawide Municipal Stormwater Permit, Order No. 2001-01. In addition, industrial land uses are required to comply with Order No. 97-03-DWQ, NPDES, General Permit No. CAS0000001 Discharges of Stormwater Associated with Industrial Activities Excluding Construction Activities. Further, all requirements contained in the Concept Water Quality Plan shall be implemented in accordance with the Plan and verified by the City Engineer. The Best Management Practices (BMP) Plan Options address the use of source and treatment control based BMPs such as: 1) Non-stormwater discharges; 2) Vehicle and equipment fueling, cleaning and maintenance; 3) Material management and storage; 4) Waste handling and disposal; 5) Wet ponds; 6) Constructed wetlands; 7) Oil/water separators and water quality inlets and/or 8) A combination of source and treatment control BMP options.</p>	<p>Implementation of Mitigation Measure WQH2 will reduce the significant impact to water quality to a level less than significant</p>
<b>5.9 CULTURAL RESOURCES</b>		
<p><b>Archaeological Resources</b></p> <p>The project will impact the following significant cultural sites: Temp 1, Temp 2, Temp 8, SDI-5231, and SDI-2776.</p>	<p><b>C1.</b> A data recovery program shall be completed for any significant archaeological site impacted by the project in compliance with the City of Carlsbad's Cultural Resource Guidelines Criteria and Methodology for completing a Data Recovery Program Phase III (December 1990). Data recovery provides for a sample of the site to be excavated, artifacts and ecofacts to be analyzed, special studies (i.e., radiocarbon dating, residue analysis, obsidian hydration, and sourcing) and a report of finding that addresses the important research questions. In addition, monitoring of brushing, grading, and trenching shall be required during the construction of the project in order to identify any significant components of the site that were not observed during data recovery excavations. Monitoring will also focus on any potential to discover sites that were not identified in the previous surveys due to them being buried or masked from view. Any previously unrecorded sites discovered during brushing, grading, or trenching will require significance evaluation and, if found to be important, mitigation applied before grading can resume at the location of the discovery. All artifacts and data collected from the testing and mitigation work for</p>	<p>Implementation of Mitigation Measure C1 will reduce the significant impact to archaeological resources to a level less than significant.</p>

**TABLE 2-1  
SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
	<p>the project will be submitted to the San Diego Archaeological Center for permanent curation.</p> <p>The City of Carlsbad will be responsible for the funding of this curation program.</p>	
<b>5.10 PALEONTOLOGICAL RESOURCES</b>		
<p><b>Paleontological Resources</b></p> <p>Implementation of the proposed project has the potential to result in a significant impact to paleontological resources if present in geologic formations of the site. The project area contains geologic formations with moderate and high potential for producing significant paleontological resources.</p>	<p><b>PR1.</b> Prior to site grading, a qualified paleontologist shall be retained to carry out an appropriate mitigation program. (A qualified paleontologist is defined as an individual with an MS or Ph.D. in paleontology or geology who is familiar with paleontological procedures and techniques.)</p> <ul style="list-style-type: none"> <li>• The qualified paleontologist shall be present at the pre-construction meeting to consult with the grading and excavation contractors.</li> <li>• A paleontological monitor shall be on-site a minimum of half-time during the original cutting of previously undisturbed sediments to inspect cuts for contained fossils. In the event that fossils are discovered, it may be necessary to increase the per/day in field monitoring time. Conversely, if fossils are not being found then the monitoring should be reduced. (A paleontological monitor is defined as an individual who has experience in the collection and salvage of fossil materials. The paleontological monitor shall work under the direction of a qualified paleontologist.)</li> <li>• When fossils are discovered the paleontologist (or paleontological monitor) shall recover them. In most cases, this fossil salvage can be completed in a short period of time. However, some fossil specimens (such as a complete large mammal skeleton) may require an extended salvage period. In these instances the paleontologist (or paleontological monitor) shall be allowed to temporarily direct, divert, or halt grading to allow recovery of fossil remains in a timely manner. Because of the potential for the recovery of small fossil remains, such as isolated mammal teeth, it may be necessary in certain instances, to set up a screen-washing operation on the site.</li> </ul>	<p>Implementation of Mitigation Measure PR1 will reduce the potentially significant impact to paleontological resources to a level less than significant.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
	<ul style="list-style-type: none"> <li>• Fossil remains collected during the monitoring and salvage portion of the mitigation program shall be cleaned, repaired, sorted, and cataloged.</li> <li>• Prepared fossils, along with copies of all pertinent field notes, photos, and maps, shall either be deposited (as a donation) in a scientific institution with permanent paleontological collections such as the San Diego Natural History Museum or retained by the City and displayed to the public at an appropriate location such as City Hall.</li> <li>• A final summary report shall be completed and retained on file at the City that outlines the results of the mitigation program. This report shall include discussions of the methods used, stratigraphic section(s) exposed, fossils collected, and significance of recovered fossils.</li> </ul>	
<b>5.11 AESTHETICS</b>		
<p><b>Aesthetics</b></p> <p>A significant impact related to the views from surrounding roadways and residences onto the site will occur.</p>	<p><b>AE1.</b> The following measures shall apply to all lots visible from Faraday Avenue and El Fuerte Street, as well as Lots #8, #13, and #17:</p> <ul style="list-style-type: none"> <li>• Prohibit placement of mechanical equipment on roofs unless the project incorporates architectural treatment consisting of architectural elements or building parapets that are of sufficient height and design to screen future mechanical roof equipment;</li> <li>• Prohibit installation of roof screens other than building parapets or architectural elements that are integrated into the architectural design of buildings;</li> <li>• Prohibit loading bays that are visible from Faraday Avenue and El Fuerte Street;</li> <li>• Require enhanced architectural treatment of all building elevations that are visible from Faraday Avenue and El Fuerte Street.</li> </ul>	<p>Implementation of Mitigation Measure AE1 will reduce the significant aesthetics impact to a level less than significant.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

Significant Impact	Mitigation Measure	Impact After Mitigation
<p><b>Light and Glare</b> A significant impact related to new light and glare sources has been identified with the proposed project.</p>	<p><b>AE2.</b> Any future development of Lots #8, #13, and #17 shall comply with the outdoor lighting standards of the Carlsbad Oaks North Specific Plan, Part III, Section R. A separate lighting plan shall be prepared for each perimeter lot abutting residential land uses or open space to ensure that no off-site spillage will occur.</p>	<p>Implementation of Mitigation Measure AE2 will reduce the significant impact to light and glare to a level less than significant.</p>
<b>5.12 PUBLIC SERVICES AND UTILITIES</b>		
<p>The project will result in a significant impact to Drainage Facilities, Water and Reclaimed Water Facilities, and Sewer Facilities.</p>	<p>Mitigation Measures identified in Sections 5.3 <i>Air Quality</i> (short-term construction), 5.4 <i>Noise</i> (short-term construction), 5.5 <i>Biological Resources</i>, 5.9 <i>Cultural Resources</i>, and 5.8 <i>Hydrology/Water Quality</i> (short-term construction and long-term operational) will reduce the impact to a less than significant level.</p>	<p>Implementation of Mitigation Measures identified in Sections 5.3 <i>Air Quality</i>, 5.4 <i>Noise</i>, 5.5 <i>Biological Resources</i>, 5.9 <i>Cultural Resources</i>, and 5.8 <i>Hydrology/Water Quality</i> will reduce the impact to a less than significant level.</p>
<b>CUMULATIVE IMPACTS</b>		
<b>5.2 TRANSPORTATION/TRAFFIC</b>		
<p>The proposed project will result in significant cumulative impacts to intersections in Vista and adjacent jurisdictions.</p>	<p>The City of Carlsbad requires the project applicant to participate in the established Traffic Improvement Fee (TIF) program in order to implement the Mitigation Measures T1 through T18 (identified above in the Project-Level Impacts subsection of this table).</p>	<p>Because several of the impacted intersections are outside the jurisdiction of Carlsbad, neither the applicant nor the City of Carlsbad has the jurisdiction to implement the proposed mitigation in other jurisdictions. Because of this, the significant impact at the intersections outside of the City of Carlsbad may remain significant and unavoidable.</p>

**TABLE 2-1**  
**SUMMARY OF ENVIRONMENTAL IMPACTS AND MITIGATION MEASURES**

<b>Significant Impact</b>	<b>Mitigation Measure</b>	<b>Impact After Mitigation</b>
<b>5.3 AIR QUALITY</b>		
Any additional air emission is considered to contribute to a cumulatively significant impact; therefore, the proposed development on the project site will contribute to a significant cumulative impact on the air quality in the region.	No feasible mitigation exists that would reduce this cumulative impact to a level less than significant.	Even with implementation of Mitigation Measures AQ1 through AQ3, the cumulative air quality impact will remain significant and unavoidable.



## VI. SPECIFIC PLAN ENVIRONMENTAL REVIEW

### A. Relationship to Environmental Impact Report 98-08

As required by the California Environmental Quality Act, a Program Environmental Impact Report (EIR) was prepared as a separate document concurrently with the Carlsbad Oaks North Specific Plan. The Environmental Impact Report, prepared by Cotton/Bridges/Associates, Inc. analyzed the Specific Plan in regard to impacts associated with land use, transportation and traffic, air quality, noise, biological resources, geology and soils, hazards and hazardous materials, hydrology and water quality, cultural resources, paleontological resources, aesthetics, public services and utilities, and population and housing.

Through implementation of the mitigation measures identified in Section V.H., Environmental Impacts Mitigation, of this document, development of the Carlsbad Oaks North Specific Plan will not result in significant project specific and/or cumulative impacts to the physical environment with the exception of traffic, air quality, and biological resources. Overriding consideration have been made by the City Council for traffic, air quality, and biological impacts through certification of the EIR. Development of the Carlsbad Oaks North Business Park in accordance with the Carlsbad Oaks North Specific Plan therefore requires that all mitigation measures imposed by the certified Environmental Impact Report (EIR 98-08) be incorporated into the project or completed as required by each mitigation measure.

### B. Subsequent Environmental Review

As detailed planning progresses, it is anticipated that Minor Site Development Plans, Conditional Use Permits, Non-Residential Planned Unit Developments and/or Tentative Maps will be submitted for City review in accordance with the Specific Plan. A Program Environmental Impact Report was required for the Carlsbad Oaks North Specific Plan to determine and evaluate the project's potential impacts. If subsequent activities are proposed outside of the scope of the Program Environmental Impact Report, then an Initial Study shall be used to determine whether an additional California Environmental Quality Act (CEQA) document must be prepared. Potential additional CEQA documents include Negative Declarations, Mitigated Negative Declarations, Project, Supplemental and Subsequent EIRs. Subsequent CEQA documents may be tiered with the original EIR and may incorporate and reference aspects and elements of the original EIR.

## **VII. SPECIFIC PLAN ADMINISTRATION**

### **A. Introduction**

Amendments to the Carlsbad Oaks North Specific Plan shall be subject to the review and approval of the City Council provided public input has been solicited through public hearings. The Planning Commission shall first hear and consider all applications for an amendment to the specific plan. The Planning Commission shall prepare a recommendation and findings on all applications for an amendment to the City Council. As required by the Government code and the California Environmental Quality Act, all agencies significantly affected by the amendment to the plan shall also be notified of the proposed action prior to approving the amendment of the specific plan.

Depending on the extent and impact of the Specific Plan Amendment, a subsequent environmental Impact Report or mitigated negative declaration which focuses on the new impacts may be warranted.

### **B. State Requirements**

As contained in section 65450, et.seq. of the California Government Code, a specific plan shall be prepared, adopted, and amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body. No specific plan may be adopted or amended unless the proposed plan or amendment is consistent with the city's General Plan.

### **C. Local Requirements**

Certain amendments to the specific plan may be necessary during the development of the area. Any amendments to the specific plan shall occur in accordance with the Carlsbad General Plan and processed in accordance with Section V.C., Amendment Procedures, of this document. Amendments may be initiated by the City Council or the property owner. Amendments to the Specific Plan shall be processed in accordance with the applicable requirements of law which include Section 65450, et.seq. of the California Government Code.

## **VIII. SPECIFIC PLAN ENFORCEMENT**

### **A. Violation of Specific Plan**

The Carlsbad Oaks North Specific Plan shall constitute the orderly development and the zoning for the property. Consistent with the City of Carlsbad Municipal Code, any violation to the standards and regulations identified in the Carlsbad Oaks North Specific Plan adopted by Carlsbad's City Council constitutes a violation of the zoning ordinance. Where the Specific Plan is silent on an issue, the requirements of the Carlsbad Municipal Code shall apply.